

*Canopy Community
Development District*

Agenda Package

May 29, 2020

Canopy

Community Development District

219 E. Livingston Street, Orlando, Florida 32801

Phone: 407-841-5524 – Fax: 407-839-1526

May 22, 2020

Board of Supervisors Canopy Community Development District

Dear Board Members:

A special meeting of the Board of Supervisors of Canopy Community Development District will be held **Friday, May 29, 2020 at 11:00 AM via Zoom; by following this link <https://zoom.us/j/97692081613> and enter meeting ID of 976 9208 1613 and password 992992 or by calling in via 267-930-4080.** Following is the advance agenda for the meeting:

1. Roll Call
2. Public Comment Period (Speakers will fill out a card and submit it to the District Manager prior to the beginning of the meeting)
3. Approval of Minutes of the March 31, 2020 Special Meeting
4. Evaluation of Proposals for Welaunee Boulevard, Segment 3 and Segment 2 Turn Lanes Construction Project
 - A. Ranking Sheet & Evaluation Criteria
 - B. Review of Proposals Received
 - C. Consideration of Resolution 2020-07 Award of Construction Contract for Welaunee Boulevard, Segment 3 and Segment 2 Turn Lanes
5. Consideration of Responses to Request for Qualifications for Engineering Services
 - A. Dewberry Engineers, Inc.
 - B. Halff Associates, Inc.
6. Consideration of Form of Agreement for Professional Engineering Services
7. Consideration of Work Authorization for Welaunee Boulevard CEI Services (to be provided under separate cover)
8. Consideration of Proposal from Keep It Grassy Landscaping & Maintenance
9. Consideration of Resolution 2020-08 Approving the Proposed Budget for Fiscal Year 2021 & Setting a Public Hearing Date for Adoption
10. Staff Reports
 - A. Attorney
 - B. Engineer
 - C. District Manager's Report
 - i. Approval of Check Register Summary and Requisition Summary

- ii. Balance Sheet and Income Statement
 - iii. # of Registered Voters in the District – 182
 - iv. Approval of New Capital Projects Fund Checking Account for Welaunee Boulevard Project
- 11. Other Business
 - 12. Supervisors Requests
 - 13. Adjournment

The second order of business is the Public Comment Period where the public has an opportunity to be heard on propositions coming before the Board as reflected on the agenda, and any other items. Speakers must fill out a Request to Speak form and submit it to the District Manager prior to the beginning of the meeting.

The third order of business is Approval of Minutes of the March 31, 2020 Special Meeting. A copy of the minutes are enclosed for your review and approval.

The fourth order of business is Evaluation of Proposals for Welaunee Boulevard, Segment 3 and Segment 2 Turn Lanes Construction Project. Enclosed for your review is the ranking sheet and evaluation criteria and the proposals received. Enclosed for your approval is Resolution 2020-07 Award of Construction Contract for Welaunee Boulevard, Segment 3 and Segment 2 Turn Lanes.

The fifth order of business is Consideration of Responses to Request for Qualifications for Engineering Services. Enclosed for your review and approval are proposals from Dewberry Engineers, Inc. and Halff Associates, Inc.

The sixth order of business is Consideration of Form of Agreement for Professional Engineering Services. A copy of the agreement is enclosed for your review and approval.

The seventh order of business is Consideration of Work Authorization for Welaunee Boulevard CEI Services. A copy of the work authorization will be provided under separate cover.

The eighth order of business is Consideration of Proposal from. Keep It Grassy Landscaping & Maintenance. A copy of the proposal is enclosed for your review and approval.

The ninth order of business is Consideration of Resolution 2020-08 Approving the Proposed Budget for Fiscal Year 2021 & Setting a Public Hearing Date for Adoption. Enclosed for your review and approval is a copy of the resolution and the proposed budget.

The tenth order of business is Staff Reports. Section C is the District Manager's Report. Sub-Section 1 is the approval of check register summary and requisition summary. A copy of the check register and requisition summary are enclosed for your review and

approval. Sub-Section 2 is the balance sheet and income statement for your review. Sub-Section 3 is the # of registered voters in the District. A letter from the supervisor of elections informing the District there are 182 registered voters residing in the District.

The balance of the agenda will be discussed at the meeting. In the meantime, if you should have any questions, please do not hesitate to contact me.

Sincerely,

Darrin Mossing
District Manager

CC: Jennifer Kilinski, District Counsel
Travis Justice, District Engineer
Darrin Mossing Jr., GMS

Enclosures

AGENDA

Canopy

Community Development District

Meeting Agenda

Friday
May 29, 2020
11:00 a.m.

Zoom Conferencing Go To: <https://zoom.us/j/97692081613>

Zoom ID #: 97692081613

Zoom Password: 992992

Call In #: 267-930-4080

Participation Passcode #: 401204

Special Meeting Agenda

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MINUTES

**MINUTES OF MEETING
CANOPY
COMMUNITY DEVELOPMENT DISTRICT**

A special meeting of the Board of Supervisors of the Canopy Community Development District was held Tuesday, March 31, 2020 at 11:00 a.m. at Premier Homes, 4708 Capital Circle NW, Tallahassee, Florida. This meeting was conducted by video conference Zoom Program.

Present and constituting a quorum were:

Tom Asbury	Chairman
Gregg Patterson	Vice Chairman
John "Al" Russell	Assistant Secretary
Colleen Castille	Assistant Secretary

Also present were:

Darrin Mossing	District Manager
Jennifer Kilinski	District Counsel
Lauren Gentry	Hopping Green & Sams
Tim Stackhouse	GPI
Colby Brown	GPI
Darrin Mossing, Jr.	GMS
Amanda Ferguson	GMS

FIRST ORDER OF BUSINESS

Roll Call

Mr. Mossing called the meeting to order at 11:00 a.m. and stated we are conducting this meeting in accordance with Executive Orders 20-52 and 20-69 that were signed into law by Governor DeSantis and everyone is participating by the video conference Zoom Program.

SECOND ORDER OF BUSINESS

Public Comment Period

Ms. Kilinski asked have you received any requests by email or phone for public participation?

Mr. Mossing responded we have not.

THIRD ORDER OF BUSINESS

Organizational Matters

A. Acceptance of Resignation Letter from Colson Hosford

On MOTION by Mr. Patterson seconded by Mr. Russell with all in favor Colson Hosford's resignation was accepted.

B. Consideration of Appointment of Supervisor to Fill the Unexpired Term of Office (11/2020)

On MOTION by Mr. Asbury seconded by Ms. Castille with all in favor David Brady was appointed to fill the unexpired term of office.

C. Oath of Office for Newly Appointed Supervisor

Mr. Mossing stated Mr. Brady is not in attendance today and we will send him the oath of office along with the standard new supervisor package and have him complete that outside our board meeting and we will formally bring him on board at the next meeting.

D. Consideration of Resolution 2020-04 Election of Officers

This item deferred.

FOURTH ORDER OF BUSINESS

**Consideration of Resolution 2020-05
Approving the Revised Evaluation Criteria
for the District's Welaunee Boulevard,
Segment 3 and Segment 2 Turn Lanes
Construction Project**

Ms. Kilinski stated as you may recall the board previously approved an RFP package for Welaunee Boulevard and that package had previously had 10 points for the minority, women and small business enterprise category and 15 points for understanding the scope of work. After some discussion with Blueprint and the city on what they are requiring for that MWSPE criteria the points have gone up to 12 points and the corresponding understanding scope of work we are suggesting go down to 13 points. You may also recall the interlocal agreement entered into by the district for reimbursement of this project required us to notify and include in our RFP package this MWSPE criteria as set forth in Blueprint's procurement policy, which has changed since the execution of the interlocal. We now have approved forms through Blueprint and the city and that

is why we are recommending the change in the point categorization. We can't do that on our own; the board has to take that action for the evaluation criteria and we are suggesting approval of those changes.

On MOTION by Ms. Castille seconded by Mr. Patterson with all in favor Resolution 2020-05 was approved.

Ms. Kilinski stated this Welaunee RFP was actually advertised this past Friday; we have bids due April 27th or at the time the permit is issued by the city we won't have bids due before that. Hopefully, we will have bid responses and a permit issued in time for your next board meeting.

FIFTH ORDER OF BUSINESS

Consideration of Responses to Request for Qualifications for Engineering Services for Welaunee Boulevard Construction Project

Mr. Mossing stated the district did receive two responses, one from Kimley Horn and the other from Dantin Consulting, LLC. That documentation was enclosed in your agenda package and both firms have sufficient qualifications to meet all the requirements the district needed.

Mr. Asbury stated I have reviewed them and I like both of them.

Ms. Kilinski stated we have a number of districts that have multiple engineers under contract. You may have two, three or four in some cases with major projects, even more than that, continuing engineering services contracts with different providers. As projects arise, you may have an engineer who has the time and capacity for project A but not project B or you may have an engineering company that has a specific expertise in a certain kind of project that you want to utilize them for discreet projects, such as roadways or amenities or the like. In consultation with the chair prior to this meeting what staff is suggesting is that you go ahead and approve authorization to execute forms of agreement with both providers under a continuing services agreement and you wouldn't be paying for their services absent a work authorization that would come before the board for discreet portions of that work. We have also reviewed the qualifications; they meet the district's rules of procedure requirements for continuing services contracts and we have also preemptively requested their hourly fees so you can approve those contracts today rather than having to wait 30 or 60 days to bring them back. I believe the continuing services contract form was actually tabbed under the amenity bid accidentally but it is in there. This would be to rank

both of them as your top qualified firm and authorize staff to execute the form of agreement in your agenda package in substantial form with rates not to exceed for Dantin for professional engineer Keith or Debbie \$175 - \$225 per hour maximum rate, techs are \$60 and clerical is \$35 per hour and Kimley Horn has fee schedules that range from \$80 to \$265 depending on the category if they are professionals as a not to exceed, but remember we would be negotiating individual work authorizations for each kind of work.

Mr. Patterson stated we are approving them to be able to work for the district and we will approve specific projects.

Ms. Kilinski stated that is right.

Mr. Russell asked would it be more beneficial if we have more than two in the mix?

Ms. Kilinski stated we received notice there was another company that was interested in submitting qualifications but missed the deadline. What we are going to suggest, and we can do that here is that when we notice our next meeting in order to cut down on the cost to re-advertise qualifications for engineering services, that we go ahead and combine that request with your regular meeting notice. There is another company that is interested in doing work that the district may want to consider also having a contract with. Unfortunately, they didn't respond within the qualification period, so we do need to advertise that but to cut down costs I suggest we add it to our next meeting notice. We can take two motions, one to approve both engineering services contracts for continuing engineering services and authorize to staff to notice another qualification period and bring back responses to your next board meeting.

On MOTION by Mr. Patterson seconded by Ms. Castille with all in favor Kimley Horn and Dantin Consulting were both ranked as the top qualified firms and staff was authorized to execute the form of continuing services agreements in substantial form and staff was further authorized to notice another qualification period for engineering services for the next meeting.

Mr. Mossing stated this has no impact on our existing contract with GPI.

SIXTH ORDER OF BUSINESS

Evaluation of Proposals for Amenity Facilities Construction Project

Ms. Kilinski stated as you have seen the district only received one response to the bid. Typically, we have the evaluation criteria and you rank them when we have multiple bids. You

are welcome to go through the ranking and do that to this bid, however, from staff's perspective we did review the bid and didn't see any deficiencies that were non-waivable deficiencies so this is a responsive bid you can accept and that way you can rank them as number one because it is the only bid you have. We are recommending to award that bid to Baycrest understanding that the next steps once that award resolution is made is we will send them a letter, send them the contract, execute that contract and based on some conversation I anticipate we will have a change order to that contract based on the phasing approach of that project at the next board meeting. Resolution 2020-06 is the award to Baycrest.

Mr. Russell asked is there a timeline by which the amenities have to be built?

Ms. Kilinski responded no, it is part of our capital improvement plan, there is no requirement that the district ever build the amenities except that we have money earmarked for that, but there is no contractual responsibility by the district or anyone else to perform that work on any timeline.

Mr. Russell stated under the circumstances we are in I didn't know if there was a timeframe we had to meet.

Ms. Kilinski stated in this bid in particular we structured it to say we may exercise our options on any one portion of that bid. In other words, we may just build the clubhouse or may just build the pool or the playgrounds. We bid it that way to allow us the flexibility of picking which projects we may move forward on.

Mr. Asbury stated in their bid they said they could start by May 1st.

Mr. Patterson asked is there a completion date?

Ms. Kilinski stated 270 days for the whole project if we were to move forward with all \$2 million worth of improvements.

A. Ranking Sheer & Evaluation Criteria

B. Review of Proposals Received

C. Consideration of Resolution 2020-06 Award of Construction Contract for Amenity Facilities Construction Project

On MOTION by Mr. Patterson seconded by Mr. Russell with all in favor Resolution 2020-06 was approved.

SEVENTH ORDER OF BUSINESS**Approval of Easement Agreement for
Proposed Comcast Project – Sweet Ridge
Street**

Ms. Kilinski stated we received this from the developer asking for approval by the district to provide some utility services and easement agreement for Comcast. We are waiting on confirmation that the district needs to be a party to this easement. If the Comcast improvements cross district property then we typically have negotiated a form of easement that says Comcast can enter district property, put in their utilities and restore the property to its same or better condition. In an abundance of caution, we are asking the board to approve that idea in substantial form. We have a form of agreement we previously negotiated with Comcast and if it does cross district property and we need to provide those easement rights we will negotiate that form of agreement. Not knowing exactly what the district needs to provide we weren't prepared to have an agreement in place because we haven't gotten confirmation that the district actually needs to be a party to it.

Mr. Asbury stated this easement is going down the private road, it is not a public road and it will be owned by the district.

Ms. Kilinski stated that is what I was waiting for confirmation and if that is the case then yes.

Ms. Asbury stated that is the case; it is the alley where they are running it and not on the main road.

Ms. Castille asked who owns the alleys?

Mr. Asbury stated the district does. The right of way owned by the district is about 20 feet or so and the easement is just like any other utility easement.

On MOTION by Ms. Castille seconded by Mr. Russell with all in favor the easement agreement for the proposed Comcast project on Sweet Ridge Street was approved in substantial form and staff was authorized to execute an easement agreement on district property for installation of various Comcast utilities.

EIGHTH ORDER OF BUSINESS**Consideration of Form of FGT Encroachment
Agreement for Future Crossings**

Ms. Kilinski stated this is similar in nature to what I just described. You previously approved an encroachment agreement and saw the form of agreements for a specific crossing. It has come to our attention after we had some discussion with FGT that there will be a number of

encroachment agreements that are necessary as we move through development and once FGT approves the form with the individual property owner or construction contractor as the case may be for us, they won't have to run those back through their legal staff. So we don't have timing issues with board meetings and getting these encroachment agreements approved is have the board look at the form of encroachment agreement we have already negotiated with FGT for this first crossing and approve that in substantial form allowing staff to execute those encroachment agreements as we move through development of the project. We will bring them back for ratification but in the event we need them ahead of a board meeting we would be allowed to execute those with the chairman and district staff.

On MOTION by Mr. Asbury seconded by Ms. Castille with all in favor the form of the FGT encroachment agreement for future crossings was approved in substantial form and the chair and district staff were authorized to execute the agreements.

NINTH ORDER OF BUSINESS

Acceptance of Arbitrage Rebate Report

Mr. Mossing stated the arbitrage rebate report was enclosed in your agenda package. As part of our bond issuance the district needs to have a rebate calculation performed to confirm that the district isn't earning more interest on its bond moneys than what it is paying. We are paying approximately 6% for our bonds and we are earning about 2%. There was a very large negative arbitrage requirement on all of our district accounts. We need to have this calculation done annually in case there was any chance we would earn more than we are paying.

Ms. Castille stated when I was in state government the Division of Bond Finance was continually looking at the cost of bonds and refinancing the bonds. Is that something we are able to do?

Mr. Mossing stated when the district issued these bonds there is generally a ten-year call protection built into them so that they are not eligible for refunding for ten years. The bond market right now is really bad, the interest rates are so low that they are having trouble selling bonds. I think there is only one bondholder for the Canopy bonds and there is a chance at some point in the future that there would be an opportunity to do that earlier with bondholder consent, but the way it is structured it won't be eligible for ten years.

On MOTION by Ms. Castille seconded by Mr. Russell with all in favor the arbitrage rebate calculation report was accepted.

TENTH ORDER OF BUSINESS**Acceptance of Annual Audit Report for Fiscal Year 2019**

Mr. Mossing stated the audit report was enclosed in your agenda package. Everything is in good shape for the district from the auditor's perspective and it is a clean opinion.

On MOTION by Ms. Castille seconded by Mr. Russell with all in favor the fiscal year 2019 audit report was accepted.

ELEVENTH ORDER OF BUSINESS**Consideration of Escrow Agreement between the District and Ox Bottom Mortgage Holdings and Capital City Bank**

Ms. Kilinski stated I received a call from Capital City Bank who is providing the loan to the developer for construction of Welaunee Boulevard. As you will recall when the district issued bonds we did not issue bonds for the purpose of Welaunee Boulevard recognizing that it would be a reimbursable expense and there was an interlocal agreement and it could have been constructed by the developer or the district at the developer's option. The district is undertaking construction of this project and the only way the district has funds to perform that work is through the construction funding agreement you previously approved and has been executed by the developer. The developer is getting a loan from Capital City Bank and recognizing that the district is a unit of government they really can't be at least from the district's perspective a security for that loan. They would be in second or third position behind assessment and O&M assessments. The only security for that loan is this escrow agreement. I have provided that to you under separate cover and it is fairly straightforward and envisions that the district along with the developer and Capital City Bank would each be parties to the escrow agreement and I have listed the attorney for Capital City Bank as the escrow agent. Once the district receives reimbursement for construction of Welaunee Boulevard pursuant to the interlocal the money would be put in an escrow account and then ultimately released to Capital City Bank once they are notified the money is sitting in that account. It never changed hands to the developer, the district would still be in receipt of those funds, but it would be placed in escrow and immediately remitted to Capital City Bank up to the amount of the loan. It is important to note that we added provisions in the escrow agreement that says the district can't guarantee it will be reimbursed, we don't control what the city is ultimately

going to do, but it doesn't additionally obligate the district to repay the loan. The loan agreement is solely between Ox Bottom Mortgage Holdings and Capital City Bank. This is a provision to allow for that loan to happen. I am very comfortable with it; it has also been signed off by developer's counsel as well as Capital City Bank.

On MOTION by Mr. Patterson seconded by Ms. Castille with all in favor the escrow agreement between the district and Ox Bottom Mortgage Holdings and Capital City Bank was approved in substantial form.

ELEVENTH ORDER OF BUSINESS

Staff Reports

A. Attorney

There being none, the next item followed.

B. Engineer

Mr. Asbury asked when do you anticipate seeing a permit on Unit 5 and Welaunee Boulevard?

Mr. Stackhouse stated they have verbally signed off on everything.

Mr. Asbury asked you think you will see it this week?

Mr. Stackhouse responded yes.

C. Manager

i. Approval of Check Register Summary and Requisition Summary

On MOTION by Mr. Patterson seconded by Ms. Castille with all in favor the check run summary and requisition summary were approved.

ii. Balance Sheet and Income Statement

A copy of the balance sheet and income statement were included in the agenda package.

iii. Ratification of FY20 Funding Request #3

On MOTION by Ms. Castille seconded by Mr. Russell with all in favor FY20 funding request no. 3 was ratified.

iv. Approval of FY20 Funding Request #4

On MOTION by Mr. Patterson seconded by Ms. Castille with all in favor FY20 funding request no. 4 was approved.

TWELFTH ORDER OF BUSINESS

Other Business

There being none, the next item followed.

THIRTEENTH ORDER OF BUSINESS

Supervisors Requests

There being none,

On MOTION by Mr. Patterson seconded by Ms. Castille with all in favor the meeting adjourned at 12:18 p.m.

Secretary/Assistant Secretary

Chairman/Vice Chairman

SECTION IV

SECTION A

CANOPY COMMUNITY DEVELOPMENT DISTRICT
Construction Services for Welaunee Boulevard, Segment 3A and Segment 2 Turn Lanes
Tallahassee, Florida

	Personnel (10 points total)	Experience and Available Equipment (25 points total)	Understanding Scope of Work (13 points total)	MWSBE (12 points total: up to 10 points for MWBE Participation Plan, 2 extra points for participation in Joint Venture, Partnership, and Association; Mentor-Protégé; or apprenticeship or externship relationships)	Schedule (20 points total: 15 points for most expedited schedule; 5 points for ability to complete within schedule)	Price (20 points total: 15 points for lowest cost proposal; 5 points for reasonableness of unit prices and balance of bid)
1. C.W. Roberts						
2. Sandco						

**See attached evaluation criteria sheet for more details*

CANOPY COMMUNITY DEVELOPMENT DISTRICT
Request for Proposals for the Welaunee Blvd. Segment 3A and Segment 2 Turn Lanes Construction Project
Evaluation Criteria

1. Personnel (10 Points)

E.g., adequacy and capabilities of key personnel, including the project manager and field supervisor; present ability to manage this project; evaluation of existing workload; proposed staffing levels, etc.

2. Proposer's Experience and Available Equipment (25 Points)

E.g., past record and experience of the respondent in self performing similar projects; past performance for this District in other contracts; character, integrity, reputation of respondent, etc.; and equipment type; age and condition; quantity of equipment available; and number of trained operators.

3. Understanding of Scope of Work (13 Points)

E.g. Demonstration of the Proposer's understanding of the project requirements.

4. Minority, Women and Small Business Enterprise (MWSBE) (12 Points)

Based on the Blueprint Procurement Policy, Section 101.07.1 and the Office of Economic Vitality's consolidated Minority, Women and Small Business Enterprise (MWSBE) Policy, the point system used in evaluating MWBE participation shall be as set forth below. Points awarded shall be based on the District Board's determination, consistent with the criteria provided therein. The District reserves the right to also consult with the City, County and Blueprint 2000 MBE offices for their recommendation in making said award.

A total of 10 points can be awarded for an MWBE Participation Plan:

a. Submission of an MWBE Participation Plan will earn 10 Points for meeting the following requirements: (1) utilizing an MWBE firm or firms holding an MWBE Program certification; (2) meeting the project specific goal for both MBE and/or WBE utilization based on percentage of the contract value paid to the MWBE firm(s); and (3) agreeing to monitor the work of the MWBE firms, provide subcontractor and subconsultant payment information to the MWSBE Division, and abide by this policy.

b. Submission of an MWBE Participation Plan will earn 5 Points if it meets (1) and (3) above but only meets a portion of the project specific goal for both MBE and/or WBE utilization in (2) above. Such responses must include Good Faith Effort documentation demonstrating why respondent could not meet the full project specific goal to remain responsive.

Demonstrating one or more of Joint Venture, Partnership, and Association, Mentor-Protégé, or apprenticeship or externship relationships may earn an additional 2 Points.

5. Schedule (20 Total Points)

Points available for schedule will be allocated as follows:

15 Points will be awarded to the Proposer submitting the proposal with the most expedited construction schedule (i.e., the fewest number of days) for completing the work. All other proposals will receive a percentage of this amount based upon the difference between the Proposer's time proposal and the most expedited construction schedule.

5 Points are allocated for the Proposer's ability to credibly complete the project within the Proposer's schedule and demonstrate on-time performance.

6. Price (20 Total Points)

Points available for price will be allocated as follows:

15 Points will be awarded to the Proposer submitting the lowest cost proposal for completing the work. All other Proposers will receive a percentage of this amount based upon the difference between the Proposer's bid and the low bid.

5 Points are allocated for the reasonableness of unit prices and balance of bid.

SECTION B



C.W. Roberts Contracting, Inc.
3372 Capital Circle NE
Tallahassee, FL 32308

RESPONSE TO REQUEST FOR PROPOSALS

Canopy CDD
Welaunee Boulevard Project

Canopy: A Community with Deep Roots
Fleischmann Road & Welaunee Road
Tallahassee, FL 32308



CANOPY

— A Community with Deep Roots —

OFFICIAL PROPOSAL FORM PART I – BID COVER SHEET
WELAUNEE BLVD. SEGMENT 3A AND SEGMENT 2 TURN LANES CONSTRUCTION PROJECT
TALLAHASSEE, FL
(Attach as coversheet to detailed bid)

This construction bid has been prepared by:

Name: Robert Flowers, President
Company: C.W. Roberts Contracting, Inc.
Address: 3372 Capital Circle NE
City: Tallahassee State: FL Zip Code: 32308
Telephone: 850-385-5060 Fax: 850-385-5420
FL License #: CGC1505785
Email: Bflowers@cwrcontracting.com

The Contractor understands and agrees to all items & requirements listed in the Project Manual, dated March 30, 2020 including all addenda issued during the bidding time, and is familiar with the project location and the City of Tallahassee and Leon County Permitting requirements.

Addenda Acknowledgement: Please list all Addenda received.

Addendum/RFI # <u>1</u>	Received (date): <u>03-30-20</u>
Addendum/RFI # <u>2</u>	Received (date): <u>04-16-20</u>
Addendum/RFI # <u>3</u>	Received (date): <u>04-21-20</u>
Addendum/RFI # <u>4</u>	Received (date): <u>04-24-20</u>
Addendum/RFI # <u>5</u>	Received (date): <u>05-11-20</u>

Bid Items:

Authorized Representative:



Signature: _____

Date: 05-15-20

CANOPY COMMUNITY DEVELOPMENT DISTRICT

Addendum No. 1

WELAUNEE BLVD, SEGMENT 3A AND SEGMENT 2 TURNLANES CONSTRUCTION PROJECT

March 30, 2020

To: Prospective bidders

I. Accessing the Mandatory Pre-Proposal Conference

Below are instructions on how to access the mandatory pre-proposal conference remotely. As stated in the Instructions to Bidders, the pre-proposal conference may include, but is not necessarily limited to, a discussion of contract requirements, inspections, evaluations and submittal requirements. Attendees will be required to provide contact information so that the District may provide addenda or other communication throughout the bid process. The Canopy Community Development District (“**District**”) reserves the right to preclude consideration of a proposal from any proposer that does not have an authorized representative present at said conference.

All interested parties are encouraged to submit questions and comments related to the pre-proposal conference to the District Engineer in advance at tstackhouse@gpinet.com, with a copy to jenk@hgslaw.com, to facilitate consideration of such questions and comments during the conference. For issues in accessing the pre-proposal conference media tools, please contact the District Engineer at the e-mail address provided herein or by phone at (850) 297-2948.

1. **Date:** April 10, 2020
2. **Time:** 1:00 p.m. EST
3. **Access:** At, or just before, the appointed time above, click on the “Join Microsoft Teams Meeting” link below. If you have received an electronic Project Manual, you will also receive an invitation to the meeting. For voice only, you may call in.

[Join Microsoft Teams Meeting](#)

[+1 631-339-0571](#) United States (Toll)

[\(877\) 284-0719](#) United States (Toll-free)

Conference ID: 132 434 163#

II. Interlocal Agreement for Welaunee Project – Cost Estimates

The Welaunee Blvd, Segment 3A and Segment 2 Turn Lanes Construction Project (“**Project**”) is a portion of the larger project addressed in the Interlocal Agreement between the City of Tallahassee, the Leon County-City of Tallahassee Blueprint Intergovernmental Agency, and the

Canopy Community Development Agreement, dated March 13, 2019, and recorded at Book 5293, Page 1305 et seq., Instrument #20190015198 in the Public Records of Leon County ("Interlocal Agreement").

The Interlocal Agreement, among other things, provides not-to-exceed amounts for the components of the larger Welaunee Boulevard project at Exhibit B attached thereto. Please note that these estimates are not engineer's estimates for the work; rather, they are not-to-exceed numbers provided for various components of the project to be reimbursed by public entities and anticipate contingency, project changes in permitting over the last two years, etc.

Any Bidder wishing to protest any or all of the matters contained or addressed in this addendum shall file a notice of protest with the District Manager, Governmental Management Services – Central Florida, LLC, 219 East Livingston Street, Orlando, Florida 32801, in writing within seventy-two (72) hours (inclusive of nights and weekends), after receipt of this Addendum, with an e-mail copy to dmossing@gmstnn.com. A formal written protest adequately detailing with particularity the facts and law upon which the protest is based shall be filed within seven (7) calendar days after the notice of protest is filed. Failure to timely file a written notice of protest or failure to timely file a formal written protest shall constitute a waiver of any right to object or protest with respect to this addendum.

Canopy Community Development District

Addendum No. 2

**WELAUNEE BLVD, SEGMENT 3A AND SEGMENT 2 TURNLANES
CONSTRUCTION PROJECT**

April 16, 2020

To: Prospective bidders

I. Accessing the Public Bid Opening Meeting

Below are instructions on how to access the public bid opening meeting remotely.

All interested parties are encouraged to submit questions and comments related to the public bid opening to the District Engineer in advance at tstackhouse@gpinet.com, with a copy to jenk@hgslaw.com, to facilitate consideration of such questions and comments during the meeting. For issues in accessing the public bid opening media tools, please contact the District Engineer at the e-mail address provided herein or by phone at 850-297-2948.

1. **Date:** April 28, 2020
2. **Time:** 3:00 p.m. EST
3. **Access:** Just before, the appointed time above, click on the "Join Microsoft Teams Meeting" link below. If you attended the Pre-Proposal Conference you should have received an invitation to this meeting already. For voice only, you may call in.

[Join Microsoft Teams Meeting](#)

[+1 631-339-0571](#) United States, Brentwood (Toll)

[\(877\) 284-0719](#) United States (Toll-free)

Conference ID: 870 014 043#

II. Responses to Questions/Concerns Received

- (1) *54" HDPE is shown between drainage structure #681 and #682. There is no bid item for this size pipe. Please provide a bid item for 54".*
 - a. **Response** – Plan change to incorporate the following (54" HDPP change to 60" HDPP) This change is incorporated on Sheets 15 (Note added for general reference only), 21, 85. Already included on the original Bid Tabulation Sheet.
- (2) *Bid quantities for OBG-1 seem to include only the limerock under the multi-use trail and do not include the SP 12.5 under the truck apron. In which bid item do we include the Type SP 12.5?*

- a. **Response** – Plan change to incorporate the following (Detail on Sheet 28 modified) and the following line items modified/added to Bid Tabulation Form – 12” Type B Stabilization quantity changed from 25,512 SY to 27,342 SY / Added 1,610 SY of Concrete Pavement for Roundabout / Added 1,831 SY of 12” #57 Stone)
- (3) *Also under the truck apron 12” of #57 granite is shown. Which pay item do we use for the #57 stone?*
- a. **Response** – See response to Question #2
- (4) *We do not understand the landscaping plan. It starts in the middle of the project and does not include the roundabout at Education Way. Please clarify.*
- a. **Response** – Plan change to incorporate the following: (New Landscape Sheets added to Plans – Remove Sheets 154 and 156 and replace with LS1.0-LS6.0, and LS9.0) Change reflected on the cover sheet.
- (5) *Are drainage structures s-t-64, s-t-66 and s-t-62 included in this project?*
- a. **Response** – Plan change to incorporate the following: (This pipe network will not be included but will be “stubbed out” from S-T-60) This change is not noted on Sheet 15 as this sheet is for general reference only. This change is noted on Sheet 84. Bid tabulation form change – 48” HDPP pipe quantity changed from 1,111 to 1,131 / 48” Pipe Cap changed from 2 to 3)

*Full pdf plan set with incorporated changes above is part of this Addendum #2

- (6) *The pay item for “fill” is wrong. It needs to be embankment rather than truck measure.*
- a. **Response** – Bid Tabulation Form Change (120-2-2 Borrow Excavation – Truck Measure changed to 120-6 Embankment – Fill)

*Modified Bid Tabulation Form (Sheet 1) with incorporated changes above is part of this Addendum #2

- (7) *We would like to make a request that the CAD files be made available to bidders for the above referenced project.*
- a. **Response** – CAD files are a part of this Addendum #2

III. Additional Plan Changes

- (1) Sheet 84 – Pipe and structure information tying to S-690 added. Bid tabulation form change – 46 LF of 29”x45” ERCP added / 36” HDPP pipe quantity changed from 199 to 203 / 36” Pipe Cap changed from 2 to 3)
- (2) Sheet 33B – Added

III. Permits

The following permits are part of this Addendum #2

- City of Tallahassee Environmental Management Permit TEM180050
- FDEP Permit 0385684-001-DWC/CG

Any Bidder wishing to protest any or all of the matters contained or addressed in this addendum shall file a notice of protest with the District Manager, Governmental Management Services – Central Florida, LLC, 219 East Livingston Street, Orlando, Florida 32801, in writing within seventy-two (72) hours (inclusive of nights and weekends), after receipt of this Addendum, with an e-mail copy to dmossing@gmstnn.com. A formal written protest adequately detailing with particularity the facts and law upon which the protest is based shall be filed within seven (7) calendar days after the notice of protest is filed. Failure to timely file a written notice of protest or failure to timely file a formal written protest shall constitute a waiver of any right to object or protest with respect to this addendum.

Canopy Community Development District

Addendum No. 3

**WELAUNEE BLVD, SEGMENT 3A AND SEGMENT 2 TURNLANES
CONSTRUCTION PROJECT**

Date: April 21, 2020

To: Prospective bidders

I. Response to Question Received: Extension of Certain Deadlines

Question: Will the District consider extending the proposal submittal due date?

Answer: Yes. In order to provide sufficient time for bidders to consider the additional information provided, the District will extend the proposal submittal due date to **May 15, 2020 at 12:00 p.m. (noon)**. Related deadlines will be extended accordingly.

Sealed proposals must be received no later than **12:00 p.m. (noon), May 15, 2020**, at the offices of the District Engineer, Greenman-Pedersen, Inc., located at 1590 Village Square Blvd, Tallahassee, FL 32309. Proposers will be advised of whether hand-delivered proposals will be accepted at a later date.

The new deadlines are as follows:

EVENT	PREVIOUS DEADLINE	NEW DEADLINE
Deadline for Questions	April 21, 2020, 5:00 p.m.	May 7, 2020, at 5:00 p.m.
Proposals Due	April 27, 2020, 11:59 p.m.	May 15, 2020, 12:00 p.m.
Public Opening of Proposals	April 28, 2020, 3:00 p.m.	May 15, 2020, 3:00 p.m.
Board Meeting to Evaluate Proposals & Award Contract	May 5, 2020, 11:00 a.m.	June 2, 2020, 11:00 a.m.

II. Typical Section Plan Changes – Dated 4-20-20 on the attached plan sheets which will replace Sheets 26 and 28 in the set dated 4-16-20 sent with Addendum 2

- (1) Sheet 26 – Typical Section 1 – Stationing changed from “Sta 42+00.52 to Sta 46+64.20” to “Sta 42+00.52 to Sta 48+49.40”
- (2) Sheet 28 – Welaunee Blvd. Roundabout Typical Section @ Education Way - Stationing changed from “Sta 31+49.84 to Sta 36+21.18” to “Sta 28+50 to Sta 31+49.84”
- (3) Sheet 28 – Welaunee Blvd. Roundabout Typical Section @ Dempsey Mayo Road - Stationing changed from “Sta 48+49.40 to Sta 50+65.62” to “Sta 48+49.40 to Sta 51+85.55”
- (4) Sheet 28 – Welaunee Blvd. Roundabout Typical Section @ Dempsey Mayo Road - Stationing changed from “Sta 773+58.99 to Sta 777+29.50” to “Sta 773+40 to Sta 777+45.79”

III. Bid Tabulation Form Changes – Dated 4-20-20

(1) Page1 - Eliminated the following duplicate line item:

- 1610 SY - Roundabout Truck Apron - 3.5' Brick Paver, 1" Sand

Any Bidder wishing to protest any or all of the matters contained or addressed in this addendum shall file a notice of protest with the District Manager, Governmental Management Services – Central Florida, LLC, 219 East Livingston Street, Orlando, Florida 32801, in writing within seventy-two (72) hours (inclusive of nights and weekends), after receipt of this Addendum, with an e-mail copy to dmossing@gmstnn.com. A formal written protest adequately detailing with particularity the facts and law upon which the protest is based shall be filed within seven (7) calendar days after the notice of protest is filed. Failure to timely file a written notice of protest or failure to timely file a formal written protest shall constitute a waiver of any right to object or protest with respect to this addendum.

Canopy Community Development District

Addendum No. 4

**WELAUNEE BLVD, SEGMENT 3A AND SEGMENT 2 TURNLANES
CONSTRUCTION PROJECT**

Date: April 24, 2020

To: Prospective bidders

I. Approved Permit for Holy Comforter Turn Lanes

Included with this addendum is the approved EMP amendment for the Holy Comforter Turn Lanes, permit #TEM 200024. This is an amendment to #TEM 160079. There have been no modifications to the design previously presented. This addendum is only to provide the approved plans to prospective bidders.

Any Bidder wishing to protest any or all of the matters contained or addressed in this addendum shall file a notice of protest with the District Manager, Governmental Management Services – Central Florida, LLC, 219 East Livingston Street, Orlando, Florida 32801, in writing within seventy-two (72) hours (inclusive of nights and weekends), after receipt of this Addendum, with an e-mail copy to dmossing@gmstnn.com. A formal written protest adequately detailing with particularity the facts and law upon which the protest is based shall be filed within seven (7) calendar days after the notice of protest is filed. Failure to timely file a written notice of protest or failure to timely file a formal written protest shall constitute a waiver of any right to object or protest with respect to this addendum.

Canopy Community Development District

Addendum No. 5

**WELAUNEE BLVD, SEGMENT 3A AND SEGMENT 2 TURNLANES
CONSTRUCTION PROJECT**

Date: May 11, 2020

To: Prospective bidders

I. Response to Question Received

Question: Sheet 147 provides mass grading information. On the East side of the Western Roundabout, the contours stop in a 20'+ fill section and the roundabout grading sheet does not address the slopes that will be required to construct the roundabout. Is the embankment quantity required to construct the roundabout reflected in the bid quantity for embankment?

Answer: Please base your unit bid price on the quantity provided. If more fill is required, this can be documented during construction and provided as a change order.

II. Information Related to Proposal Submission and Proposal Opening

1. As previously advised, sealed proposals must be received no later than **12:00 p.m. (noon), May 15, 2020**, at the offices of the District Engineer, Greenman-Pedersen, Inc. ("GPI"), located at 1590 Village Square Blvd, Tallahassee, FL 32309. **Both mailed and hand-delivered proposals will be accepted.** If hand-delivering, please knock on the door and provide your sealed proposal to the GPI employee on staff.
2. All Proposers must submit an electronic copy of their bid on a CD or flash drive. Please note that e-mailed proposals will **not** be accepted. Proposers may submit a physical copy of their proposal in addition to the required CD or flash drive, but are not required to do so.
3. Proposals will be publicly opened on May 15, 2020, at 3:00 p.m., via videoconferencing communications media technology. Any interested party may view or participate in the public proposal opening by following the instructions below:

Join Microsoft Teams Meeting

+1 631-339-0571 United States, Brentwood (Toll)

(877) 284-0719 United States (Toll-free)

Conference ID: 249 363 733#

For assistance accessing the proposal opening, please contact the District Engineer by phone at 850-297-2948.

Any Bidder wishing to protest any or all of the matters contained or addressed in this addendum shall file a notice of protest with the District Manager, Governmental Management Services – Central Florida, LLC, 219 East Livingston Street, Orlando, Florida 32801, in writing within seventy-two (72) hours (inclusive of nights and weekends), after receipt of this Addendum, with an e-mail copy to dmoosing@gmstnn.com. A formal written protest adequately detailing with particularity the facts and law upon which the protest is based shall be filed within seven (7) calendar days after the notice of protest is filed. Failure to timely file a written notice of protest or failure to timely file a formal written protest shall constitute a waiver of any right to object or protest with respect to this addendum.

OFFICIAL PROPOSAL FORM PART II – BID SUMMARY
WELAUNEE BLVD. SEGMENT 3A AND SEGMENT 2 TURN LANES CONSTRUCTION PROJECT
TALLAHASSEE, FL

TO: CANOPY COMMUNITY DEVELOPMENT DISTRICT

FROM: C.W. Roberts Contracting, Inc. (CWR)
(Name of Proposer)

In accordance with the Request for Proposals inviting proposals for **Canopy Community Development District –Welaunee Blvd. Segment 3A and Segment 2 Turn Lanes Construction Project**, the undersigned proposes to provide all work necessary to install and construct the improvements indicated on the Bid Tabulation Form and as otherwise specified herein as shown on the Drawings, and described in the referenced Specifications, as prepared by: Greenman-Pedersen, Inc., dated March 20, 2020.

MINIMUM QUALIFICATIONS

By submitting this Proposal, the Proposer certifies that it satisfies the following minimum qualifications (initial by each):

- BF (1) Proposer is able to furnish a payment and performance bond in the amount of the Project to the District, naming the City of Tallahassee and Blueprint Intergovernmental Agency as dual obligees;
- BF (2) Proposer is authorized to do business in Florida;
- BF (3) Proposer is registered with the City of Tallahassee and Leon County, and is a licensed contractor in the State of Florida; and
- BF (4) Proposer can provide the requisite minimum insurance requirements, naming all interested parties.

COMPONENT PRICING

Proposer understands that the District may award a contract for all of the Work or any component thereof, and that the District reserves the right to award multiple contracts as a result of this Request for Proposals. With that understanding, the Proposer wishes to be considered to perform the Work in accordance with the pricing indicated on the Bid Tabulation Form.

The undersigned Proposer, having a thorough understanding of the Work required by the Contract Documents, the site and conditions where the Work is to be performed, local labor conditions and all laws, regulations and other factors affecting performance of the Work, and having knowledge of the expense and difficulties attending performance of the Work, and having fully inspected the site in all particulars, hereby proposes and agrees, if this Proposal is accepted, to enter into the Construction Contract with the Owner to fully perform all Work in strict compliance with the Contract Documents, including the assumption of all obligations, duties and responsibilities necessary to the successful completion of the Project and the furnishing of all materials and equipment required to be incorporated in and form a permanent part of the Work; tools, equipment, supplies, transportation facilities, labor, superintendence and services required to perform the Work; and bonds, insurance, submittals; and all fees including without limitation permits, timber taxes, inspection fees, maintenance bonds, as-builts and plats as needed for dedication, etc., as indicated or specified in the Contract Documents to be performed or furnished by Proposer for the prices as indicated in the Proposal Summary.

TIME

Please keep in mind that the maximum time to reach Substantial Completion is 5.5 months (165 days) from issuance of a Notice to Proceed, and the maximum time to reach Final Completion is 6.5 months (195 days) from issuance of a Notice to Proceed (all terms are as defined in the Contract Documents).

Proposer is available to begin the work described in this Project Manual starting September, 2020.

Proposer submits that it can reach Substantial Completion of the work described in this Project Manual within 165 days () days of the issuance of a Notice to Proceed.

Proposer submits that it can reach Final Completion of the work described in this Project Manual within 195 days () days of the issuance of a Notice to Proceed.

The undersigned Proposer agrees to commence work within fourteen (14) days after the date of a written Notice to Proceed. The undersigned Proposer agrees that this Proposal shall be valid for a period of one hundred twenty (120) days from the date proposals are opened. Proposer hereby acknowledges that any work provided and any cost incurred by Proposer prior to receiving both the Notice of Award and the Notice to Proceed will be at Proposer's risk unless specifically agreed to in writing by the District. The Proposer, by signing below, acknowledges that there may multiple Notice to Proceeds. At the time of bidding the Project, the permit for the roadway portion and/or turn lanes portion of the Project may be pending; however, it is anticipated that remobilization will not be required and as such the bid should not assume separate projects or mobilization numbers.

DOCUMENTS AND ADDENDA

The Proposer submits that he has carefully examined the site and existing site conditions of the proposed Work, as well as the drawings and specifications. Also, Proposer has thoroughly reviewed the Request for Proposals, Instructions to Proposers, Evaluation Criteria, Standard Form of Agreement, General Conditions, Supplementary Conditions, Plans and Specifications and all other components of the Contract Documents and acknowledges that the addenda acknowledged on the Bid Tabulation Form cover revisions thereto. The proposer has included the cost, if any, of such revisions in the enclosed Pricing Amount(s).

Robert P. Flowers

(Signed)

Robert P. Flowers, President
(Print Name of Signatory)

This 15 day of May, 2020.
(Corporate Seal)

Sworn to before me by means of ☒ physical presence or ☐ online notarization
this 15 day of May, 2020.

Michelle V. Davis



Notary Public/ Expiration Date



5/14/2020 2:59:25PM

QUOTE PROPOSAL

C.W. ROBERTS CONTRACTING, INC

3372 Capital Circle NE
Tallahassee, Florida 32308

Contact:

Phone: 850-835-3500

Fax: 850-880-6158

Quote To:

Job Name: Welaunee Blvd Segment 3A & 2

FPN:

Date of Plans: July 18, 2018

Revision Date:

Phone:

Fax:

Quote Revision:

ITEM	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT
SEGMENT 3A ROADWAY					
10	MOBILIZATION	1.00	LS	600,000.00	600,000.00
20	MAINTENANCE OF TRAFFIC	1.00	LS	50,000.00	50,000.00
30	LANDSCAPING	1.00	LS	200,000.00	200,000.00
40	SEDIMENT BARRIER	13,440.00	LF	5.00	67,200.00
50	INLET PROTECTION SYSTEM	10.00	EA	600.00	6,000.00
60	SOIL TRACKING PREVENTION DEVICE (15X100)	2.00	EA	10,000.00	20,000.00
70	JUTEMAT	59,750.00	SF	0.80	47,800.00
80	ARTIFICIAL COVERINGS/ROLLED EROSION CONTROL	6,638.00	SY	4.00	26,552.00
90	SEED/MULCH	59,750.00	SF	1.00	59,750.00
100	CLEARING & GRUBBING	5.00	AC	12,000.00	60,000.00
110	TREE REMOVAL	103.00	EA	2,000.00	206,000.00
120	TRUNK PROTECTION	4.00	EA	1,500.00	6,000.00
130	TREE BARRICADE	4.00	EA	1,000.00	4,000.00
140	REGULAR EXCAVATION	2,678.00	CY	12.00	32,136.00
150	EMBANKMENT-FILL	62,861.00	CY	15.00	942,915.00
160	OPTIONAL BASE, BASE GROUP 01	6,567.00	SY	13.00	85,371.00
170	OPTIONAL BASE, BASE GROUP 06	17,762.00	SY	20.00	355,240.00
180	12" TYPE B STABILIZATION/BASE GRID -12 GEOGRID	27,342.00	SY	18.00	492,156.00
190	SP ASPH FINE MIX PG 76-22 (1.5") SP 9.5	542.00	TN	125.00	67,750.00
200	SP ASPH CONC. TL C PG 76-22 (2.5") SP-12.5	1,975.00	TN	120.00	237,000.00
210	SP ASPH CONC TL C PG 76-22 (3.5") SP 19	654.00	TN	135.00	88,290.00
220	ASPH CONC, FC 9.5 PG76-22 (1.5")	1,465.00	TN	144.00	210,960.00
230	ROUNDAABOUT TRUCK APRON - 3.5' BRICK PAVER 1" SAND	1,610.00	SY	22.00	35,420.00
240	CONCRETE PAVEMENT FOR ROUNDAABOUT APRON (8" THICK)	1,610.00	SY	110.00	177,100.00

ITEM	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT
250	12" #57 STONE	1,831.00	SY	50.00	91,550.00
260	INLETS, CURB, TYPE P-5 <10'	4.00	EA	8,000.00	32,000.00
270	INLETS CURB, TYPE P-6, <10'	2.00	EA	8,000.00	16,000.00
280	INLETS, CURB TYPE P-5 >10'	3.00	EA	15,000.00	45,000.00
290	INLETS CURB TYPE J-5 <10'	6.00	EA	8,000.00	48,000.00
300	INLETS CURB TYPE J-6 <10'	3.00	EA	11,000.00	33,000.00
310	INLETS CURB TYPE J-5 >10'	3.00	EA	15,000.00	45,000.00
320	INLETS CURB TYPE J-6 >10'	2.00	EA	18,000.00	36,000.00
330	INLETS, DITCH BOTTOM, TYPE D <10'	2.00	EA	5,000.00	10,000.00
340	MANHOLE TYPE 8 <10'	3.00	EA	8,000.00	24,000.00
350	MANHOLE TYPE 8 >10'	6.00	EA	15,000.00	90,000.00
360	MANHOLES J-8<10'	8.00	EA	6,500.00	52,000.00
370	MANHOLES J-8>10'	5.00	EA	15,000.00	75,000.00
380	PIPE CULV, OPT MATL, ROUND 18" S/CD	1,830.00	LF	85.00	155,550.00
390	PIPE CULV OPT MATL, ROUND, 24" S/CD	570.00	LF	115.00	65,550.00
400	PIPE CULV OPT MATL ROUND 36" S/CD	203.00	LF	160.00	32,480.00
410	PIPE CULV OPT MATL ROUND 48" S/CD	1,131.00	LF	270.00	305,370.00
420	PIPE CULV OPT MATL, ROUND 60" S/CD	1,573.00	LF	300.00	471,900.00
430	PIPE CULV, OPT MATL, ELLIPTICAL, 48" S/CD (29X45)	46.00	LF	300.00	13,800.00
440	PIPE CULV, OPT MATL, ELLIPTICAL, 48" S/CD (38X60)	141.00	LF	500.00	70,500.00
450	PIPE CULV OPT MATL ELLIPTICAL 60" S/CD (48X76)	64.00	LF	800.00	51,200.00
460	PIPE CULV, CAP HDPP 36"	3.00	EA	2,200.00	6,600.00
470	PIPE CULV, CAP HDPP 48"	3.00	EA	4,000.00	12,000.00
480	CONC SIDEWALK AND DRIVEWAYS 4"	375.00	SY	75.00	28,125.00
490	CONC SIDEWALK AND DRIVEWAYS 6"	684.00	SY	95.00	64,980.00
500	DETECTABLE WARNINGS	908.00	SF	40.00	36,320.00
510	TYPE F CURB & GUTTER (MODIFIED)- 18"	7,540.00	LF	35.00	263,900.00
520	CONCRETE CURB & GUTTER TYPE A	3,380.00	LF	55.00	185,900.00
530	CONCRETE CURB & GUTTER TYPE D	505.00	LF	50.00	25,250.00
540	CONCRET ECURB & GUTTER TYPE RA	793.00	LF	90.00	71,370.00
550	PERFORMANCE TURF SOD	12,716.00	SY	4.50	57,222.00
560	SINGLE POST SIGN F&I GM, <12SF	92.00	AS	400.00	36,800.00
570	THERMO PAVT MARK, STD, WHITE SOLID 6"	1.61	GM	4,500.00	7,231.50
580	THERMO PAVT MARK STD WHITE SOLID 12"	985.00	LF	6.00	5,910.00
590	THERMO PAVT MARK STD WHITE SOLID 18"	505.00	LF	7.50	3,787.50
600	THERMO PAVT MARK STD WHITE SOLID 24"	664.00	LF	10.00	6,640.00
610	THERMO PAVT MARK STD WHITE SKIP 6" (2'- 4')	0.10	GM	3,800.00	361.00
620	THERMO PAVT MARK STD WHITE SKIP 6" (6'- 3')	0.05	GM	3,800.00	174.80
630	THERMO PAVT MARK STD WHITE SKIP 6" (10'-30') INCLU	0.49	GM	3,800.00	1,858.20
640	THERMO PAVT MARK, STD, WHITE, MESSAGE	3.00	EA	150.00	450.00
650	THERMO PAVT MARK, STD, WHITE, ARROWS	30.00	EA	75.00	2,250.00

ITEM	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT
660	THERMO PAVT MARK STD YELLOW SOLID 6"	1.09	GM	4,500.00	4,914.00
670	THERMO PAVT MARK STD YELLOW SOLID 18"	58.00	LF	9.00	522.00
680	YIELD LINES WHITE	192.00	LF	4.00	768.00
690	BLUE RPM (FOR HYDRANT DELINEATION)	8.00	EA	6.00	48.00
700	UTILITY PIPE, PVC, FURNISH & INSTALL, WATER 6"	110.00	LF	40.00	4,400.00
710	UTILITY PIPE, PVC, FURNISH & INSTALL, SEWER 8"	2,274.00	LF	60.00	136,440.00
720	UTILITY PIPE, PVC, FURNISH & INSTALL WATER 8"	75.00	LF	75.00	5,625.00
730	UTILITY PIPE, PVC, FURNISH & INSTALL WATER 12"	2,660.00	LF	80.00	212,800.00
740	CAP 8" PVC SEWER	1.00	EA	1,500.00	1,500.00
750	22 DEG BEND 12"	4.00	EA	2,200.00	8,800.00
760	45 DEG BEND 12"	2.00	EA	1,800.00	3,600.00
770	90 DEG BEND 12"	1.00	EA	2,500.00	2,500.00
780	CAP 8" WATER	1.00	EA	2,000.00	2,000.00
790	CAP 12"	2.00	EA	2,500.00	5,000.00
800	12X12X12 TEE	1.00	EA	3,000.00	3,000.00
810	12X12X8 TEE	1.00	EA	3,000.00	3,000.00
820	DUCTILE IRON PIPE - 8"	100.00	LF	125.00	12,500.00
830	UTILITY STRUCTURE, BELOW GROUND, F&I, WATER/SEWER	6.00	EA	6,000.00	36,000.00
840	MANHOLE BELOW 6-12	7.00	EA	10,000.00	70,000.00
850	MANHOLE RELOCATE	1.00	EA	13,000.00	13,000.00
860	UTILITY FIXTURE, VALVE ASSEMBLY, F&I 8" GATE VALVE	2.00	EA	3,000.00	6,000.00
870	UTILITY FIXTURE, VALVE ASSEMBLY, F&I 12"	6.00	EA	3,500.00	21,000.00
890	FIRE HYDRANT, F&I STANDARD, 2 HOSE, 1 PUMPER	8.00	EA	13,000.00	104,000.00
	SEGMENT 3A ROADWAY SUBTOTAL				\$7,316,087.00
	WELAUNEE BLVD SEGMENT 2				
900	MOBILIZATION	1.00	LS	400,000.00	400,000.00
910	MAINTENANCE OF TRAFFIC	1.00	LS	50,000.00	50,000.00
920	LANDSCAPING	1.00	LS	30,000.00	30,000.00
930	INLET PROTECTION	10.00	EA	500.00	5,000.00
940	REMOVE TYPE A C&G	613.00	SY	40.00	24,520.00
950	REMOVE STRIPING	160.00	LF	9.00	1,440.00
960	TYPE F CURB & GUTTER MODIFIED -18"	110.00	LF	55.00	6,050.00
970	CONCRETE CURB & GUTTER TYPE A	210.00	LF	60.00	12,600.00
980	CONC SIDEWALK AND DRIVEWAYS, 4"	140.00	SY	75.00	10,500.00
990	OPTIONAL BASE, BASE GROUP 6	640.00	SY	20.00	12,800.00
1000	SP ASPH CONC, TRAFFIC C, PG76-22 (2.5") SP 12.5	88.00	TN	160.00	14,080.00
1010	ASPH CONC, FRICTION FC 9.5 PG 76-22 (1.5")	53.00	TN	190.00	10,070.00

ITEM	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT
1020	THERMO PAVT MARK STD, WHITE SOLID 6"	0.06	GM	4,500.00	270.00
1030	THERMO PAVT MARK, STD WHITE ARROWS	5.00	EA	125.00	625.00
1040	THERMO PAVT MARK, STD YELLOW SOLID 6"	0.01	GM	4,500.00	63.00
1050	THERMO PAVT MARK STD YELLOW SOLID 18"	45.00	LF	7.50	337.50
1060	THERMO PAVT MARK STD WHITE SOLID 12"	170.00	LF	6.00	1,020.00
1070	THERMO PAVT MARK, STD WHITE SOLID 24"	105.00	LF	9.00	945.00
1080	DETECTABLE WARNINGS	56.00	SF	40.00	2,240.00
1090	SINGLE POST SIGN, F&I GM <12SF	3.00	AS	500.00	1,500.00
1100	PERFORMANCE TURF, SOD	594.00	SY	4.50	2,673.00
1110	CLEARING & GRUBBING	0.13	AC	15,000.00	1,950.00
1120	PIPE CULV OPT MATL ROUND 18" S/CD	106.00	LF	85.00	9,010.00
1130	INLET DITCH BOTTOM TYPE C <10'	2.00	EA	8,000.00	16,000.00
1140	INLETS CURB TYPE P-5, >10'	1.00	EA	10,000.00	10,000.00
1150	TIE TO EXISTING INLETS CURB, TYPE P-5 >10'	3.00	EA	6,500.00	19,500.00
1160	GRADE SWALE 1' DEEP 3:1 SIDE SLOPES	300.00	LF	20.00	6,000.00
1170	PERFORMANCE TURF, SOD	600.00	SY	4.50	2,700.00
1180	REMOVE & REPLACE CONC SIDEWALK & DRIVEWAYS, 4"	27.00	SY	200.00	5,400.00
	WELAUNEE BLVD SEGMENT 2 SUBTOTAL				\$657,293.50
GRAND TOTAL					\$7,973,380.50

ORGANIZATIONAL INFORMATION OF PROPOSER
CANOPY COMMUNITY DEVELOPMENT DISTRICT
WELAUNEE BLVD. SEGMENT 3A AND SEGMENT 2 TURN LANES CONSTRUCTION PROJECT
TALLAHASSEE, FLORIDA

DATE SUBMITTED: 05-15, 2020

1. Proposer C.W Roberts Contracting, Inc. (CWR) / / A Individual
 (Company Name) / / A Partnership
/ / A Limited Liability Company
/ / A Corporation
X/ A Subsidiary Corporation

2. Proposer's Parent Company Name (if applicable) Construction Partners, Inc.

3. Proposer's Parent Company Address (if applicable)

Street Address 290 Healthwest Drive, Suite 2

P.O. Box (if any) _____

City Dothan State AL Zip Code 36303

Telephone (334) 673-9763 Fax No. (334) 673-9864

Email cowens@constrtionpartners net

1st Contact Name Charles Owens Title CEO

2nd Contact Name Alan Palmer Title CFO

4. Proposer Company Address (if different)

Street Address 3372 Capital Circle NE

P.O. Box (if any) _____

City Tallasse State FL Zip Code 32308

Telephone 850-385-5060 Fax No. 850-385-5420

Telephone _____ Fax No. _____

Email bflowers@cwrcontracting.com

1st Contact Name Robert (Bob) Flowers Title President

2nd Contact Name James (Jimmy) Strain Title Area Manager and Vice President

5. Is the Proposer incorporated in the State of Florida? Yes (X) No ()

5.1 If yes, provide the following:

Is the Company in good standing with the Florida Department of State, Division of Corporations?
 Yes (X) No ()

If no, please explain _____

Date Incorporated 01/19/76 Charter No. 493846

5.2 If no, provide the following:

The state in which the Proposer company is incorporated Florida

Is the company in good standing with the state? Yes (X) No ()

If no, please explain _____

Date incorporated _____ Charter No. _____

6. Is the Proposer company a registered or licensed contractor with the State of Florida? Yes (X) No ()

6.1 If yes, provide the following:

Type of registration (i.e. certified general contractor, certified electrical contractor, etc.)

Certified General Contractor

License No. CGC1505785 Expiration Date 08-31-20

Qualifying Individual Robert P. Flowers Title President

List company(ies) currently qualified under this license: C.W. Roberts Contracting, Inc.

6.2 Is the Proposer company a registered or licensed Contractor with Leon County and the City of Tallahassee?
Yes (X) No ()

6.3 Has the Proposer company performed work for a community development district previously?
Yes (X) No ()

7. Name of Proposer's Bonding Company Western Surety Company

Address 151 N. Franklin, Chicago, IL 60606

Approved Bonding Capacities:	Aggregate Limit	\$ <u>500M</u>
	Single Project Limit	\$ <u>150M</u>
	Total Current Contracts Bonded	\$ <u>226M</u>

8. Name of Proposer's Bonding Agency Turner Insurance and Bonding

Address 2601 Bell Road, Montgomery, AL 36117

Contact Name Renee Ellis Telephone (334) 386-3432

9. List the Proper's total annual dollar value of work completed for each of the last three (3) years starting with the latest year and ending with the most current year:
 (1) \$88,470,427, (2) \$119,675,512, (3) \$152,949,982.

10. What are the Proposers' company's current insurance limits?
 General Liability \$ 2M
 Automobile Liability \$ 5M
 Workers Compensation \$ 1M
 Expiration Date 10-01-20

11. Has the Proposer company been cited by OSHA for any job site or company office/shop safety violations in the past two years? Yes ☐ No ☒

If yes, please describe each violation fine, and resolution _____

What is the Proposer's current worker compensation rating? 0.68

Has the Proposer experienced any worker injuries resulting in a worker losing more than ten (10) working days as a result of the injury in the past two (2) years? Yes ☒ No ☐

If yes, please describe the incident: Knee injury (23 days), shoulder injury (134 days), head injury

(89 days), leg injury (14 days), knee injury (65 days), and hand injury (45 days).

12. Please state whether or not your company or any of its affiliates are presently barred or suspended from bidding or contracting on any state, local, or federal-aid contracts in any state(s)? Yes ☐ No ☒

If so, state the name(s) of the company(ies) _____

The state, local or federal entity(ies) with whom barred or suspended _____

State the period(s) of debarment or suspension _____

13. What is the construction experience of the proposed superintendent and project manager? What is their percentage availability for this project? If this project is anticipated to be their only focus during the project timeline, please write "100%."

INDIVIDUAL'S NAME	PRESENT POSITION OR OFFICE	MAGNITUDE AND TYPE OF WORK	YEARS OF CONSTRUCTION EXPERIENCE	YEARS WITH FIRM	IN WHAT CAPACITY?	PERCENTAGE AVAILABILITY FOR THIS PROJECT
Robert Flowers	President	Projects valued at \$100M and Highway Construction	41 Years	7	President & PM	100%
Jimmy Strain	Area Manager & Vice President	Projects valued at \$100M and Highway Construction	44 Years	4	Operations Manager	100%
Michael Smith	PM & Superintendent	Projects valued at \$15M and Highway Construction	41 Years	6	Superintendent	100%

14. Have you ever failed to complete any work awarded to you? Yes ☐ No ☒

If so, where and why? _____

15. Has any officer or partner of your organization ever been an officer, partner, or owner of some other organization that has failed to complete a construction contract?
Yes ☐ No ☒

If so, state name of individual, other organization and reason therefore _____

16. List any and all litigation to which the organization has been a party in the last five (5) years.

Details on litigation are attached.

17. Has organization or any of its affiliates ever been either disqualified or denied prequalification status by a governmental entity? Yes ☐ No ☒

If so, discuss the circumstances surrounding such denial or disqualification as well as the date thereof.

18. Within the past five (5) years, has organization failed to complete a project within the scheduled contract time?
Yes (X) No ☐

If so, discuss the circumstances surrounding such failure to complete a project on time as well as the date thereof.

Appalachee Parkway contract was slightly delayed (3 days) due to night work requirements with lane restrictions
And availability of concrete work at night. Coombs Street Milling contract slightly delayed (8 days) due to heavy
Rainfall and base failures due to wet base and subgrade.

19. List all projects currently under contract, with a remaining contract amount of over \$100,000.00 (excluding retainage) and with an expected remaining contract duration in excess of 120 days (to substantial completion).

Please find attached - Status of Contracts on Hand.

The undersigned hereby authorize(s) and request(s) any person, firm or corporation to furnish any pertinent information requested by the Canopy Community Development District or their authorized agents, deemed necessary to verify the statements made in this application or attachments hereto, or necessary to determine whether the Canopy Community Development District should qualify the Proposer for providing a Proposal for its construction projects, including such matters as the Proposer's ability, standing integrity, quality of performance, efficiency and general reputation.

Robert P. Flowers

By: _____

Robert P Flowers, President

(Type Name and Title of Person Signing)

This 15 day of May, 2020.

(Corporate Seal)

Sworn to before me by means of ☒ physical presence or ☐ online notarization
this 15 day of May, 2020.



Michelle V. Davis

Michelle Davis exp: 09-02-21

(Seal)

Notary Public/ Expiration Date

The following cases are those that are to some degree insured. If however, there are any lawsuits involving C.W. Roberts that have not been reported to insurance during the last 5 years then they are not represented below. These may include some initiated by C.W. Roberts Contracting.

The following litigation in the last 5 years:

- Langtree Properties v. C.W. Roberts
- Herndon v. C.W. Roberts
- Southern Seating, Inc v. C.W. Roberts
- Phillips v. C.W. Roberts
- Gosser v. C.W. Roberts
- Barfield v. C.W. Roberts
- Butler v. C.W. Roberts
- Lima v. C.W. Roberts
- Zaborowski v. C.W. Roberts
- Miller v. C.W. Roberts
- Rios v. C.W. Roberts
- Odom V. C.W. Roberts
- Hildebrandt v. C.W. Roberts
- Vanaman v. C.W. Roberts
- Butler v. C.W. Roberts

The following are Workers Comp Cases:

- Ellis Barnes vs. C.W. Roberts Contracting, Inc.
- Brandon L. Finsterbush vs. C.W. Roberts Contracting, Inc.
- Gregario Luna vs. C.W. Roberts Contracting
- Charles Nield vs. CW Roberts Contracting, Inc.
- Rick H. Roman vs. CW Roberts Contracting, Inc.
- Cirilo Pantoja vs. C W Roberts Contracting, Inc.
- Juanita Laura Smith vs. C.W. Roberts Contracting, Inc.
- Danny Richards vs. C. W. Roberts Contracting, Inc.
- Michael W. McQuinn vs. C.W. Roberts Contracting, Inc.
- Thomas Koski vs. C.W. Roberts Contracting, Inc.
- Manford Fry vs. C.W. Roberts Contracting
- Curtis Spencer vs. C. W. Roberts Contracting
- Timothy Bird vs. C.W. Roberts Contracting

C. W. Roberts Contracting, Inc.

Status of Contracts

April 20, 2020

Job #	Description of Project	Gross		Net	Remaining	Remaining	DOT	NON	to Complete Revenue
		Contract	Others	Contract	as Prime	as Sub			
1508	Jefferson County Annual Paving Contract	2,203,401	0	2,203,401	83,903	0	0	83,903	83,903
1518	Silas Green Road SCOP	662,971	66,298	596,673	56,674	0	0	56,674	56,674
1551	MLK EAST QUINCY RESURFACING	544,371	44,663	499,708	2,650	0	0	2,650	2,650
1555	Smith Creek Road Widening & Re	2,218,253	497,764	1,720,489	1,526,231	0	0	1,526,231	1,526,231
1560	FH 356 LAWHON MILL RD OVER UNSIGNED ST.	378,033	35,192	342,841	0	194,895	194,895	0	194,895
1571	SR 375/377 US 319 SOPCHOPPY HWY E3S48	2,310,742	447,605	1,863,137	2,145,570	0	2,145,570	0	2,145,570
1574	NEAL SUBDIVISION	627,528	47,965	579,563	299,001	0	0	299,001	299,001
1578	St. Joseph Peninsula State Par	2,085,000	765,880	1,319,120	0	2,071,748	0	2,071,748	2,071,748
1597	FAMU Phase IA	127,938	0	127,938	96,288	0	0	96,288	96,288
1310	SR 30 (US 98) T3579 Walton Co	12,654,305	0	12,654,305	0	6,398,232	6,398,232	0	6,398,232
1374	Walton Co Sports Complex	6,193,860	3,136,229	3,057,631	18,098	0	0	18,098	18,098
1399	30A Multiuse Path CR83-CR283	171,991	0	171,991	0	166,019	0	166,019	166,019
1436	Underbrush 2 Compound A	305,880	13,435	292,445	0	219,580	0	219,580	219,580
1457	Toms Bayou Bridge	219,168	0	219,168	0	196,517	196,517	0	196,517
1473	E3R51, US 98, Destin	4,745,729	1,228,654	3,517,075	526,126	0	526,126	0	526,126
1489	(T3695) SR 20/SR 81	9,878,108	1,519,189	8,358,919	2,609,490	0	2,609,490	0	2,609,490
1493	Watersound Origins Phase 5	12,889,541	942,988	11,946,553	0	7,614,471	0	7,614,471	7,614,471
1515	Advanced Munitions Tech Center	4,392,309	233,107	4,159,202	0	2,997,000	0	2,997,000	2,997,000
1522	PJ Adams Widening	14,899,489	6,328,605	8,570,884	12,542,435	0	0	12,542,435	12,542,435
1568	HENDERSON BEACH / COMMONS DR. SIGNAL	1,170,385	411,830	758,555	1,106,672	0	0	1,106,672	1,106,672
1572	RANGE ROAD 200 DO#20F0036	2,737,581	105,703	2,631,878	2,673,360	0	0	2,673,360	2,673,360
1573	Repair Airfield Pymnt Shldrs	1,841,490	49,540	1,791,950	1,831,435	0	0	1,831,435	1,831,435
1583	CR 883 Resurfacing	1,526,499	221,150	1,305,349	1,523,797	0	0	1,523,797	1,523,797
1586	CR 283 Turnlane	355,130	92,054	263,076	354,416	0	0	354,416	354,416
1587	E3SO3 - SR 79 Holmes County	3,352,760	1,315,471	2,037,289	3,350,903	0	3,350,903	0	3,350,903
1462	T5630 US 27 Lake Co.	7,678,343	829,206	6,849,137	105,501	0	105,501	0	105,501
1547	CR 473 Paved Shoulders	1,110,130	318,602	791,528	530,531	0	0	530,531	530,531
1556	CR 326 Reclaim (US 27 to NW 90	2,702,693	497,764	2,204,929	1,101,353	0	0	1,101,353	1,101,353
1562	SUMTER COUNTY BUENA VISTA BLVD PH 2	3,809,177	415,995	3,393,182	966,682	0	0	966,682	966,682
1575	FLORIDA CROSSROADS COMMERCE PARK RD	4,702,221	2,295,123	2,407,098	4,407,472	0	0	4,407,472	4,407,472
1576	SW 49TH COURT ROAD	2,919,320	1,097,168	1,822,152	2,791,556	0	0	2,791,556	2,791,556
1588	ESV13 Lake County 11 Locations	1,202,041	247,583	954,458	1,087,824	0	1,087,824	0	1,087,824
1590	Morse Blvd Phase 2 Rehabilitat	3,066,768	351,810	2,714,958	3,051,357	0	0	3,051,357	3,051,357
1272	SR 30 (US 98) Flyover	5,905,178	0	5,905,178	0	1,547,446	1,547,446	0	1,547,446
1349	SR 390 T-3529	5,352,994	38,200	5,314,794	0	1,722,893	1,722,893	0	1,722,893
1403	PC FY2018 Street Paving Project	452,174	8,834	443,340	121,487	0	0	121,487	121,487
1478	SR390 Jenks to 77 E3Q94	7,149,073	367,172	6,781,901	0	6,083,325	6,083,325	0	6,083,325
1484	SR 388 - Bay County	6,013,316	0	6,013,316	0	5,896,002	5,896,002	0	5,896,002
1490	Titus Road Subdivision	4,928,548	246,689	4,681,859	564,910	0	0	564,910	564,910
1514	SR 79 110 to US 90 E3R84	1,929,175	829,038	1,100,137	252,415	0	252,415	0	252,415
1521	Carillon Beach Road	987,409	285,939	701,470	60,145	0	0	60,145	60,145
1531	Stanford Pointe Apartments	194,285	0	194,285	49,525	0	0	49,525	49,525
1550	CR 162 Resurfacing Project	1,533,092	148,078	1,385,014	371,911	0	0	371,911	371,911
1552	ECP Taxiway E1 Improvements	1,977,820	647,627	1,330,193	1,820,999	0	0	1,820,999	1,820,999
1553	ECP Transient Apron Addition	4,557,134	2,675,766	1,881,368	4,383,895	0	0	4,383,895	4,383,895

C. W. Roberts Contracting, Inc.
Status of Contracts
April 20, 2020

Job #	FY 2018 Description of Project	Gross		Net	Remaining	Remaining	DOT	NON	to Complete
		Contract	Others	Contract	as Prime	as Sub			Revenue
1558	PARK PLACE SUBDIVISION	3,301,207	542,875	2,758,332	2,086,422	0	0	2,086,422	2,086,422
1577	US 231 @ 19th ST INTERSECTION E3R78	442,079	164,287	277,792	438,982	0	438,982	0	438,982
1582	IDLEWOOD DR / IDLEWOOD COURT	149,249	8,400	140,849	79,346	0	0	79,346	79,346
1593	Breakfast Point Phase 4	2,929,857	349,493	2,580,364	2,887,102	0	0	2,887,102	2,887,102
1596	Collegiate Drive T-3640	696,333	107,588	588,745	691,113	0	691,113	0	691,113
1599	Bay Parkway Phase II	15,864,242	6,592,251	9,271,991	15,788,554	0	0	15,788,554	15,788,554
1533	Publix	1,286,226	399,079	887,147	0	111,480	0	111,480	111,480
1534	St. Lucie Sports Complex	1,351,364	472,033	879,331	0	166,961	0	166,961	166,961
1535	Hemingway Estates	573,997	248,934	325,063	0	272,317	0	272,317	272,317
1536	Prima Vista Blvd	3,286,404	570,179	2,716,225	1,371,318	0	0	1,371,318	1,371,318
1537	Village on the Commons	686,927	302,716	384,211	0	188,734	0	188,734	188,734
1538	Del Webb At Tradition	1,693,845	0	1,693,845	438,716	0	0	438,716	438,716
1540	Copper Creek	318,095	89,418	228,677	0	38,908	0	38,908	38,908
1541	Harbor Chase	621,736	305,964	315,772	0	248,206	0	248,206	248,206
1542	BK Phase 2	272,240	156,697	115,543	0	228,103	0	228,103	228,103
1546	Copas Veterans Home	976,729	281,861	694,868	0	317,118	0	317,118	317,118
1554	Watermark Assisted Living	2,758,675	1,565,706	1,192,969	0	579,515	0	579,515	579,515
1601	MCA-Palm Lake Park	408,568	1,865	406,703	20,580	0	0	20,580	20,580
1603	C44 Reservoir	3,464,568	0	3,464,568	0	3,458,502	0	3,458,502	3,458,502
1498	US 41/Land O' Lakes Blvd	2,428,232	996,182	1,432,050	70,102	0	70,102	0	70,102
1527	Plant City Airport Runway	3,857,236	1,570,951	2,286,285	628,162	0	0	628,162	628,162
1561	SR 674 E COLLEGE AVE-RAILROAD CROSSING	246,281	152,553	93,728	238,040	0	238,040	0	238,040
1563	BELL SHOALS RD IMPROVEMENTS	3,794,157	17,097	3,777,060	0	3,748,183	0	3,748,183	3,748,183
1565	POLK PARKWAY (SR570) RESURFACING 0-8	13,354,195	3,434,524	9,919,671	12,282,534	0	12,282,534	0	12,282,534
1567	SR700 (US98) TRIBLY RD ROUNDABOUT	2,675,693	991,327	1,684,366	0	2,637,366	2,637,366	0	2,637,366
1598	E7M90 SR 39 Resurfacing from C	644,712	186,117	458,595	633,851	0	633,851	0	633,851
1512	Ohio Ave. Roadway Improv.	1,033,767	578,465	455,302	27,528	0	0	27,528	27,528
1559	JLR Treasure Coast	183,774	37,706	146,068	69,545	0	0	69,545	69,545
1579	OKEECHOBEE TAX COLLECTOR'S OFFICE	169,915	0	169,915	0	75,931	0	75,931	75,931
1580	CR 68 (MICCO BLUFF)	2,211,758	479,067	1,732,691	1,720,018	0	0	1,720,018	1,720,018
1581	WASTE MGT INC OF FLORIDA	172,400	0	172,400	0	51,236	0	51,236	51,236
		228,517,814	49,407,251	179,110,563	91,886,525	47,230,688	49,109,127	90,008,086	139,117,213

CORPORATE OFFICERS

Company Name C.W. Roberts Contracting, Inc.

Date 05-15-20

Provide the following information for Officers of the Proposer and parent company, if any.

NAME OF PROPOSER	POSITION OR TITLE	CORPORATE RESPONSIBILITIES	INDIVIDUAL'S RESIDENCE CITY, STATE
Robert P. Flowers	President	All Operations	Tallahassee, FL
Jimmy Strain	Area Manager & Vice Pres.	Project Operations	Dothan, AL
Stuart Savoy	Area Manager & Vice Pres.	Project Operations	Ocala, FL
Christopher Riley	Area Manager & Vice Pres.	Project Operations	Santa Rosa Beach, FL
Robert Delisle	Chief Financial Officer	Financial Operations	Pensacola, FL
FOR PARENT COMPANY (if applicable)			
Ned Flemming, III	Chairman of the Board	All Operations	Dallas, TX
Charles Owens	Chief Executive Officer	All Operations	Dothan, AL
Mark Matteson	V.P., Assistant Secretary	All Operations	Dallas, TX
Alan Palmer	Vice President	All Operations	Wicksburg, AL

SUPERVISORY PERSONNEL

Company Name C.W. Roberts Contracting, Inc.

Date 05-15-20_____

Company Name C.W. Roberts Contracting, Inc.

What is the experience of the key management and supervisory personnel of the Proposer company for both administration as well as operations? (Attach resumes of key personnel here)

[illegible]

RESUME

Name:	Robert P. Flowers	
Title:	President	
Your Firm:	C. W. Roberts Contracting, Inc	
Education/Degree	Studied building Science at Auburn University	
Licensure/Professional Registration:	USACE Certified Construction Quality Management Florida Certified General Contractor Virgin Islands Certified General Contractor Georgia Licensed General Contractor Georgia Utility Contractor Hazardous Waste General Awareness Trenching/Shoring Certification CPR and First-Aid.	
Number of Years' Experience:	40	
Employment History:		
Firm Name	Date of Employment	Title/Position
Barlovento, LLC	2003 – August 2013	VP Operations
Clark Construction Company	2001 – 2003	Executive Vice President
Construction Partners, Inc.	1999 – 2001	Vice President
Couch Construction L.P.	1994 – 1999	Georgia Division President
<p>2003 – Present Barlovento, LLC, Dothan, AL Vice President – Operations Manager – Barlovento is a General Contractor performing work for USACE, Navy, and Air Force Duties include: Prepare estimates Oversee work performed Successful implementation of Safety Plan Equipment purchases Full Profit & Loss Responsibilities Implementation of Management Information System Implementation of Barlovento's Design Build Program</p>		
<p>2001-2003 Clark Construction Company, Inc., Headland, AL Executive Vice President – Clark Construction performed bridge construction in Alabama and Northwest Florida Duties include: Implement HCSS estimating software Manage various bridge projects ranging from \$1.5M in size to \$21M. Integrate estimating software with Streetsmarts accounting software Implement improved safety program Implement various HR policies and procedures Work with CPA's to issue financial statements</p>		
<p>2000 –2001 Construction Partners Incorporated, Dothan, AL Vice-President COO – CPI was formed in 1999 to target and acquire highway contracting companies in the Southeast Duties Include: Performed due diligence on acquisition targets Worked with IT personnel to build information framework for operating companies Contacted potential acquisition targets Produce cash flow projections</p>		
<p>1994-2000 Couch Construction L. P., Peachtree City, GA Georgia Division President – Couch was a highway contractor in which HMA construction was their core business Duties include: Responsibility for performance of division statewide Executed an aggressive growth strategy as key objective</p>		

Increased revenue from \$25M in 1994 to \$85M in 1999
Determined Capital expenditure requirements

1990- 1994

Couch Construction L.P., Columbus, GA

Area Manager

Duties include: Estimate work and propose to customers
Oversee Asphalt Plant Operations.
Oversee and Schedule Laydown Operations
Recruit, hire, train employees
Purchase, Maintain, Repair Equipment
Full profit and loss responsibilities
Facilitated Acquisition of competitors

1983- 1989

Hardaway Constructors Inc.

Office Engineer, Project Engineer, Superintendent – Hardaway was a heavy civil company performing heavy highway work in the southeast. Marine and bridge construction was Hardaway's core business.



RICK SCOTT, GOVERNOR

JONATHAN ZACHEM, SECRETARY



STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

THE GENERAL CONTRACTOR HEREIN IS CERTIFIED UNDER THE
PROVISIONS OF CHAPTER 489, FLORIDA STATUTES

FLOWERS, ROBERT P

C. W. ROBERTS CONTRACTING, INCORPORATED
3372 CAPITAL CIRCLE NE
TALLAHASSEE FL 32308

LICENSE NUMBER: CGC1505785

EXPIRATION DATE: AUGUST 31, 2020

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State of Florida

Department of State

I certify from the records of this office that C. W. ROBERTS CONTRACTING, INCORPORATED is a corporation organized under the laws of the State of Florida, filed on January 19, 1976.

The document number of this corporation is 493846.

I further certify that said corporation has paid all fees due this office through December 31, 2020, that its most recent annual report/uniform business report was filed on January 7, 2020, and that its status is active.

I further certify that said corporation has not filed Articles of Dissolution.

*Given under my hand and the
Great Seal of the State of Florida
at Tallahassee, the Capital, this
the Seventh day of January, 2020*



Rainald R. R.
Secretary of State

Tracking Number: 9426643195CC

To authenticate this certificate, visit the following site, enter this number, and then follow the instructions displayed.

<https://services.sunbiz.org/Filings/CertificateOfStatus/CertificateAuthentication>

RESUME

Name:	Jimmy Strain	
Title:	Area Manager & Vice President	
Your Firm:	C. W. Roberts Contracting, Inc.	
Education/Degree	Bachelor of Civil Engineering at Auburn University	
Licensure/Professional Registration:	Professional Engineer – Florida Professional Engineer – Alabama	
Number of Years' Experience:	40	
Employment History:		
Firm Name	Date of Employment	Title/Position
C. W. Roberts Contracting, Inc.	2016 - 2018	Operations Manager
Wiregrass Construction	2013 - 2016	Operations Manager
APAC	2000 - 2011	Division President – Gulf Coast
Couch Construction L.P.	1986 - 2000	Operations Manager - Dothan
Couch Construction L.P.	1975 - 1986	Project Manager / Superintendent
2018 – Present C.W. Roberts Contracting, Inc., Tallahassee, FL Area Manager – Tallahassee and Hosford Divisions Duties Include: Prepare Estimates Oversee Work Performed and Operations Equipment Maintenance and Usage		
2016 - 2018 C.W. Roberts Contracting, Inc., Tallahassee, FL Operations Manager – Tallahassee and Hosford Divisions Duties Include: Prepare Bids and Proposals Help Implement Cost Training for Operation Personnel Oversee Work Performed and Operations		
2013 – 2016 Wiregrass Construction, Dothan, AL Operations Manager Duties Include: Prepare Estimates and Proposals Implemented Cost Training for Operation Personnel Oversee Work Performed and Operations		
2000 – 2011 APAC., Dothan, AL and Pensacola, FL Division President – Gulf Coast Duties Include: Oversee Division with 100-120 Million in revenue Oversee Six Asphalt Plants Manage Equipment and Capital Expenditures		
1986 – 2000 Couch Construction L.P., Columbus, GA Operations Manager Duties Include: Oversee Estimates and Proposals Oversee Operations and Projects Valued from 2 – 15 Million		

1975 – 1986 Couch Construction L.P., Columbus, GA

Project Manager / Superintendent

Duties Include: Oversee Daily Operations
Managed Projects Ranging from 1-7 Million



STATE OF FLORIDA DEPARTMENT
OF BUSINESS AND PROFESSIONAL
REGULATION

PE34658
PROFESSIONAL ENGINEER
STRAIN, JAMES A. JR.

ISSUED: 02/12/2019


Signature

LICENSED UNDER CHAPTER 471, FLORIDA STATUTES
EXPIRATION DATE: FEBRUARY 28, 2021

RESUME

Name:	Michael Smith	
Title:	Project Manager	
Your Firm:	C. W. Roberts Contracting, Inc.	
Education/Degree	James Shanks High School – Quincy, FL	
Number of Years' Experience:	40	
Employment History:		
Firm Name	Date of Employment	Title/Position
Self-Employed (Construction)	2002 - 20014	Project Manager
Sandco, Inc.	1998-2001	Superintendent
Mitchell Brothers	1995 - 1998	Superintendent
C.W. Roberts Contracting, Inc.	1982-1995	Superintendent
2014 – Present C.W. Roberts Contracting, Inc., Tallahassee, FL Superintendent – Tallahassee and Hosford Divisions Duties Include: Prepare and Submit FDOT Estimate Reports Oversee Work Performed and Operations Manage Timesheets for Workforce Oversee All Phases of Construction Attend Weekly Jobsite and Progress Meetings Reinforce and Manage Jobsite Safety		
2001 - 2014 Self-Employed Construction., Tallahassee, FL Project Manager – Tallahassee Duties Include: Prepare Bids and Proposals Perform Construction for City Municipalities Manage and Oversee All Phases of Construction		
1998 – 2001 Sandco, Inc., Tallahassee, FL Superintendent Duties Include: Prepare Estimates and Proposals Oversee All Phases of Construction Oversee Work Performed and Operations Reinforce and Manage Jobsite Safety		
1995 – 1998 Mitchel Brothers, Inc., Tallahassee, FL Superintendent Duties Include: Oversee All Phases of Construction Oversee Work Performed and Operations Reinforce and Manage Jobsite Safety		

1982 – 1995 C.W. Roberts Contracting, Inc., Tallahassee, FL

Superintendent

Duties Include: Prepare and Submit FDOT Estimate Reports
Oversee Work Performed and Operations
Manage Timesheets for Workforce
Oversee All Phases of Construction
Attend Weekly Jobsite and Progress Meetings
Reinforce and Manage Jobsite Safety

COMPANY OWNED MAJOR EQUIPMENT
(Attach additional sheets if necessary)

Date 05-15-2020

[illegible]

Miscellaneous Equipment	15.65080 Rolloff Container, 20cy Capaci	1501110
	15.40029 2001, Cargo Mate Sewer Video	1501150
	15.40033 2005,6X14 Anderson Cone Trailr	1501150
Miscellaneous Equipment Total		
Water Trucks	15.20005 Water Truck, Chevy 1998	1501150
	15.20008 Justin Hurley, Water Truck	1501120
	15.20009 Water Truck, Peterbilt 2003	1501150
	15.20010 Water Truck, Peterbilt 2006	1501150
	15.20011 Water Truck, Oshkosh 2003	1501120
	15.20012 Water Truck, Oshkosh 2003	1501110
	15.20013 Water Truck, Freightliner 2007	1501130
	15.20016 Water Truck, Kenworth 2007	1501120
	15.20019 Water Truck, Peterbilt 2003	1501110
	15.20020 Water Truck, Peterbilt 357 95	1501120
	15.20023 Water Truck, Intl Paystar '79	1501110
	15.20024 Water Truck, Kenworth 2017	1501120
Water Trucks Total		
Asphalt Distributors	15.21005 Distributor, FL70 2000	1501150
	15.21009 Charles Gates, Distributor2007	1501120
	15.21014 Richard Barnes, Distributor 08	1501120
	15.21015 Distributor, F750 2015	1501150
	15.21016 F750 Asphalt Distributor Truck	1501110
	15.21017 Kenworth Tack Truck, 2017	1501130
Asphalt Distributors Total		
Spreader Trucks	15.22003 Spreader Trk, Ford CF8000 1996	1501150
Spreader Trucks Total		
Dump Trucks	15.25031 Dump Truck, Kenworth T800 2003	1501120
	15.25038 Dump Truck, Mack CV713 2005	1501130
	15.25039 Dump Truck, Mack CV713 2006	1501130
	15.25048 Dump Truck, Kenworth T800 2006	1501130
	15.25051 Dump Truck, Mack CV713 2006	1501130
	15.25052 Dump Truck, Mack CV713 2006	1501130
	15.25053 Dump Truck, Mack CV713 2006	1501130
	15.25054 Dump Truck, Mack CV713 2006	1501120
	15.25056 Dump Truck, Kenworth T800 2006	1501130
	15.25057 Dump Truck, Kenworth T800 2007	1501150
	15.25058 Dump Truck, Kenworth T800 2007	1501150
	15.25059 Dump Truck, Kenworth T800 2007	1501150
	15.25061 Dump Truck, Mack CPT713B 2007	1501110
	15.25062 Dump Truck, Mack CPT713B 2007	1501110
	15.25063 Dump Truck, Mack CPT713B 2007	1501110
	15.25064 Dump Truck, Mack CPT713B 2007	1501110
	15.25065 Dump Truck, Peterbilt 367 2008	1501150
	15.25067 Dump Truck, Peterbilt 367 2008	1501150
	15.25068 Dump Truck, Peterbilt 367 2008	1501150
	15.25069 Dump Truck, Peterbilt 367 2008	1501150
	15.25072 Dump Truck, Peterbilt 367 2008	1501150

	15.25079 Dump Truck, Mack CV713 2004	1501120
	15.25083 Dump Truck, Peterbilt 367 2009	1501150
	15.25084 Dump Truck, Peterbilt 367 2009	1501150
	15.25085 Dump Truck, Peterbilt 367 2009	1501150
	15.25086 Dump Truck, Peterbilt 367 2009	1501150
	15.25087 Dump Truck, Mack GU813 2009	1501150
	15.25088 Dump Truck, Mack GU813 2009	1501150
	15.25090 Dump Truck, Mack CV713 2005	1501120
	15.R0076 Dump Truck, Kenworth T800 2016	1501150
	15.R0078 Dump Truck, Kenworth T800 2016	1501110
	15.R0077 Dump Truck, Kenworth T800 2016	1501110
	15.R0075 Dump Truck, Kenworth T800 2016	1501150
	15.R0079 Dump Truck, Kenworth T800 2016	1501130
	15.R0081 Dump Truck, Kenworth T800 2016	1501120
	15.R0082 Dump Truck, Kenworth T800 2016	1501120
	15.R0080 Dump Truck, Kenworth T800 2016	1501130
	15.R0098 Dump Truck, Kenworth T800 2016	1501120
	15.R0099 Dump Truck, Kenworth T800 2016	1501120
	15.R0100 Dump Truck, Kenworth T800 2016	1501120
	15.R0097 Dump Truck, Kenworth T800 2016	1501130
	15.R0096 Dump Truck, Kenworth T800 2016	1501110
	15.R0095 Dump Truck, Kenworth T800 2016	1501150
	15.R0121 Dump Truck, Kenworth T800 2017	1501150
	15.R0119 Dump Truck, Kenworth T800 2017	1501150
	15.R0120 Dump Truck, Kenworth T800 2017	1501120
	15.R0122 Dump Truck, Kenworth T800 2017	1501120
	15.R0123 Dump Truck, Kenworth T800 2017	1501130
	15.R0124 Dump Truck, Kenworth T800 2017	1501130
	15.25097 Dump Truck, Kenworth T800 2018	1501130
	15.25096 Dump Truck, Kenworth T800 2018	1501110
	15.25099 Dump Truck, Kenworth T800 2018	1501120
	15.25098 Dump Truck, Kenworth T800 2018	1501120
	15.25095 Dump Truck, Kenworth T800	1501150
	15.25094 Dump Truck, Kenworth T800	1501150
Dump Trucks Total		
Flatbed Trucks	15.07010 Flat Bed, GMC W4500, 1996	1501110
	15.07015 Utility, Ford F650 CC D 2006	1501130
	15.07016 Spare Ford	1501150
	15.07017 Utility, Ford F650 CC D 2008	1501110
	15.07020 Flatbed, Chevy 3500, 2005	1501150
	15.07043 Flabed truck	1501120
	15.07044 Spare, Paving Truck	1501120
	15.07045 Allen, Carlos Ford F650	1501150
	15.07046 Flat Truck, International 2003	1501150
	15.07047 Joe Lassandrello, 3500 2018	1501120
	15.07048 UA, 2018 3500 Chevy Flatbed	1501120
Flatbed Trucks Total		

Crash Cushion Trucks	15.09004 Attenuator Trk, Ford F700 1989	1501150
Crash Cushion Trucks Total		
Tractor Trucks	15.30019 Tractor Trk, Peterbilt 388 '08	1501110
	15.30021 Tractor Trk, Peterbilt 378 '05	1501120
	15.30022 Tractor Trk, Peterbilt 389 '08	1501120
	15.30023 Tractor Trk, Peterbilt 388 '08	1501150
	15.30025 Tractor Trk, Mack CH613 '04	1501150
	15.30026 Tractor Trk, Mack CL733 '06	1501150
	15.30027 Tractor Trk, T800B '17	1501150
	15.30028 Tractor Truck Kenworth 2016	1501120
	15.30029 Tractor Truck Kenworth 2018	1501130
Tractor Trucks Total		
Service Trucks	15.08008 Lube Truck, Freightliner 2006	1501130
	15.08010 Joe Turner, Peterbilt 335 Lube	1501120
	15.08012 Lube Truck, International 2011	1501120
	15.08015 Lube Truck, Mack RD688 2001	1501110
	15.08019 Lube Truck, International 2011	1501110
	15.08020 David Jones - T370 Fuel Truck	1501150
	15.08021 Lube Truck, Kenworth T370 2019	1501110
Service Trucks Total		
Mechanic/Utility Trucks	15.05000 Utility, Chevy 2500, 2007	1501150
	15.05001 Joshua Anderson, Chevy 2500	1501110
	15.05002 Lassandrello, Jo- Utility Chevy	1501120
	15.06014 Mech. Truck, Ford F550 D 2004	1501150
	15.06017 Mech. Truck, Ford F550 D 2006	1501110
	15.06019 Dallas Scott F550 2008	1501130
	15.06025 Herman Brown, Mechanic Truc	1501150
	15.06026 Faison, Cornelius - 2007 GMC	1501120
	15.06027 Stevens, Rick - F550 2011	1501150
	15.06028 Ford F550 4X4 w/ Crane 2012	1501130
	15.06030 Kreitzer, Thade Ford F550 2012	1501120
	15.06031 Ford F550 4X4 w/ Crane 2012	1501110
	15.06032 Ricky Stevens- F550 2012	1501150
	15.06034 Tyler Wilson, 5500 2017	1501150
	15.06033 Mark Conley, Dodge Ram 5500	1501120
	15.06035 Charles Gates, Dodge Ram 5500	1501120
	15.06036 Poff Justin, Dodge Ram	1501110
	15.06038 2018 Ram 5500	1501130
	15.06037 2018 Ram 5500	1501110
Mechanic/Utility Trucks Total		
Sweeper Trucks	15.09010 2016 Sweeper Truck	1501150
Sweeper Trucks Total		
Miscellaneous Trucks	15.09003 MOT/Cone Trk, Mitsu FH11 2002	1501150
	15.09008 Paint Truck, Mitsu FK260 2009	1501150
	15.09009 2000 Mitsubishi Cone Truck	1501130
Miscellaneous Trucks Total		
Rear Dump Trailers	15.36001 Dump Trailer, Hardee 1996	1501150

	15.40110 Dump Trailer, 2018 IronDog	1501150
Rear Dump Trailers Total		
Lowboys, Unknown Type	15.36008 Lowboy Trailer, TrailKing 2001	1501150
	15.36009 Lowboy Trailer, TrailKing 2003	1501110
	15.36026 Lowboy Trailer, TrailKing 2009	1501130
	15.36027 Lowboy Trailer, TrailKing 2009	1501150
	15.36030 Lowboy Trailer Stinge, Liddell	1501120
	15.36036 Ashpalt Lowboy Trailer	1501120
	15.36028 Lowboy Trailer, Talbert 2017	1501110
Lowboys, Unknown Type Total		
Flatbed Trailers	15.40103 Deck-Over Trailer	1501120
Flatbed Trailers Total		
Office Trailers	15.62007 Trailer, First String Off 2008	1501110
Office Trailers Total		
Miscellaneous Trailers	15.40020 Trailer, Utility 2000	1501120
	15.40026 Roller Trailer 2006 7 X 18	1501110
	15.40036 Trailer, 6X16 Cone 2005	1501150
	15.40049 Trailer, A-OK Cargo Trialer 04	1501120
	15.40055 Trailer, Redihaul 500 Gal 1998	1501150
	15.40082 2007 7x16 Haulmark Encls Trail	1501130
	15.40088 Ferro BH-18-2-7 7X18 Haul 2008	1501110
	15.40095 Trailer, Ditch Witch 1087	1501120
	15.40098 MOT Trailer 2006	1501120
	15.40099 Enclosed Utility Trailer 2007	1501120
	15.40043 Trailer, Ferro Aspht Dryer '07	1501150
	15.40047 2006 Anderson Trailer	1501120
	15.40018 Trailer, Utility 2000	1501130
	15.40084 Big Tex Core Rig 2007	1501110
	15.40042 2007 Alkota Tailer	1501130
	15.40035 2007 Straight Edge Trailer	1501150
	15.40086 2008 7x16 Haulmark Trail	1501130
	15.40102 Triple Crown Trailer 2014	1501130
	15.40039 2005 6X16 AndersonCone Trailer	1501150
	15.40013 Trailer, Cargo Pace Amer. 2003	1501110
	15.40008 Trailer, Cargo Pace Amer. 2000	1501150
	15.40089 Straight Edge Trailer 2009	1501120
	15.40023 Trailer, Utility 2003	1501150
	15.40019 Trailer, Utility 1997	1501150
	15.40021 Trailer, Utility 1999	1501110
	15.40048 Trailer, Ferroy 7X18 2008	1501110
	15.40100 Rdmaster Enclosed Trailer 2003	1501110
	15.40017 Trailer, Pace Amer Util 2005	1501110
	15.40034 Trailer, Leeboy Tack 2006	1501110
	15.40078 2000 Straight Edge Trailer	1501120
	15.40038 Alkolta Pressure Washer 2007	1501120
	15.40014 Trailer, Home Made Util 2003	1501150
	15.40024 Trailer, Anderson Utility 2006	1501150

	15.40046 Trailer, Haum Trialer 2008	1501150
	15.40083 1999 7x16 Pace Encls Trail	1501150
	15.40009 Trailer, Cargo Pace Amer. 2000	1501150
	15.40041 2007 Pace America	1501150
	15.40037 Trailer,Custom Built Gn 1998	1501150
	15.40104 Misceallaneous Trailer	1501110
	15.40106 2017 Elite Trailer	1501130
	15.40105 2016 Blower Trailer	1501150
	15.40107 Trailer,2017 Triple Crown	1501120
	15.40108 Trailer,2018 Triple Crown	1501130
Miscellaneous Trailers Total		
Standard Cab Pickup Trucks	15.01136 Kelby Sheets, F150 2006	1501110
	15.01173 Spare, F150 2007 (PCY)	1501130
	15.01178 Spare, F150 2008	1501150
	15.01181 Spare, F150 2008 (Freeport)	1501110
	15.01182 Sara Gordon, F150 2008	1501130
	15.01204 Dean Caudill, F250 2005	1501120
	15.01216 Spare, F150 2008	1501110
	15.01217 Spare, F150 2008 (FRP)	1501110
	15.01226 Shop Tru, F250 2008 (Hosford)	1501150
	15.01227 Nickolas Lynch,250 (Panama)	1501130
	15.01284 Allen Anderson,F150	1501110
	15.01322 William Mader, F150 2014	1501150
	15.01321 Darren Wilder, F150 2014	1501110
	15.01341 Chad Boyce, F150 2016	1501120
	15.01374 Matt Johnson,Chevrolet	1501120
	15.01370 Gabriel Gaulet, Chevrolet	1501130
	15.01371 Annesa Smith,Chevrolet	1501130
	15.01369 Barbara Baskins,Chevrolet	1501150
	15.01372 Steve Manuel, Silverado 2018	1501150
Standard Cab Pickup Trucks Total		
Extended Cab Pickup Trks (4WD)	15.01223 William Yates, F150 2008	1501130
	15.01251 Laura Smith,F150 2009	1501120
	15.01252 Gene Powers, F150 2009	1501120
	15.01294 Travis Parker, F150 2012	1501110
	15.01299 Chuck Moore, F150 2013	1501130
	15.01300 Jeff Sheets, F150 2013	1501110
	15.01301 Sammy Tanner, F150 2013	1501150
	15.01302 Patrick Corbin, F150 2013	1501130
	15.01304 Michael Smith, F150 2013	1501150
	15.01307 Bo Haddock, F150 2014	1501120
	15.01308 Michael Perfumo, F150 2014	1501120
Extended Cab Pickup Trks (4WD) Total		
Crew Cab Pickup Trucks	15.01191 Spare, F250 2008	1501130
	15.01210 Jose Manzano Sr., D Ram 2003	1501150
	15.01220 Spare, F250 2008	1501150
	15.01221 Shop Truck, F250 2005	1501120

	15.01232 Ernie Adams, F250 2009	1501150
	15.01240 Carlos Bernal Duenas,F250 2009	1501110
	15.01243 Anthony Kirkpatick, F250 2009	1501150
	15.01246 Terry Hall, F250 2009	1501110
	15.01249 Ralph Cain, F250 2010	1501150
	15.01266 Jose Lassandrello, C1500 2006	1501120
	15.01276 Wayne Kent, F250 2010	1501130
	15.01279 Jessie Nelson, F250 2006	1501130
	15.01283 Spare, F250 2010	1501130
	15.01289 Spare, F250 2010 (Hosford)	1501150
	15.01290 David Crowe, F250 2010	1501150
	15.01295 Christopher Hyatt, F250 2012	1501150
	15.01296 Jason Clark, F250 2012	1501110
	15.01326 Tim Adams,D Ram 2015	1501130
	15.01329 Gregorio Rodrigue, D Ram 2015	1501110
	15.01327 Chris Riley, F150 2015	1501110
	15.01334 Stanley Mckinsey, F150 2015	1501120
	15.01330 Tim Kruger, F150 2015	1501110
	15.01331 Brian Hansford, F150 2015	1501150
	15.01335 Willie Esland, F150 2015	1501150
	15.01333 Patrick Brennan, F150 2015	1501120
	15.01336 Stuart Savoy, F150 2015	1501120
	15.01339 Phillip Faircloth, F150 2015	1501150
	15.01380 Charles Parsons,2018 Dodge Ram	1501110
	15.01379 Herman Knowles,2018 Dodge Ram	1501110
	15.01381 Barry Gossman,2018 Dodge Ram	1501110
	15.01378 Joe Bair,2018 Dodge Ram 2500	1501130
Crew Cab Pickup Trucks Total		
Crew Cab Pickup Trucks (4WD)	15.01154 Ebe Walters, F250 2007	1501150
	15.01162 Spare, F250 2008	1501150
	15.01248 Casey Martin, F150 2010	1501130
	15.01286 Spare, F150 2010	1501150
	15.01293 Spare, F250 2012	1501150
	15.01297 Sapre, F150 2010	1501130
	15.01298 Don Stanley, F250 2011	1501150
	15.01319 Darren Phillips, F150 2014	1501110
	15.01320 Todd Castleberry, F150 2014	1501120
	15.01324 DeAndra Coleman,F150 2014	1501120
	15.01325 Mike McNeil, F150 2014	1501120
Crew Cab Pickup Trucks (4WD) Total		
Employee Vehicle	15.L0009 Tate, Donald - Pickup	1501110
	15.L0012 Sconiers, Robert - Pickup	1501110
	15.L0015 Clark, Craig - Pickup	1501110
	15.L0019 Myrick, Michael - Pickup	1501110
	15.L0020 Phillips, Kelly, Pickup	1501130
	15.L0027 Frier, Karl - Pickup	1501120
	15.L0028 Harrell, Chris - Pickup	1501150

15.L0032	Hartwich, Bruno - Pickup	1501120
15.L0040	Pursell, Chad - Pickup	1501150
15.L0060	Moore, Ryan - Pickup	1501130
15.L0073	Lago, Karen Ford	1501150
15.L0074	Delisle, Robert Chrysler	1501150
15.L0077	Travis Jamison - Truck	1501130
15.L0078	Ross, Penny - Toyota Camry	1501150
15.L0080	Robin Horton	1501150
15.L0081	Lisa Shierling	1501150
15.L0083	Dalton, Grady - Toyota Car	1501150
15.L0084	Andy Walker Pickup	1501120
15.L0085	Jeremy Bayn Powell Pickup	1501110
15.L0090	Sammy Hanna Pickup	1501150
15.L0095	James Patterson Dodge 100	1501110
15.L0097	Timothy Cullen - Pickup Truck	1501150
15.L0099	Jimmy Strain Pick Up	1501150
15.L0101	Daryl Tobin, Dodge	1501120
15.L0103	Parks Allman, F250	1501150
15.L0104	James Moller,Chevy	1501120
15.L0106	Deaton, Zachery - Pickup	1501130
15.L0107	Matney, Thurman- Pickup	1501120
15.L0108	Alvis, Brady	1501120
15.L0109	Robert Pecher	1501150
15.L0110	Justin Andrews, 2014 SILV1500	1501150

Employee Vehicle Total
1/2 Ton Truck

15.01305	Jeremy Ridley, F150 2013	1501130
15.01306	Bryan Turner, F150 2013	1501150
15.01310	Doug Adams, F150 2013	1501110
15.01311	Jimmy Sabbatis, F150 2013	1501120
15.01313	Adam Clift, F150 2014	1501130
15.01314	Michael Giley, F150 2013	1501110
15.01315	David Toole, F150 2013	1501110
15.01316	Michael Murphy, F150 2014	1501130
15.01317	Carmen Sirolli, F150 2014	1501120
15.01318	Mark Lewis, F150 2014	1501150
15.01323	Jason Moore,D Ram 2015	1501130
15.01328	Marvin Champion, D Ram 2015	1501130
15.01338	Jonathan Sanders, F250 2016	1501150
15.01340	Paul Ballah, F250 2016	1501120
15.01342	Thomas Jones, F250 2016	1501150
15.01343	Leo Young, F250 2016	1501120
15.01346	Leland Caudill, D Ram 2016	1501110
15.01345	Spare, F150 2016	1501120
15.01344	Spare, F150 2016	1501150
15.01347	Ben Smith, F250 2016	1501150
15.01348	Melvin Peters,D Ram 2016	1501130
15.01349	Steve Tate, D Ram 2016	1501110

	15.01350 Anthony Edwards,D Ram 2016	1501110
	15.01353 Scott Adams, D Ram 2016	1501130
	15.01367 Jerney Powell Silverado 2017	1501130
	15.01354 Shannon Robinson, Silverado	1501120
	15.01355 Victor Smith ,Chevy 2500	1501150
	15.01356 Alpheus Stan, SILVERADO 2017	1501150
	15.01357 Levene Street, Silverado 2017	1501150
	15.01358 Joe Bair, Silverado 2017	1501130
	15.01359 David Weeks,Silverado 2017	1501120
	15.01360 Freddie Jackson Silverado 2017	1501150
	15.01361 Craig Solomon, Silverado 2017	1501120
	15.01362 Evan Disenso Silverado 2017	1501150
	15.01363 Jack Gregory Silverado 2017	1501150
	15.01364 Jake Middleton Silverado 2017	1501120
	15.01365 Bob Flowers Tahoe 2017	1501150
	15.01366 Billy Powell Silverado 2017	1501130
	15.01368 Brad McNeil,Silverado 2017	1501120
	15.01375 Windell Henders,Silverado 2018	1501120
	15.01376 Charlie Taylor,Silverado 2018	1501120
1/2 Ton Truck Total		
Ford Ranger	15.01236 Bobby Neil, F Ranger 2008	1501110
	15.01281 TBS, F Ranger 2008	1501110
	15.01285 Spare,F Ranger 2008	1501150
Ford Ranger Total		
Passenger Vans	15.01196 FVan 2007, Spare in Hosford	1501150
	15.01373 Spare, 2017 Chevrolet Van	1501130
Passenger Vans Total		
SUV's, 2 Door (4WD)	15.01312 Troy Simpson, C Trailblazer 07	1501130
SUV's, 2 Door (4WD) Total		
SUV's, 4 Door	15.01212 Joseph Friend SUV 2007	1501150
	15.01277 Jose Manzaon Jr.,F Explorer07	1501150
	15.01337 John W Pitt, Jeep GC 2015	1501110
	15.01351 Adam Moore, Jeep GC 2016	1501150
	15.01352 Allen Crenshaw, Jeep GC 2016	1501150
	15.01377 Gary Rohrer, 2018 Jeep GC	1501120
SUV's, 4 Door Total		
Electric Vehicle	15.65115 Club Car Turf 2, Gas, 2012	1501130
Electric Vehicle Total		
Crawler Dozers	15.45014 Dozer, Cat D5N LGP 2004	1501130
	15.45020 Dozer, Cat D5N LGP 2004	1501110
	15.45021 Dozer, Cat D5N LGP 2004	1501150
	15.45022 Dozer, Cat D5G LGP 2006	1501150
	15.45025 Dozer, Cat D6K 2007	1501120
	15.45026 Dozer, Cat D6K 2008	1501130
	15.45027 Dozer, Komatsu D51P LGP 2008	1501120
	15.45029 Dozer, Cat D6K 2008	1501120
	15.45030 Dozer, Cat D6K 2008	1501110

	15.45033 Dozer, Cat D5G LGP 2006	1501110
	15.45036 Dozer, Catr D6N LGP 2007	1501110
	15.45037 Dozer, Catr D6N LGP 2007	1501110
	15.45045 Dozer, Cat D3K2LGP 2016	1501150
	15.45046 Dozer, Cat D5K2 2017	1501130
	15.45047 Dozer, Cat D3K2LGP 2017	1501110
	15.45048 Dozer, Cat D5K2 2018	1501120
Crawler Dozers Total		
Wheel Tractors	15.47002 Tractor, Challenger MT445 2002	1501110
	15.47045 Tractor, Deere 4440	1501120
	15.47049 2015 John Deere Tractor	1501150
Wheel Tractors Total		
Tractor-Loaders	15.47022 Loader/Dragbox, Cat 416D 2006	1501120
	15.47026 Loader/Dragbox, Cat 416D 2006	1501110
	15.47043 Loader/Dragbox, Cat 416D 2004	1501120
	15.47044 Loader/Dragbox, Cat 414E 2008	1501150
	15.47047 Loader/Dragbox, Cat 414E 2008	1501130
	15.47048 Loader/Dragbox, Cat 414E 2008	1501150
	15.47053 Loader/Dragbox, JD 210L 2017	1501120
Tractor-Loaders Total		
Tractor-Loader-Backhoes	15.47020 Loader/Backhoe, Cat 430D 2005	1501130
	15.47024 Loader/Backhoe, Cat 430D 2006	1501110
	15.47025 Loader/Backhoe, Cat 430E 2007	1501150
	15.47028 Loader/Backhoe, Cat 430E 2007	1501150
	15.47029 Loader/Backhoe, Cat 430E 2007	1501110
	15.47042 Loader/Backhoe, Cat 416C 2002	1501130
	15.47050 Loader/Backhoe, Cat 420 2016	1501110
	15.47051 Loader/Backhoe, JD 310 2017	1501120
Tractor-Loader-Backhoes Total		
Wheel Loaders	15.46014 Loader, Cat 938G 2002	1501150
	15.46027 Loader, Cat 938G 2005	1501120
	15.46028 Loader, Komatsu WA380-5 2006	1501110
	15.46029 Loader, Cat 950H 2006	1501150
	15.46030 Loader, Cat 950H 2006	1501150
	15.46044 Loader, Komatsu WA250 2007	1501120
	15.46048 Loader, Komatsu WA450-6L 2008	1501130
	15.46050 Loader, Cat 938H	1501110
	15.46051 Loader, Cat, 938H	1501120
	15.46052 Loader, Komatsu WA320-5L	1501110
	15.46053 Loader, Cat 938H	1501150
	15.46054 Loader, Cat 938H	1501110
	15.46065 Loader, Cat 950H 2006	1501120
	15.46067 Loader, Cat 966H 2009	1501130
	15.46069 Loader, Komatsu WA320P2-6 2009	1501130
	15.46070 Loader, Cat 966H 2010	1501120
	15.46071 Loader, Komatsu WA380-6 2011	1501110
	15.46072 Loader, Caterpillar 972G '05	1501110

	15.47041 Loader, Deere 3038E Dragb	1501110
	15.46073 Loader, Cat 966M 2015	1501150
	15.46074 Loader, CAT 966M 2016	1501110
	15.46075 Loader, Komatsu WA470 2017	1501120
	15.46076 Loader, Cat 930M 2018	1501130
	15.46077 Loader, Cat 930M 2018	1501130
	15.46078 Loader, 2018 JD 210G	1501120
Wheel Loaders Total		
Skid Steer Loaders	15.65032 Tractor, Cat 287B MTL 2006	1501110
	15.65034 Tractor, Caterpillar 236B 2007	1501110
	15.65036 Tractor, Caterpillar 236B 2007	1501120
	15.65037 Tractor, Cat 287B MTL 2006	1501130
	15.65038 Tractor, Caterpillar 236B 2007	1501150
	15.65039 Tractor, Cat 287B MTL 2006	1501150
	15.65041 Tractor, Caterpillar 236B 2007	1501130
	15.65089 Tractor, Caterpillar 236B 2008	1501150
	15.65091 Tractor, Cat 297C 2009	1501150
	15.65092 Tractor, Cat 297C 2009	1501130
	15.65097 Tractor, Cat 257 MLT	1501120
	15.65098 Skid Steer Loader	1501120
	15.65109 Tractor, Cat 297C 2009	1501120
	15.65110 Tractor, Caterpillar 236B 2006	1501120
	15.65111 Tractor, Cat 297C MTL	1501110
	15.65119 Tractor, CAT 297DHF 15	1501120
	15.65112 Tractor, Cat 297D2 MTL	1501110
	15.47052 Tractor, JD 333G 2017	1501150
	15.47054 Tractor, Cat 299D2 2018	1501130
Skid Steer Loaders Total		
Elevating Scrapers	15.48007 Scraper, Cat 613C 2006	1501130
	15.48008 Scraper, Cat 615CII 2005	1501110
	15.48015 Scraper, Cat 613C 2005	1501110
	15.48016 Scraper, Cat 613C 2005	1501120
	15.48017 Scraper, Cat 615CII 2006	1501110
	15.48018 Scraper, Cat 615C 2005	1501110
	15.48019 Scraper, Cat 615CII 2006	1501150
Elevating Scrapers Total		
Motor Graders	15.49014 Motorgrader, Cat 12H 2005	1501120
	15.49015 Motorgrader, Cat 140H 2004	1501130
	15.49016 Motorgrader, Cat 140H 2004	1501110
	15.49017 Motorgrader, Cat 12H 2006	1501110
	15.49026 Motorgrader, Cat 12H 2007	1501120
	15.49027 Motorgrader, Cat 12M 2008	1501130
	15.49028 Motorgrader, Cat 12M 2009	1501150
	15.49034 Motorgrader, Cat 12H 2004	1501150
	15.49038 Motorgrader, Cat 12M 2011	1501130
	15.49039 Motorgrader, Cat 12M 2012	1501120
	15.49040 Motorgrader, Cat 12M 2012	1501130

	15.49041 Motorgrader, JD 672G 2016	1501120
	15.49043 Motorgrader, Cat 12M3 2018	1501120
	15.49042 Motorgrader, Cat 12M3 2018	1501150
Motor Graders Total		
Crawler Hydraulic Excavators	15.51018 Excavator, Komatsu PC2208 2006	1501130
	15.51020 Excavator, Cat 330DL 2006	1501120
	15.51033 Backhoe, Cat 324DL 2007	1501110
	15.51034 Excavator, Cat 330DL 2007	1501120
	15.51038 Excavator, Cat 330DL 2007	1501110
	15.51045 Excavator, Cat 320CL 2005	1501120
	15.51056 Excavator, Cat 324DL 2009	1501150
	15.51057 Excavator, Komatsu PC400L-8 08	1501110
	15.51058 Excavator, Cat 336DL 2009	1501110
	15.51063 Excavator, Cat 326F 2017	1501110
	15.51065 Excavator, John Deere 2018	1501130
Crawler Hydraulic Excavators Total		
Articulated Rear Dumps	15.50015 Off Dump Truck, Cat 725 2005	1501130
	15.50019 Off Road Dump Tk, CAT 725 2014	1501130
	15.50018 Off Road Dump Tk, CAT 725 2014	1501130
	15.50020 Off Road Dump Tk, JD 300D2 17	1501120
	15.R0126 Off Road Dump Truck	1501120
	15.R0127 Off Road Dump Truck	1501120
Articulated Rear Dumps Total		
Off-Highway Water Tankers	15.65101 Water Wagon, Cat 613C 1994	1501110
	15.65103 Water Wagon, Cat 613C 1995	1501110
Off-Highway Water Tankers Total		
Rubber Tire Rollers	15.53009 Roller, Ing-Rand PT125R Traf01	1501150
	15.53010 Roller, Ing-Rand PT240R Traf01	1501150
	15.53014 Roller, Ing-Rand PT125R, 2000	1501120
	15.53053 Roller, Ing-Rand PT125R, 2003	1501110
	15.53065 Roller, Bomag 530AH 2002	1501120
	15.53093 Roller, Ing-Rand PT240R Traf08	1501110
	15.53094 Roller, Ing-Rand PT240R Traf08	1501120
	15.53116 Roller, Ing-Rand PT240R Traf07	1501150
	15.53123 Roller, Dynapac CP142 Ro, 2009	1501150
Rubber Tire Rollers Total		
3-Wheel Static Rollers	15.53086 Roller, Dynapac 3 Wheel 2007	1501110
	15.53092 Roller, Dynapac 3 Wheel 2008	1501150
	15.53113 Roller, Dynapac 3 Wheel 2002	1501120
	15.53124 Roller, Dynapac 3 Wheel 2009	1501120
	15.53125 Roller, Dynapac CC524HF 2010	1501110
	15.53126 Roller, Dynapac CC142 2010 Rol	1501130
3-Wheel Static Rollers Total		
Towed Padfoot Rollers	15.53021 Roller, Tampo 48" SF Pull Type	1501150
	15.53022 Roller, Tampo 48" SF Pull Type	1501150
Towed Padfoot Rollers Total		
Towed Grid Rollers	15.53023 Roller, Grid Pull Type	1501150

Towed Grid Rollers Total
Vibratory Base Rollers

15.53049	Roller, Cat CS563D Vib 2002	1501110
15.53051	Roller, Cat CS563D Vib 2002	1501150
15.53052	Roller, Cat CS533D Vib 2004	1501150
15.53058	Roller, Cat CS533E Vib 2005	1501110
15.53061	Roller, Dynapac CA250D, 2006	1501130
15.53062	Roller, Dynapac CA250D, 2006	1501120
15.53087	Roller, Dynapac CA250D, 2007	1501110
15.53088	Roller, Cat CS423E Vib 2007	1501130
15.53104	Roller, Dunapac CS141 3 Wheel	1501110
15.53107	Roller, Cat CS583 Vib 2001	1501150
15.53108	Roller, Cat CS533E Vib 2005	1501120
15.53109	Roller, Cat CS533E Vib 2006	1501120
15.53111	Roller, Cat CS533E Vib 2004	1501150
15.53114	Roller, Cedarapid Trench rollr	1501150
15.53117	Roller, Cat CS54 Vib 2009	1501110
15.53122	Roller, Dynapac CC524HF 2009	1501110
15.53134	Roller,Hamnm HD1201VVHF	1501130
15.53137	Roller, Cat CS54B Vib 2018	1501120

Vibratory Base Rollers Total
Combination Rollers

15.53027	Roller, Ing-Rand DD24 Vib 1999	1501150
15.53055	Roller, Ing-Rand DD34 Vib 2005	1501110
15.53059	Roller, Ing-Rand DD110, 2003	1501120
15.53064	Roller, Ing-Rand DD24 Vib 2004	1501120
15.53081	Roller, Ing-Rand SD100BTF 2002	1501150
15.53089	Roller, Cat CB534D Vib 2004	1501150
15.53112	Roller, Cat CB334E Vib 2006	1501120
15.53115	Roller, Cat CB334E Vib 2007	1501150
15.53118	Roller, Cat CB34 Vib 2009	1501110
15.53120	Roller, Cat CB434D Vib 2009	1501150
15.53121	Roller, Cat CB34 Vib 2009	1501150
15.53127	Roller, Cat CB54XW Vib 2010	1501150
15.53128	Roller, Cat CB54XW Vib 2010	1501150
15.53129	Roller, Hamm HD120 VIB 14	1501130
15.53130	Roller, Hamm HD120 VIB 14	1501110
15.53131	Roller,CAT CB54XW VIB 14	1501120
15.53132	Roller,CAT CB54XW VIB 14	1501120
15.53135	Roller, CB54XW	1501120
15.53133	Roller, Cat CB34B	1501150
15.53136	Roller, CB64	1501150

Combination Rollers Total
Crawler Pavers

15.54030	Paver,Vogela 52032I	1501110
15.54032	Paver, Vogeles Super 2000	1501130

Crawler Pavers Total
Road Wideners

15.55003	Spreader, Shoulder W530 2008	1501130
15.55004	Spreader, Shoulder W530 2008	1501150

Road Wideners Total

Material Transfer Devices	15.65031 Shuttle Buggy, 2006 Roadtec	1501130
	15.65040 Shuttle Buggy, Weiler E125 08	1501150
	15.65093 Shuttle Buggy, Roadtec MTV1000	1501150
	15.65117 Shuttle Buggy, Roadtec 1000D	1501110
	15.65088 Shuttle Buggy, Roadtec MTV100E	1501120
Material Transfer Devices Total		
Reclaimers/Stabilizers	15.56003 Mixer, Cat RM250 2002	1501110
	15.56010 Mixer, Cat RM300 Reclaim 2006	1501120
	15.56013 Mixer, Cat RM300 /Reclaim 2005	1501150
Reclaimers/Stabilizers Total		
Crawler Pavement Millers	15.56015 Milling Machine,Roadtec 2013	1501150
	15.56016 Milling Machine,Wirtgen 2015	1501150
Crawler Pavement Millers Total		
Self-Propelled Pavement Brooms	15.57015 Broom, LB/Rosco Sweep Pro 04	1501150
	15.57019 Broom, LB/Rosco Sweep Pro 05	1501130
	15.57020 Broom, LB/Rosco Sweep Pro 05	1501120
	15.57022 Broom, Broce RJ350 2006	1501150
	15.57023 Broom, LB/Rosco Sweep Pro 06	1501120
	15.57031 Broom, Broce RJ350 2008	1501130
	15.57033 Broom, Broce MK1 Conveyor 2008	1501150
	15.57034 Broom, Broce MK1 Conveyor 2008	1501150
	15.57039 Broom, Broce RJ350 2009	1501110
	15.57040 Broom, Broce RJ350 2009	1501130
	15.57041 Broom, LB/Rosco Sweep Pro 10	1501120
	15.57042 Broom, LB/Rosco Sweep Pro 10	1501150
	15.57045 Broom, Broce RJ350 2009	1501150
	15.57046 Broom, LB/Rosco Sweep Pro 10	1501110
	15.57047 Broom, LB/Rosco Sweep Pro 10	1501110
	15.57048 Broom, Roadtec FB100	1501150
	15.57049 Broom,Rosco Sweep Pro 4890 14	1501110
	15.57050 Broom, Leeboy Sweep Pro 2016	1501120
	15.57051 Broom,Rosco Sweep Pro 16	1501130
	15.57053 Broom, Leeboy Sweep Pro 2018	1501120
	15.57052 Broom, Leeboy Sweep Pro 2018	1501120
Self-Propelled Pavement Brooms Total		
Portable Light Towers	15.65104 Lightsource Light Plant	1501120
	15.65105 Lightsource Light Plant	1501120
	15.65121 Light Tower	1501150
	15.65123 Light Tower	1501150
	15.65120 Light Tower	1501150
	15.65122 Light Tower	1501150
	15.65127 Light Tower	1501120
	15.65124 Light Tower	1501120
	15.65125 Light Tower	1501120
	15.65126 Light Tower	1501120
	15.65131 Light Tower	1501150
	15.65129 Light Tower	1501150

Portable Light Towers Total		
Tractor Attachment	15.65090 Broom, BA18HYD Cat 2008	1501110
Tractor Attachment Total		
Survey Equipment	15.63047 2012 Accugrade GPS Kit-Trimble	1501150
Survey Equipment Total		
Pneumatic Tire Lift Trucks	15.65001 Forklift, Komatsu FG15H 1996	1501150
Pneumatic Tire Lift Trucks Total		
Generator Sets	15.65024 Generator, Cat 58kw	1501120
Generator Sets Total		
Centrifugal Pumps	15.61035 Pump, Hydraulic Mac 6"	1501120
Centrifugal Pumps Total		
Diaphragm Pumps	15.61020 6" Vacuum Asst Trash Pump	1501110
	15.61029 Pump, Thompson Vacuum 6"	1501150
	15.61034 Pump, Vacuum Well Point 6"	1501110
Diaphragm Pumps Total		
Air Compressors	15.65106 Compressor, IR P185 Air 1988	1501120
Air Compressors Total		
Misc. Equipment	15.59035 Blower, Air Curtain w/trailer	1501150
	15.59036 Blower, Air Curtain w/trailer	1501120
	15.65013 Gravel Bedding Box	1501150
	15.65116 Blower - Buffalo BTCKB4	1501150
	15.96000 Fuel Master System	1501150
	15.96006 Fuel Master System	1501110
	15.99510 Miscellaneous FRP	1501110
	15.99520 Miscellaneous WLD	1501120
	15.99530 Miscelaneous PCY	1501130
	15.99550 Miscellaneous HOS/TAL	1501150
	15.40027 2004 Alkota 5355j Presser Wash	1501150
	15.99560 Miscellaneous HOS/TAL	1501150
	15.65118 Buffalo KB4 Blower	1501110
	15.70001 2000 Tiara 43	1501150
	15.40031 2007,Kodiak 7X16 Cargo Trailr	1501130
	15.99999 Outside Rentals	1501120
	15.59038 Buffalo Blower	1501110
	15.99555 Miscellaneous TLH	1501150
Misc. Equipment Total		
Material Washers	15.40028 2004 Alkota 4355H Presser Wash	1501120
Material Washers Total		
Rubber Tire Pavers	15.54022 Paver, Cat AP655D 2009	1501110
	15.54023 Paver, Cat AP600D 2009	1501150
	15.54026 Paver, Cat AP1055D 2008	1501150
	15.54028 Paver, Cat AP600D 2010	1501120
	15.54029 Paver, Cat AP1000D 2010	1501120
	15.54031 Paver,Cat AP1055F 2016	1501150
	15.54033 Paver,Cat AP600F 2017	1501120
Rubber Tire Pavers Total		
Crawler Mini Excavators	15.51023 Excavator, Komatsu PC35 2007	1501150

	15.51026	Excavator, Komatsu PC50 2005	1501150
	15.51041	Excavator, Komatsu PC78MR-6 08	1501130
	15.51042	Excavator, Cat 303.5CR 2007	1501120
	15.51060	Excavator, Cat 308E 2015	1501120
	15.51061	Excavator, JD 50G 2016	1501150
	15.51062	Excavator, JD 60G 2016	1501150
Crawler Mini Excavators Total			
Telescopic Boom Aerial Lifts	15.65132	Telescopic Boom Lift	1501120
	15.65133	Telescopic Boom Lift	1501110
Telescopic Boom Aerial Lifts Total			

STATUS OF CONTRACTS ON HAND ATTACHED

STATUS OF CONTRACTS ON HAND
(Attach additional sheets if necessary)

Company Name C.W. Roberts Contracting, Inc.

Date 05-15-20

Furnish requested information about all of Proposer's active contracts, whether as prime or subcontracts; whether in progress or awarded but not yet started; and regardless of with whom contracted. All amounts to be shown to nearest \$1,000. Contractor may consolidate and list as a single item all contracts which individually do not exceed 3% of total active contracts and in total do not exceed 20% of the active total contracts.

[illegible]

C. W. Roberts Contracting, Inc.
Status of Contracts
April 20, 2020

Job #	FY 2018 Description of Project	Gross		Net		Remaining		DOT	NON	to Complete	
		Contract	Others	Contract		as Prime	as Sub			Revenue	
1508	Jefferson County Annual Paving Contract	2,203,401	0	2,203,401		83,903	0	0	83,903	83,903	
1518	Silas Green Road SCOP	662,971	66,298	596,673		56,674	0	0	56,674	56,674	
1551	MLK EAST QUINCY RESURFACING	544,371	44,663	499,708		2,650	0	0	2,650	2,650	
1555	Smith Creek Road Widening & Re	2,218,253	497,764	1,720,489		1,526,231	0	0	1,526,231	1,526,231	
1560	FH 356 LAWHON MILL RD OVER UNSIGNED ST.	378,033	35,192	342,841		0	194,895	194,895	0	194,895	
1571	SR 375/377 US 319 SOPCHOPPY HWY E3S48	2,310,742	447,605	1,863,137		2,145,570	0	2,145,570	0	2,145,570	
1574	NEAL SUBDIVISION	627,528	47,965	579,563		299,001	0	0	299,001	299,001	
1578	St. Joseph Peninsula State Par	2,085,000	765,880	1,319,120		0	2,071,748	0	2,071,748	2,071,748	
1597	FAMU Phase IA	127,938	0	127,938		96,288	0	0	96,288	96,288	
1310	SR 30 (US 98) T3579 Walton Co	12,654,305	0	12,654,305		0	6,398,232	6,398,232	0	6,398,232	
1374	Walton Co Sports Complex	6,193,860	3,136,229	3,057,631		18,098	0	0	18,098	18,098	
1399	30A Multiuse Path CR83-CR283	171,991	0	171,991		0	166,019	0	166,019	166,019	
1436	Underbrush 2 Compound A	305,880	13,435	292,445		0	219,580	0	219,580	219,580	
1457	Toms Bayou Bridge	219,168	0	219,168		0	196,517	196,517	0	196,517	
1473	E3R51, US 98, Destin	4,745,729	1,228,654	3,517,075		526,126	0	526,126	0	526,126	
1489	(T3695) SR 20/SR 81	9,878,108	1,519,189	8,358,919		2,609,490	0	2,609,490	0	2,609,490	
1493	Watersound Origins Phase 5	12,889,541	942,988	11,946,553		0	7,614,471	0	7,614,471	7,614,471	
1515	Advanced Munitions Tech Center	4,392,309	233,107	4,159,202		0	2,997,000	0	2,997,000	2,997,000	
1522	PJ Adams Widening	14,899,489	6,328,605	8,570,884		12,542,435	0	0	12,542,435	12,542,435	
1568	HENDERSON BEACH / COMMONS DR. SIGNAL	1,170,385	411,830	758,555		1,106,672	0	0	1,106,672	1,106,672	
1572	RANGE ROAD 200 DO#20F0036	2,737,581	105,703	2,631,878		2,673,360	0	0	2,673,360	2,673,360	
1573	Repair Airfield Pymnt Shldr	1,841,490	49,540	1,791,950		1,831,435	0	0	1,831,435	1,831,435	
1583	CR 883 Resurfacing	1,526,499	221,150	1,305,349		1,523,797	0	0	1,523,797	1,523,797	
1586	CR 283 Turnlane	355,130	92,054	263,076		354,416	0	0	354,416	354,416	
1587	E3SO3 - SR 79 Holmes County	3,352,760	1,315,471	2,037,289		3,350,903	0	3,350,903	0	3,350,903	
1462	T5630 US 27 Lake Co.	7,678,343	829,206	6,849,137		105,501	0	105,501	0	105,501	
1547	CR 473 Paved Shoulders	1,110,130	318,602	791,528		530,531	0	0	530,531	530,531	
1556	CR 326 Reclaim (US 27 to NW 90	2,702,693	497,764	2,204,929		1,101,353	0	0	1,101,353	1,101,353	
1562	SUMTER COUNTY BUENA VISTA BLVD PH 2	3,809,177	415,995	3,393,182		966,682	0	0	966,682	966,682	
1575	FLORIDA CROSSROADS COMMERCE PARK RD	4,702,221	2,295,123	2,407,098		4,407,472	0	0	4,407,472	4,407,472	
1576	SW 49TH COURT ROAD	2,919,320	1,097,168	1,822,152		2,791,556	0	0	2,791,556	2,791,556	
1588	E5V13 Lake County 11 Locations	1,202,041	247,583	954,458		1,087,824	0	1,087,824	0	1,087,824	
1590	Morse Blvd Phase 2 Rehabilitat	3,066,768	351,810	2,714,958		3,051,357	0	0	3,051,357	3,051,357	
1272	SR 30 (US 98) Flyover	5,905,178	0	5,905,178		0	1,547,446	1,547,446	0	1,547,446	
1349	SR 390 T-3529	5,352,994	38,200	5,314,794		0	1,722,893	1,722,893	0	1,722,893	
1403	PC FY2018 Street Paving Project	452,174	8,834	443,340		121,487	0	0	121,487	121,487	
1478	SR390 Jenks to 77 E3Q94	7,149,073	367,172	6,781,901		0	6,083,325	6,083,325	0	6,083,325	
1484	SR 388 - Bay County	6,013,316	0	6,013,316		0	5,896,002	5,896,002	0	5,896,002	
1490	Titus Road Subdivision	4,928,548	246,689	4,681,859		564,910	0	0	564,910	564,910	
1514	SR 79 110 to US 90 E3R84	1,929,175	829,038	1,100,137		252,415	0	252,415	0	252,415	
1521	Carillon Beach Road	987,409	285,939	701,470		60,145	0	0	60,145	60,145	
1531	Stanford Pointe Apartments	194,285	0	194,285		49,525	0	0	49,525	49,525	
1550	CR 162 Resurfacing Project	1,533,092	148,078	1,385,014		371,911	0	0	371,911	371,911	
1552	ECP Taxiway E1 Improvements	1,977,820	647,627	1,330,193		1,820,999	0	0	1,820,999	1,820,999	
1553	ECP Transient Apron Addition	4,557,134	2,675,766	1,881,368		4,383,895	0	0	4,383,895	4,383,895	

C. W. Roberts Contracting, Inc.
Status of Contracts
April 20, 2020

Job #	FY 2018 Description of Project	Gross		Net	Remaining	Remaining	DOT	NON	to Complete
		Contract	Others	Contract	as Prime	as Sub			Revenue
1558	PARK PLACE SUBDIVISION	3,301,207	542,875	2,758,332	2,086,422	0	0	2,086,422	2,086,422
1577	US 231 @ 19th ST INTERSECTION E3R78	442,079	164,287	277,792	438,982	0	438,982	0	438,982
1582	IDLEWOOD DR / IDLEWOOD COURT	149,249	8,400	140,849	79,346	0	0	79,346	79,346
1593	Breakfast Point Phase 4	2,929,857	349,493	2,580,364	2,887,102	0	0	2,887,102	2,887,102
1596	Collegiate Drive T-3640	696,333	107,588	588,745	691,113	0	691,113	0	691,113
1599	Bay Parkway Phase II	15,864,242	6,592,251	9,271,991	15,788,554	0	0	15,788,554	15,788,554
1533	Publix	1,286,226	399,079	887,147	0	111,480	0	111,480	111,480
1534	St. Lucie Sports Complex	1,351,364	472,033	879,331	0	166,961	0	166,961	166,961
1535	Hemingway Estates	573,997	248,934	325,063	0	272,317	0	272,317	272,317
1536	Prima Vista Blvd	3,286,404	570,179	2,716,225	1,371,318	0	0	1,371,318	1,371,318
1537	Village on the Commons	686,927	302,716	384,211	0	188,734	0	188,734	188,734
1538	Del Webb At Tradition	1,693,845	0	1,693,845	438,716	0	0	438,716	438,716
1540	Copper Creek	318,095	89,418	228,677	0	38,908	0	38,908	38,908
1541	Harbor Chase	621,736	305,964	315,772	0	248,206	0	248,206	248,206
1542	BK Phase 2	272,240	156,697	115,543	0	228,103	0	228,103	228,103
1546	Copas Veterans Home	976,729	281,861	694,868	0	317,118	0	317,118	317,118
1554	Watermark Assisted Living	2,758,675	1,565,706	1,192,969	0	579,515	0	579,515	579,515
1601	MCA-Palm Lake Park	408,568	1,865	406,703	20,580	0	0	20,580	20,580
1603	C44 Reservoir	3,464,568	0	3,464,568	0	3,458,502	0	3,458,502	3,458,502
1498	US 41/Land O' Lakes Blvd	2,428,232	996,182	1,432,050	70,102	0	70,102	0	70,102
1527	Plant City Airport Runway	3,857,236	1,570,951	2,286,285	628,162	0	0	628,162	628,162
1561	SR 674 E COLLEGE AVE-RAILROAD CROSSING	246,281	152,553	93,728	238,040	0	238,040	0	238,040
1563	BELL SHOALS RD IMPROVEMENTS	3,794,157	17,097	3,777,060	0	3,748,183	0	3,748,183	3,748,183
1565	POLK PARKWAY (SR570) RESURFACING 0-8	13,354,195	3,434,524	9,919,671	12,282,534	0	12,282,534	0	12,282,534
1567	SR700 (US98) TRIBLY RD ROUNDABOUT	2,675,693	991,327	1,684,366	0	2,637,366	2,637,366	0	2,637,366
1598	E7M90 SR 39 Resurfacing from C	644,712	186,117	458,595	633,851	0	633,851	0	633,851
1512	Ohio Ave. Roadway Improv.	1,033,767	578,465	455,302	27,528	0	0	27,528	27,528
1559	JLR Treasure Coast	183,774	37,706	146,068	69,545	0	0	69,545	69,545
1579	OKEECHOBEE TAX COLLECTOR'S OFFICE	169,915	0	169,915	0	75,931	0	75,931	75,931
1580	CR 68 (MICCO BLUFF)	2,211,758	479,067	1,732,691	1,720,018	0	0	1,720,018	1,720,018
1581	WASTE MGT INC OF FLORIDA	172,400	0	172,400	0	51,236	0	51,236	51,236
		228,517,814	49,407,251	179,110,563	91,886,525	47,230,688	49,109,127	90,008,086	139,117,213

COMPLETED CONTRACTS ATTACHED

PROJECTS COMPLETED BY PROPOSER IN THE LAST TWO YEARS

Company Name C.W. Roberts Contracting, Inc.

Date 05-15-20

List all projects completed in the last two years for which the contract value individually exceeded 3% of the Proposer's annual total work completed for the year the project was started. Include in the list projects that were started earlier than two years but were completed within the last two years.

PROJECT NAME/ LOCATION	FINAL CONTRACT AMOUNT	PRIME OR SUB ¹	CLASSIFICATION OF WORK PERFORMED	YEAR STARTED/ COMPLETED	OWNER NAME/ LOCATION ²	NAME & PHONE NUMBER OF OWNER'S REPRESENTATIVE ON THIS PROJECT ³

¹ 'Prime or Sub' should indicate whether Proposer performed the work as a prime contractor or as a subcontractor.

² 'Owner Name/Location' should indicate the Owner of the project if the Proposer performed the work as a prime contractor or the general contractor if the Proposer performed the work as a subcontractor.

³ 'Name & Phone Number of Owner's Representative on this Project' should list a reference from the business entity listed in the previous column familiar with Proposer's contract performance.

END OF ORGANIZATIONAL INFORMATION FORM

[illegible]

1321	15	D/B SR 83- PH B Paving - AC	\$391,595	HOT PLANT-MIXED BITUM. COURSES		2018	Freeport-Walton County	FDOT Hwy 90 East Chipley, FL 32428	FDOT HWY 90 E, Chipley, FL 32428
1329	11	Redstone Subdivision Ph 2 & 3	\$1,313,444	GRADING		2018	OKALOOSA	DR. HORTON, INC. 25366 PROFIT DR. DAPHNE, AL 36526	SOUTHEASTERN SITE & UNDERGROUND, LLC 415 STATE HWY 20 EAST FREEPORT, FL
1331	7	Jones Loop Road Box Culvert T3583	\$461,793	DRAINAGE		2018	Holmes County	FLORIDA DEPARTMENT OF TRANSPORTATION 1074 HIGHWAY 90 EAST, CHIPLEY, FL 32428	FLORIDA DEPARTMENT OF TRANSPORTATION 1074 HIGHWAY 90 EAST, CHIPLEY, FL 32428
1332	15	Eglin Modular Facilities	\$893,993	HOT PLANT-MIXED BITUM. COURSES		2018	OKALOOSA	AFTC/PZIO EGLIN-FA2823 308 WEST D AVE, BLDG 260, STE 130 EGLIN AFB, FL 32542-5418	DAWSON ENTERPRISE, LLC 900 FT. Street Mail, STE 1850, Honolulu, HI 96813
1343	15	SR 2 - CR 177 to Ten Mile Creek T3610	\$1,333,996	HOT PLANT-MIXED BITUM. COURSES		2018	Holmes County	FDOT 605 SUWANNEE ST, MAIL STATION 55 TALLAHASSEE, FL 32399	FDOT 605 SUWANNEE ST, MAIL STATION 55 TALLAHASSEE, FL 32399
1344	11	Rep Bridge RR236/Malone Creek	172,075	GRADING		2018	Eglin AFB- Okaloosa	AFTC/PZIO EGLIN 308 W D AVE, SUITE 130 BLDG 260 EGLIN AFB, FL 32542	JOHN ENTERPRISES, LLC 4540 HWY 20, STE 10 NICEVILLE, FL 32578
1346	11	Construction Parking Lot Bldg 2825	\$265,560	GRADING		2018	Eglin AFB- Okaloosa	AFTC/PZIO EGLIN 308 W D AVE, SUITE 130 BLDG 260 EGLIN AFB, FL 32542	AFTC/PZIO EGLIN 308 W D AVE, SUITE 130 BLDG 260 EGLIN AFB, FL 32542
1347	29	Eglin IDIQ - DO# 4400	\$1,837,836	PORTLAND CEMENT CONCRETE ROADWAY PAVING		2018	Eglin AFB- Okaloosa	AFTC/PZIO EGLIN 308 W D AVE, SUITE 130 BLDG 260 EGLIN AFB, FL 32542	AFTC/PZIO EGLIN 308 W D AVE, SUITE 130 BLDG 260 EGLIN AFB, FL 32542
1358	39	SR 292 & SR 10A PushButton T3569	\$358,133	TRAFFIC SIGNAL		2018	ESCAMBIA	FDOT 1074 HWY 90, Chipley, FL 32428	FDOT 1074 HWY 90, CHIPLEY, FL 32428
1360	39	SR 85 @ Commerce Dr Intersection Mod	\$457,615	TRAFFIC SIGNAL		2018	OKALOOSA	CITY OF CRESTVIEW, OFFICE OF THE CITY CLERK P.O. BOX 1209, CRESTVIEW, FL 32536 850-682-1560	CITY OF CRESTVIEW, OFFICE OF THE CITY CLERK P.O. BOX 1209, CRESTVIEW, FL 32536 850-682-1560
1361	11	Public - SR 85 at Airport Rd	\$450,796	GRADING		2018	OKALOOSA	PUBLIX SUPER MARKETS, INC. P.O. BOX 407, LAKELAND, FL 33802-0407	PUBLIX SUPER MARKETS, INC. P.O. BOX 407, LAKELAND, FL 33802-0407
1375	15	CR 30A Resurfacing PH 4	\$619,459	HOT PLANT-MIXED BITUM. COURSES		2018	Calhoun County	CALHOUN COUNTY BOCC 20589 CENTRAL AVE EAST, RM 130, BLOUNTSTOWN, FL 32424	CALHOUN COUNTY BOCC 20589 CENTRAL AVE EAST, RM 130, BLOUNTSTOWN, FL 32424
1380	15	T3628 SR 10 US 90 Washington Co	\$766,495	HOT PLANT-MIXED BITUM. COURSES		2018	WASHINGTON COUNTY	FDOT 605 SUWANNEE ST, MAIL STATION 55 TALLAHASSEE, FL 32399	FDOT 605 SUWANNEE ST, MAIL STATION 55 TALLAHASSEE, FL 32399
1381	29	Remove, Replace Slab Bldg 539 Eglin	\$168,731	PORTLAND CEMENT CONCRETE ROADWAY PAVING		2018	OKALOOSA COUNTY	AFTC/PZIO EGLIN 308 WEST D AVE BLDG 280 STE 130, EGLIN AFB, FL 32542	AFTC/PZIO EGLIN 308 WEST D AVE BLDG 280 STE 130, EGLIN AFB, FL 32542
1382	15	SR 189 Beal Pkwy. Okaloosa County	\$1,604,270	HOT PLANT-MIXED BITUM. COURSES		2018	OKALOOSA COUNTY	FDOT 605 SUWANNEE ST, MAIL STATION 55 TALLAHASSEE, FL 32399	FDOT 605 SUWANNEE ST, MAIL STATION 55 TALLAHASSEE, FL 32399
1386	15	New Entry Road Underbrush	\$292,837	HOT PLANT-MIXED BITUM. COURSES		2018	Walton County	USAF 425 EAST MAN ST ROBBINS AFB Georgia 31058-1811	SES CIVIL CONTRACTORS, LLC 1006 Floyd Culler Ct, Oak Ridge, TN 37830
1394	11	Helen McCall Park	\$1,839,311	GRADING		2018	Walton County	WALTON COUNTY FLORIDA 76 NORTH 6TH STREET, DEFUNIAK, FL 32433	WALTON COUNTY FLORIDA 76 NORTH 6TH STREET, DEFUNIAK, FL 32433
1396	15	Sandestin Roadway Imp. 2018	\$441,995	HOT PLANT-MIXED BITUM. COURSES		2018	Walton County	SANDESTIN OWNERS ASSOCIATION 185 GRAND BLVD, SANDESTIN, FL 32550	SANDESTIN OWNERS ASSOCIATION 185 GRAND BLVD, SANDESTIN, FL 32550
1401	10	Watersound Origins 2B Path	\$102,268	FLEXIBLE PAVING	GRADING	2018	Walton County	ST. JOE COMPANY	SOUTHEASTERN SITE & UNDERGROUND, LLC 415 STATE HWY 20 EAST FREEPORT, FL
1404	28	FTFA 17-1169 Removal and Paint	\$2,645,214	PAVEMENT MARKING		2018	OKALOOSA COUNTY	AFTC/PZIO EGLIN- FA2823 308 WEST D AVE, BLDG 260, STE 130, EGLIN AFB, FL 32542-5418	DFAS - COLUMBUS-F03000, ATTN: DFAS-JDCB/CIO P.O. BOX 182317, COLUMBUS, OH 48218-2317

Wildwood Profit CenterPanama City Profit Center

								THE WATERSOUND CO., LLC 133 SOUTHWATER SOUND PARKWAY WATERDOUND, FL 32413	GAC Contractors, 4116 HWY 231 N, Panama City, FL 32404 850-785-4675
1287	11	Watersound Origins PH2B	\$799,610	GRADING		2018	Walton County	WATERDOUND PARKWAY	CRESENT CIRCLE, SUITE 100
1294	11	Venture Crossing Build 203	\$842,106	GRADING		2018	Bay County	BREAKFAST POINT, LLC 133 N WATERSOUND PARKWAY, WATERDOUND, FL 32461	BREAKFAST POINT, LLC 133 N WATERSOUND PARKWAY, WATERDOUND, FL 32461
1301	11	Breakfast Point Phase 3B	\$3,277,976	GRADING		2018	Bay County	Royal American Construction Company, Inc	City of Springfield, 3529 East 3rd Street, Springfield, FL 32401
1314	10	Springfield Sewer Rehab Paving	\$630,216	FLEXIBLE PAVING		2018	Springfield		
1315	7	CR 382 Pipe Replacement	\$150,685	DRAINAGE		2018	Gulf County	Gulf County Board of County Commissioners, 1000 Cecil G. Costin Sr. Blvd, Port St. Joe, FL 32456	Gulf County Board of County Commissioners, 1000 Cecil G. Costin Sr. Blvd, Port St. Joe, FL 32456
1317	10	CR 2327 (Transmitter Road) Bicycle Lanes	\$1,169,416	FLEXIBLE PAVING		2018	Bay County	Bay County Board of County Commissioners, 840 W. 11th Street, Suite 2500, Panama City, FL 32401	Bay County Board of County Commissioners, 840 W. 11th Street, Suite 2500, Panama City, FL 32401
1352	10	Richard Bayou Sediment Reduction	\$697,631	FLEXIBLE PAVING		2018	Bay County	Bay County Board of County Commissioners, 840 W. 11th Street, Suite 2500, Panama City, FL 32401	Bay County Board of County Commissioners, 840 W. 11th Street, Suite 2500, Panama City, FL 32401
1359	10	Pelican Pointe	\$167,657	FLEXIBLE PAVING		2018	Panama City Beach, FL Bay County	Steve Summerbell - stevesummerbell@royalamerican.com 850-598-0601	Pelican Pointe of Bay, Ltd., 1002 W. 23rd Street, Suite 400, Panama City, FL 32405
1364	14	Kirkland Rd. CIGP	\$271,055	HOT IN PLACE RESURFACING *		2018	WASHINGTON	WASHINGTON COUNTY BCC 331 SOUTH BLVD. CHIPLEY, FL 32428	WASHINGTON COUNTY BCC 331 SOUTH BLVD. CHIPLEY, FL 32428
1368	10	SR 391 (Airport Road)	\$1,173,198	FLEXIBLE PAVING		2018	Bay County	FDOT - DISTRICT 3, 1074 HIGHWAY 90, CHIPLEY, FL 32428-2162	FDOT - DISTRICT 3, 1074 HIGHWAY 90, CHIPLEY, FL 32428-2162
1369	10	CR 2300 - Bay County	\$1,151,702	FLEXIBLE PAVING		2018	BAY COUNTY	Josie Cyr - Engineering Division 850-248-8301	Bay County Board of Commissioners, 840 West 11th Street, Panama City, FL 32401
1378	10	Repair Base Pavements - Tyndall AFB	\$865,231	FLEXIBLE PAVING		2018	Bay County	J.A.M. CONSTRUCTION SERVICES, INC. 5555 N. COURTENAY PKWY MERRITT ISLAND, FL 32953	J.A.M. CONSTRUCTION SERVICES, INC. 5555 N. COURTENAY PKWY MERRITT ISLAND, FL 32953

Job #		Work Class	Description of Project	Contract	Class of Work	Additional Class of Work	Year Completed	Location City - County	Name and Address of Official to Whom You Reference	Name and Address of Official to Whom You Reference
Tallahassee Profit Center:										
1408	10		City of Gretna COBG	\$871,546	FLEXIBLE PAVING		2019	Gadsden County	CITY OF GRETHA PO DRAWER 220, GRETHA, FL 32332	DWBERRY / PREBLE-RICH 20684 Central Ave., Blountstown FL 32424
1424	10		Meridian Street Resurfacing	\$572,927	FLEXIBLE PAVING	Milling	2019	Leon County	CITY OF TALLAHASSEE 300 SOUTH ADAMS ST TALLAHASSEE, FL 32301	CITY OF TALLAHASSEE 300 SOUTH ADAMS ST TALLAHASSEE, FL 32301
1444	10		Kever Road Paving Project	\$319,878	FLEXIBLE PAVING	DRAINAGE, FLEXIBLE PAVING, GRASSING, SEEDING AND SODDING	2019	Liberty County	LIBERTY COUNTY BOARD OF COUNTY COMMISSIONERS P.O. BOX 399 BRISTOL, FL 32321	COUNTY COMMISSIONERS P.O. BOX 399 BRISTOL, FL 32321
1451	11		Calhoun County Airport Taxiway	\$923,250	GRADING	FLEXIBLE PAVING, GRASSING, SEEDING AND SODDING	2019	Calhoun County	CALHOUN COUNTY BOCC# 20589 CENTRAL AVE EAST, RM 130, BLOUNTSWOWN, FL 32424	CALHOUN COUNTY BOCC# 20589 CENTRAL AVE EAST, RM 130, BLOUNTSWOWN, FL 32424
1471	11		St. George Island Road Repair	\$329,639	GRADING		2019	FRANKLIN COUNTY	FLORIDA DEPT OF ENVIRONMENTAL PROTECTION 4620 STATE PARK LN, PANAMA CITY FL 32408	FLORIDA DEPT OF ENVIRONMENTAL PROTECTION 4620 STATE PARK LN, PANAMA CITY FL 32408
1474	10		COT Summerbrooks Subdivision	\$558,044	FLEXIBLE PAVING		2019	Leon County	CITY OF TALLAHASSEE 300 SOUTH ADAMS ST TALLAHASSEE, FL 32301	CITY OF TALLAHASSEE 300 SOUTH ADAMS ST TALLAHASSEE, FL 32301
1397	10		SR 81-40 Gadsden Co. T3555	\$7,512,383	FLEXIBLE PAVING		2019	Gadsden County	FDOT 605 SUWANNEE ST, MAIL STATION 55 TALLAHASSEE, FL 32399	FDOT 605 SUWANNEE ST, MAIL STATION 55 TALLAHASSEE, FL 32399
1426	15		SR 63 (US 27) North Monroe St Resurfacing	\$4,097,043	HOT PLANT-MIXED BITUM. COURSES	MILKING, CURB & GUTTER	2019	Leon County	FDOT 605 SUWANNEE ST, MAIL STATION 55 TALLAHASSEE, FL 32399	FDOT 605 SUWANNEE ST, MAIL STATION 55 TALLAHASSEE, FL 32399
1429	10		Woodside Heights Paving M Inc.	\$410,560	FLEXIBLE PAVING		2019	Leon County	LEON COUNTY DEPT. OF PUBLIC WORKS 22480 MICOSUKEE ROAD TALLAHASSEE, FL 32398	M/OF TALLAHASSEE 4223 CAPITAL CIRCLE, N.W. TALLAHASSEE, FL 32303
					N/A					
					N/A					
					N/A					
					N/A					
					N/A					
				\$15,395,271						

[illegible][illegible]

Panama City Proton Center

Plant City Profit Center

Okechobee

Total Year	\$67,358,045
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II.C

[illegible]

CERTIFICATE AS TO CORPORATE PRINCIPAL
CANOPY COMMUNITY DEVELOPMENT DISTRICT
WELAUNEE BLVD. SEGMENT 3A AND SEGMENT 2 TURN LANES CONSTRUCTION PROJECT
TALLAHASSEE, FLORIDA

I, Robert Delisle, Secretary/CFO, certify that I am the Secretary of the Corporation named as Principal in the attached bond; that Robert Flowers who signed the said bond on behalf of the Principal, was then of said Corporation; that I know his signature, and his signature hereto is genuine; and that said bond was duly signed, sealed, and attested for and in Behalf of said Corporation by authority of its governing body.

Robert Delisle

Secretary

Corporate Seal

STATE OF Florida

COUNTY OF Leon

)
)
)
)

SS

Before me, a Notary Public duly commissioned, qualified and acting, personally appeared to me well known, who being by me first duly sworn upon oath, says that he is the Attorney-In-Fact, for the Corporation and that he has been authorized by Robert Flowers, President to execute the foregoing bond on behalf of the surety named therein in favor of Canopy Community Development District.

Sworn to before me by means of ☒ physical presence or ☐ online notarization
this 15 day of May, 2020.

Michelle V. Davis

09-02-21

Notary Public / Expiration Date:



(Attach Power of Attorney to original Proposal Bond and Financial Statement of Surety Company)

I.I.D.

AFFIDAVIT FOR INDIVIDUAL
CANOPY COMMUNITY DEVELOPMENT DISTRICT
WELAUNEE BLVD. SEGMENT 3A AND SEGMENT 2 TURN LANES CONSTRUCTION PROJECT
TALLAHASSEE, FLORIDA

STATE OF Florida)
COUNTY OF Leon) SS

Robert P. Flowers, President, being duly sworn, deposes and says that the statements and answers to the questions concerning experience contained herein are correct and true as of this date; and that he/ she understands that intentional inclusion of false, deceptive or fraudulent statements on this application constitute fraud; and, that the District considers such action on the part of the Proposer to constitute good cause for rejecting Proposer's proposal.

Robert P. Flowers

(Proposer must also sign here)

Sworn to before me by means of ☒ physical presence or ☐ online
notarization this 15th day of May, 2020.

Michelle V. Davis

Notary Public / Expiration Date: 09-02-21



(SEAL)

AFFIDAVIT FOR PARTNERSHIP
CANOPY COMMUNITY DEVELOPMENT DISTRICT
WELAUNEE BLVD. SEGMENT 3A AND SEGMENT 2 TURN LANES CONSTRUCTION PROJECT
TALLAHASSEE, FLORIDA

STATE OF Florida)
COUNTY OF Leon) SS

Robert Flowers, is a member of the firm of C.W. Roberts Contracting, Inc., being duly sworn, deposes and says that the statements and answers to the questions of the foregoing experience questionnaire are correct and true as of the date of this affidavit; and, that he/ she understands that intentional inclusion of false, deceptive or fraudulent statements on this application constitutes fraud; and, that the District considers such action on the part of the Proposer to constitute good cause for rejecting Proposer's proposal.

Robert P. Flowers

(Signature of a General Partner is Required)

Sworn to before me by means of ☒ physical presence or ☐ online
notarization this 15th day of May, 2020.

Michelle V. Davis

Notary Public / Expiration Date: 09-02-21



AFFIDAVIT FOR CORPORATION
CANOPY COMMUNITY DEVELOPMENT DISTRICT
WELAUNEE BLVD. SEGMENT 3A AND SEGMENT 2 TURN LANES CONSTRUCTION PROJECT
TALLAHASSEE, FLORIDA

STATE OF Florida)
)
 COUNTY OF Leon) SS

Robert Flowers (title) President
 of the C.W. Roberts Contracting, Inc.,
 (a corporation described herein) being duly sworn, deposes and says that the statements and answers to the questions of the foregoing experience questionnaire are correct and true as of the date of this affidavit; and, that he/ she understands that intentional inclusion of false, deceptive or fraudulent statements on this application constitutes fraud; and, that the District considers such action on the part of the Proposer to constitute good cause for rejecting Proposer's proposal.

Robert P. Flowers

(Officer must also sign here)

CORPORATE SEAL

Sworn to before me by means of ☒ physical presence or ☐ online
 notarization this 15th day of May, 2020.

Michelle V. Davis

Notary Public / Expiration Date: 09-02-21



BID BOND

Any singular reference to Proposer, Surety, Owner, or other party shall be considered plural where applicable.

PROPOSER (Name and Address):

C.W. Roberts Contracting, Inc.
3372 Capital Circle NE, Tallahassee, FL 32308

SURETY (Name and Address of Principal Place of Business):

Western Surety Company
151 N. Franklin Street, Chicago, IL 60606

OWNER: Canopy Community Development District
219 E. Livingston St.
Orlando, FL 32801
(407) 841-5524

Proposal

Proposal Due Date: May 15, 2020, :00 p.m.

Project (Brief Description Including Location): Canopy Community Development District **Welaunee Blvd. Segment 3A and Segment 2 Turn Lanes Construction Project** (Tallahassee, Florida)

BOND

Bond Number: N/A

Date (Not later than Proposal due date): May 15, 2020

Penal sum five percent of the amount bid 5%
(Words) (Figures)

Surety and Proposer, intending to be legally bound hereby, subject to the terms printed on the reverse side hereof, do each cause this Bid Bond to be duly executed on its behalf by its authorized officer, agent, or representative.

PROPOSER**SURETY**

C.W. Roberts Contracting, Inc. (Seal)

Proposer's Name and Corporate Seal

By: 

Signature and Title

Robert P. Flowers President

Attest:  estimator

Signature and Title

Western Surety Company (Seal)

Surety's Name and Corporate Seal

By: 

Signature and Title Renee Ellis, Attorney in Fact
(Attach Power of Attorney)

Attest: 

Signature and Title Witness

Note: Above addresses are to be used for giving required notice.

1. Proposer and Surety, jointly and severally, bind themselves, their heirs, executors, administrators, successors and assigns to pay to Owner upon default of Proposer the penal sum set forth on the face of this Bond. Payment of the penal sum is the extent of Surety's liability.

2. Default of Proposer shall occur upon the failure of Proposer to deliver within the time required by the Proposal Documents (or any extension thereof agreed to in writing by Owner) the executed Agreement required by the Proposal Documents and any performance and payment bonds required by the Proposal Documents.

3. This obligation shall be null and void if:

3.1. Owner accepts Proposer's Proposal and Proposer delivers within the time required by the Proposal Documents (or any extension thereof agreed to in writing by Owner) the executed Agreement required by the Proposal Documents and any performance and payment bonds required by the Proposal Documents, or

3.2. All Proposals are rejected by Owner, or

3.3. Owner fails to issue a Notice of Award to Proposer within the time specified in the Proposal Documents (or any extension thereof agreed to in writing by Proposer and, if applicable, consented to by Surety when required by Paragraph 5 hereof).

4. Payment under this Bond will be due and payable upon default by Proposer and within 30 calendar days after receipt by Proposer and Surety of written notice of default from Owner, which notice will be given with reasonable promptness, identifying this Bond and the Project and including a statement of the amount due.

5. Surety waives notice of any and all defenses based on or arising out of any time extension to issue Notice of Award agreed to in writing by Owner and Proposer, provided that the total time for issuing Notice of Award including extensions shall not in the aggregate exceed 120 days from Proposal due date without Surety's written consent.

6. No suit or action shall be commenced under this Bond prior to 30 calendar days after the notice of default required in Paragraph 4 above is received by Proposer and Surety and in no case later than one year after Proposal due date.

7. Any suit or action under this Bond shall be commenced only in a court of competent jurisdiction located in the state in which the Project is located.

8. Notices required hereunder shall be in writing and sent to Proposer and Surety at their respective addresses shown on the face of this Bond. Such notices may be sent by personal delivery, commercial courier, or by United States Registered or Certified Mail, return receipt requested, postage pre-paid, and shall be deemed to be effective upon receipt by the party concerned.

9. Surety shall cause to be attached to this Bond a current and effective Power of Attorney evidencing the authority of the officer, agent, or representative who executed this Bond on behalf of Surety to execute, seal, and deliver such Bond and bind the Surety thereby.

10. This Bond is intended to conform to all applicable statutory requirements. Any applicable requirement of any applicable statute that has been omitted from this Bond shall be deemed to be included herein as if set forth at length. If any provision of this Bond conflicts with any applicable statute, then the provision of said statute shall govern and the remainder of this Bond that is not in conflict therewith shall continue in full force and effect.

11. The term "Proposal" as used herein includes a Proposal, bid, offer, or proposal as applicable.

Western Surety Company

POWER OF ATTORNEY APPOINTING INDIVIDUAL ATTORNEY-IN-FACT

Know All Men By These Presents, That WESTERN SURETY COMPANY, a South Dakota corporation, is a duly organized and existing corporation having its principal office in the City of Sioux Falls, and State of South Dakota, and that it does by virtue of the signature and seal herein affixed hereby make, constitute and appoint

Thomas J Gentile, Billie Jo Sanders, Renee Ellis, Paul B Scott Jr, David J Durden, Milton A Kopf III, Individually

of Montgomery, AL, its true and lawful Attorney(s)-in-Fact with full power and authority hereby conferred to sign, seal and execute for and on its behalf bonds, undertakings and other obligatory instruments of similar nature

- In Unlimited Amounts -

and to bind it thereby as fully and to the same extent as if such instruments were signed by a duly authorized officer of the corporation and all the acts of said Attorney, pursuant to the authority hereby given, are hereby ratified and confirmed.

This Power of Attorney is made and executed pursuant to and by authority of the By-Law printed on the reverse hereof, duly adopted, as indicated, by the shareholders of the corporation.

In Witness Whereof, WESTERN SURETY COMPANY has caused these presents to be signed by its Vice President and its corporate seal to be hereto affixed on this 19th day of June, 2015.



WESTERN SURETY COMPANY

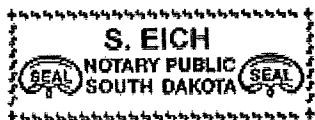
Paul T. Bruflat, Vice President

State of South Dakota }
County of Minnehaha } ss

On this 19th day of June, 2015, before me personally came Paul T. Bruflat, to me known, who, being by me duly sworn, did depose and say: that he resides in the City of Sioux Falls, State of South Dakota; that he is the Vice President of WESTERN SURETY COMPANY described in and which executed the above instrument; that he knows the seal of said corporation; that the seal affixed to the said instrument is such corporate seal; that it was so affixed pursuant to authority given by the Board of Directors of said corporation and that he signed his name thereto pursuant to like authority, and acknowledges same to be the act and deed of said corporation.

My commission expires

February 12, 2021



S. Eich, Notary Public

CERTIFICATE

I, L. Nelson, Assistant Secretary of WESTERN SURETY COMPANY do hereby certify that the Power of Attorney hereinabove set forth is still in force, and further certify that the By-Law of the corporation printed on the reverse hereof is still in force. In testimony whereof I have hereunto subscribed my name and affixed the seal of the said corporation this 15th day of May, 2020.



WESTERN SURETY COMPANY

L. Nelson, Assistant Secretary

**SWORN STATEMENT PURSUANT TO
SECTION 287.134(2)(a), FLORIDA STATUTES, ON DISCRIMINATION**

**THIS FORM MUST BE SIGNED AND SWORN TO IN THE PRESENCE OF A NOTARY PUBLIC OR
OTHER OFFICIAL AUTHORIZED TO ADMINISTER OATHS.**

1. This sworn statement is submitted to Canopy Community Development District
(print name of the public entity)

by Robert Flowers, President
(print individual's name and title)

for C.W. Roberts Contracting, Inc.
(print name of entity submitting sworn statement)

whose business address is

3372 Capital Circle NE, Tallahassee, FL 32308

and (if applicable) its Federal Employer Identification Number (FEIN) is 59-1683951

(If the entity has no FEIN, include the Social Security Number of the individual signing this sworn statement.)

2. I understand that a "discrimination" or "discriminated" as defined in section 287.134(1)(b), *Florida Statutes*, means a determination of liability by a state circuit court or federal district court for a violation of any state or federal law prohibiting discrimination on the basis of race, gender, national origin, disability, or religion by an entity; if an appeal is made, the determination of liability does not occur until the completion of any appeals to a higher tribunal.

3. I understand that "discriminatory vendor list" as defined in section 287.134(1)(c), *Florida Statutes*, means the list required to be kept by the Florida Department of Management Services pursuant to section 287.134(3)(d), *Florida Statutes*.

4. I understand that "entity" as defined in section 287.134(1)(e), *Florida Statutes*, means any natural person or any entity organized under the laws of any state or of the United States with the legal power to enter into a binding contract and which bids or applies to bid on contracts let by a public entity, or which otherwise transacts or applies to transact business with a public entity.

5. I understand that an "affiliate" as defined in Paragraph 287.134(1)(a), *Florida Statutes*, means:

1. A predecessor or successor of an entity that discriminated; or
2. An entity under the control of any natural person or entity that is active in the management of the entity that discriminated. The term "affiliate" includes those officers, directors, executives, partners, shareholders, employees, members, and agents who are active in the management of an affiliate. The ownership by one entity of shares constituting a controlling interest in another entity, or a pooling of equipment or income among entities when not for fair market value under an arm's length agreement, shall be a prima facie case that one entity controls another entity

6. I understand that, pursuant to section 287.134(2)(a), *Florida Statutes*, an entity or affiliate who has been placed on the discriminatory vendor list may not submit a bid, proposal, or reply on a contract to provide any goods or services to a public entity; may not submit a bid, proposal, or reply on a contract with a public entity for the

construction or repair of a public building or public work; may not submit bids, proposals, or replies on leases of real property to a public entity; may not be awarded or perform work as a contractor, supplier, subcontractor, or consultant under a contract with any public entity; and may not transact business with any public entity.

Based on information and belief, the statement which I have marked below is true in relation to the entity submitting this sworn statement. (Indicate which statement applies.)

X Neither the entity submitting this sworn statement, nor any affiliate of the entity, has been placed on the discriminatory vendor list.

— The entity submitting this sworn statement, or an affiliate of the entity, appears on the discriminatory vendor list.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/VENDOR EXECUTING THIS AFFIDAVIT TO VERIFY THAT NONE OF THE SUBCONTRACTORS/SUPPLIERS UTILIZED FOR THIS BID/QUOTE HAVE BEEN PLACED ON THE DISCRIMINATORY VENDOR LIST. IN THE EVENT IT IS LATER DISCOVERED THAT A SUBCONTRACTOR/SUPPLIER HAS BEEN PLACED ON THE DISCRIMINATORY VENDOR LIST, THE CONTRACTOR/VENDOR SHALL SUBSTITUTE THE SUBCONTRACTOR/ SUPPLIER WITH ANOTHER WHO HAS NOT PLACED ON THE DISCRIMINATORY VENDOR LIST. ANY COST ASSOCIATED WITH THIS SUBSTITUTION SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR/VENDOR.

I UNDERSTAND THAT THE SUBMISSION OF THIS FORM TO THE CONTRACTING OFFICER FOR THE PUBLIC ENTITY IDENTIFIED IN PARAGRAPH 1 (ONE) ABOVE IS FOR THAT PUBLIC ENTITY ONLY.



Signature by authorized representative of Proposer

STATE OF FLORIDA
COUNTY OF Leon

Sworn to (or affirmed) and subscribed before me by means of [X] physical presence or ☐ online notarization this 15th day of May, 2020, by Robert Flowers, President, of the C.W. Roberts Contracting Corporation, who is [X] personally known to me or ☐ who has produced _____ as identification, and who ☐ did or ☐ did not take an oath.



Signature of Notary Public taking acknowledgement

My Commission Expires: 9-2-21



**SWORN STATEMENT PURSUANT TO SECTION 287.135(5), FLORIDA STATUTES, REGARDING
SCRUTINIZED COMPANIES WITH ACTIVITIES IN SUDAN LIST OR SCRUTINIZED COMPANIES
WITH ACTIVITIES IN THE IRAN PETROLEUM ENERGY SECTOR LIST**

**THIS FORM MUST BE SIGNED AND SWORN TO IN THE PRESENCE OF A NOTARY PUBLIC OR
OTHER OFFICIAL AUTHORIZED TO ADMINISTER OATHS.**

1. This sworn statement is submitted to Canopy Community Development District

by Robert Flowers, President
(print individual's name and title)

for C.W. Roberts Contracting, Inc.
(print name of entity submitting sworn statement)

whose business address is

3372 Capital Circle NE, Tallahassee, FL 32308

2. I understand that, subject to limited exemptions, section 287.135, Florida Statutes, declares a company that, at the time of bidding or submitting a proposal for a new contract or renewal of an existing contract, is on the Scrutinized Companies with Activities in Sudan List or the Scrutinized Companies with Activities in the Iran Petroleum Energy Sector List, created pursuant to section 215.473, Florida Statutes, is ineligible for, and may not bid on, submit a proposal for, or enter into or renew a contract with a local governmental entity for goods or services of \$1 million or more.
3. Based on information and belief, at the time the entity submitting this sworn statement submits its proposal to the Canopy Community Development District, neither the entity, nor any of its officers, directors, executives, partners, shareholders, members, or agents, is listed on either the Scrutinized Companies with Activities in Sudan List or the Scrutinized Companies with Activities in the Iran Petroleum Energy Sector List.
4. If awarded the Contract, the entity will immediately notify the Canopy Community Development District in writing if either the entity, or any of its officers, directors, executives, partners, shareholders, members, or agents, is placed on either the Scrutinized Companies with Activities in Sudan List or the Scrutinized Companies with Activities in the Iran Petroleum Energy Sector List.

Robert P. Flowers

Signature by authorized representative of Proposer

STATE OF FLORIDA
COUNTY OF Leon

Sworn to (or affirmed) and subscribed before me by means of ☒ physical presence or ☐ online
notarization this 15th day of May, 2020, by Robert Flowers,
President, of the C.W. Roberts Contracting Corporation
who is ☒ personally known to me or ☐ who has produced _____ as identification,
and who ☐ did or ☐ did not take an oath.



Michelle V. Davis

Signature of Notary Public taking acknowledgement

My Commission Expires: 09-2-21

(SEAL)

**SWORN STATEMENT ON PUBLIC ENTITY CRIMES
PURSUANT TO SECTION 287.133(3)(N), FLORIDA STATUTES**

THIS FORM MUST BE SIGNED AND SWORN TO IN THE PRESENCE OF A NOTARY PUBLIC OR OTHER OFFICIAL AUTHORIZED TO ADMINISTER OATHS.

1. This sworn statement is submitted to Canopy Community Development District
(print name of the public entity)
- by Robert Flowers, President
(print individual's name and title)
- for C.W. Roberts Contracting, Inc.
(print name of entity submitting sworn statement)
- whose business address is
- 3372 Capital Circle NE, Tallahassee, FL 32308

and (if applicable) its Federal Employer Identification Number (FEIN) is 59-1683951

(If the entity has no FEIN, include the Social Security Number of the individual signing this sworn statement.)

2. I understand that a "public entity crime" as defined in Paragraph 287.133(1)(g), Florida Statutes, means a violation of any state or federal law by a person with respect to and directly related to the transaction of business with any public entity or with any agency or political subdivision of any other state or of the United States, including, but not limited to, any bid or contract for goods or services to be provided to any public entity or an agency or political subdivision of any other state or of the United States and involving antitrust, fraud, theft, bribery, collusion, racketeering, conspiracy, or material misrepresentation.
3. I understand that "convicted" or "conviction" as defined in Paragraph 287.133(1)(b), Florida Statutes, means a finding of guilt or a conviction of a public entity crime, with or without an adjudications of guilt, in any federal or state trial court of record relating to charges brought by indictment or information after July 1, 1989, as a result of a jury verdict, nonjury trial, or entry of a plea of guilty or nolo contendere.
4. I understand that an "affiliate" as defined in Paragraph 287.133(1)(a), Florida Statutes, means:
1. A predecessor or successor of a person convicted of a public entity crime; or
 2. An entity under the control of any natural person who is active in the management of the entity and who has been convicted of a public entity crime. The term "affiliate" includes those officers, directors, executives, partners, shareholders, employees, members, and agents who are active in the management of an affiliate. The ownership by one person of shares constituting a controlling interest in another person, or a pooling of equipment or income among persons when not for fair market value under an arm's length agreement, shall be a prima facie case that one person controls another person. A person who knowingly enters into a joint venture with a person who has been convicted of a public entity crime in Florida during the preceding 36 months shall be considered an affiliate.
5. I understand that a "person" as defined in Paragraph 287.133(1)(e), Florida Statutes, means any natural person or entity organized under the laws of any state or of the United States with the legal power to enter into a binding

contract and which bids or applies to bid on contracts for the provision of goods or services let by a public entity, or which otherwise transacts or applies to transact business with a public entity. The term "person" includes those officers, directors, executives, partners, shareholders, employees, members, and agents who are active in management of an entity.

Based on information and belief, the statement which I have marked below is true in relation to the entity submitting this sworn statement. (Indicate which statement applies.)

X Neither the entity submitting this sworn statement, nor any of its officers, directors, executives, partners, shareholders, employees, members, or agents who are active in the management of the entity, nor any affiliate of the entity has been charged with and convicted of a public entity crime subsequent to July 1, 1989.

— The entity submitting this sworn statement, or one or more of its officers, directors, executives, partners, shareholders, employees, members or agents who are active in the management of the entity, or an affiliate of the entity has been charged with and convicted of a public entity crime subsequent to July 1, 1989.

— The entity submitting this sworn statement, or one or more of its officers, directors, executives, partners, shareholders, employees, members or agents who are active in the management of the entity, or an affiliate of the entity has been charged with and convicted of a public entity crime subsequent to July 1, 1989. However, there has been a subsequent proceeding before a Hearing Officer of the State of Florida, Division of Administrative Hearings and the Final Order entered by the Hearing Officer determined that it was not in the public interest to place the entity submitting this sworn statement on the convicted vendor list. (attach a copy of the final order)

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/VENDOR EXECUTING THIS PUBLIC ENTITY CRIME AFFIDAVIT TO VERIFY THAT NONE OF THE SUBCONTRACTORS/SUPPLIERS UTILIZED FOR THIS BID/QUOTE HAVE BEEN CONVICTED OF A PUBLIC ENTITY CRIME SUBSEQUENT TO JULY 1, 1989. IN THE EVENT IT IS LATER DISCOVERED THAT A SUBCONTRACTOR/SUPPLIER HAS BEEN CONVICTED OF A PUBLIC ENTITY CRIME, THE CONTRACTOR/VENDOR SHALL SUBSTITUTE THE SUBCONTRACTOR/ SUPPLIER WITH ANOTHER WHO HAS NOT RECEIVED A CONVICTION. ANY COST ASSOCIATED WITH THIS SUBSTITUTION SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR/VENDOR.

I UNDERSTAND THAT THE SUBMISSION OF THIS FORM TO THE CONTRACTING OFFICER FOR THE PUBLIC ENTITY IDENTIFIED IN PARAGRAPH 1 (ONE) ABOVE IS FOR THAT PUBLIC ENTITY ONLY AND THAT THIS FORM IS VALID THROUGH DECEMBER 31 OF THE CALENDAR YEAR IN WHICH IT IS FILED. I ALSO UNDERSTAND THAT I AM REQUIRED TO INFORM THE PUBLIC ENTITY PRIOR TO ENTERING INTO A CONTRACT IN EXCESS OF THE THRESHOLD AMOUNT PROVIDED IN SECTION 287.017, FLORIDA STATUTES, FOR CATEGORY TWO OF ANY CHANGE IN THE INFORMATION CONTAINED IN THIS FORM.

Robert P. Flowers

(Signature)

STATE OF FLORIDA

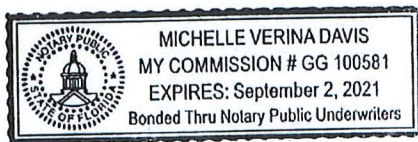
COUNTY OF Leon

Sworn to (or affirmed) and subscribed before me by means of ☒ physical presence or ☐ online notarization this 15th day of May, 2020, by Robert Flowers, President, of the C.W. Roberts Contracting Corporation who is ☒ personally known to me or ☐ who has produced _____ as identification, and who ☐ did or ☐ did not take an oath.

Michelle V. Davis

Signature of Notary Public taking acknowledgement

My Commission Expires: 09-02-21



TRENCH SAFETY ACT COMPLIANCE STATEMENT

INSTRUCTIONS

Because trench excavations on this Project are expected to be in excess of 5 feet, Chapter 90-96 of the Laws of Florida requires that construction on the Project comply with Occupational Safety and Health Administration Standard 29 C.F.R. s. 1926.650 Subpart P. All Proposers are required to execute this Compliance Statement and the Compliance Cost Statement. The costs for complying with the Trench Safety Act must be incorporated into the Project's Proposal.

This form must be certified in the presence of a notary public or other officer authorized to administer oaths.

CERTIFICATION

1. I understand that Chapter 90.96 of the Laws of Florida (The Trench Safety Act) requires me to comply with OSHA Standard 29 C.F.R. s. 1926.650 Subpart P. I will comply with The Trench Safety Act, and I will design and provide trench safety systems at all trench excavations in excess of five feet in depth for this project.
2. The estimated cost imposed by compliance with The Trench Safety Act will be:
Forty Three Thousand One Hundred Thirty Two Dollars (Written)
\$ 43,132.00 (Figures).
3. The amount listed above has been included within the Proposal.

Dated this 15th day of May, 2020.

Proposer: C.W. Roberts Contracting, Inc.

By: Robert P. Flowers

Title: President

STATE OF FLORIDA

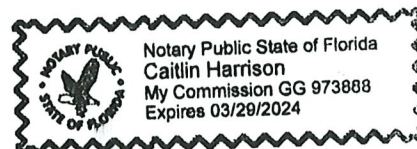
COUNTY OF Leon

Sworn to (or affirmed) and subscribed before me by means of ☒ physical presence or ☐ online notarization this 15th day of May, 2020, by Robert P. Flowers, of the C.W. Roberts Contracting, Inc. who is ☒ personally known to me or ☐ who has produced _____ as identification, and who ☐ did or ☒ did not take an oath.

Caitlin Harrison
Signature of Notary Public taking acknowledgement

My Commission Expires: 03/29/2024

(SEAL)



TRENCH SAFETY ACT COMPLIANCE COST STATEMENT

INSTRUCTIONS

Because trench excavations on this Project are expected to be in excess of 5 feet, Chapter 90-96 of the Laws of Florida requires that all Proposers submit a statement of the costs of complying with the Trench Safety Act. Said costs must also be incorporated into the Proposal.

This form must be certified in the presence of a notary public or other officer authorized to administer oaths.

By executing this statement, proposer acknowledges that included in the various items of its Proposal and in the total Proposal price are costs for complying with the Florida Trench Safety Act (90-96, Laws of Florida) effective October 1, 1990. The Proposer further identifies the costs as follows:

Type of Trench Safety Mechanism	Quantity	Unit Cost ¹	Item Total Cost
Trench Box	10,783 LF	\$4.00	\$43,132.00
Project Total			\$43,132.00

Dated this 15th day of May, 2020.

Proposer: C.W. Roberts Contracting, Inc.

By: Robert P. Flowers

Title: President

STATE OF FLORIDA

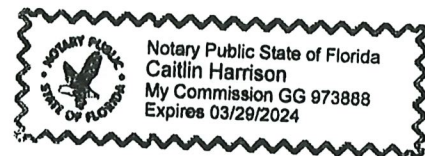
COUNTY OF Leon

Sworn to (or affirmed) and subscribed before me by means of ☒ physical presence or ☐ online notarization this 15th day of May, 2020, by Robert P. Flowers, of the C.W. Roberts Contracting, Inc., who is ☒ personally known to me or ☐ who has produced _____ as identification, and who ☐ did or ☒ did not take an oath.

Caitlin Harrison
Signature of Notary Public taking acknowledgement

My Commission Expires: 03/29/2024

(SEAL)



¹ Use cost per linear square foot of trench excavation used and cost per square foot of shoring used.

AFFIDAVIT OF NON-COLLUSION
CANOPY COMMUNITY DEVELOPMENT DISTRICT
WELAUNEE BLVD. SEGMENT 3A AND SEGMENT 2 TURN LANES CONSTRUCTION PROJECT
TALLAHASSEE, FLORIDA

STATE OF FLORIDA
COUNTY OF Leon

I, Robert Flowers, President, do hereby certify that I have not, either directly or indirectly, participated in collusion or proposal rigging. Affiant is a(n) Officer (officer or principal) in the firm of C.W. Roberts Contracting, Inc., and authorized to make this affidavit on behalf of the same. I understand that I am swearing or affirming under oath to the truthfulness of the claims made in this affidavit and that the punishment for knowingly making a false statement includes fines and/or imprisonment.

Dated this 15th day of May, 2020.



Signature by authorized representative of Proposer

STATE OF FLORIDA
COUNTY OF Leon

Sworn to (or affirmed) and subscribed before me by means of ☒ physical presence or ☐ online notarization this 15th day of May, 2020, by Robert Flowers, President, of the C.W. Roberts Contracting Corporation who ☒ is personally known to me or ☐ who has produced _____ as identification, and who ☐ did or ☐ did not take an oath.




Signature of Notary Public taking acknowledgement

My Commission Expires: 09-02-21



CWR Contracting, Inc.
3372 Capital Circle NE
Tallahassee, FL 32308
P: (850) 385-5060
www.cwrcontracting.com
"Driving Quality for Florida Roads"

About Us:

Founded in 1976, C.W. Roberts Contracting, Inc. (CWR) is the premier highway contractor in Florida, specializing in asphalt paving. CWR has built its reputation through honoring its mission statement, which has earned us a solid reputation of being the most reliable paving contractor in Florida. CWR is also known for its quality work and integrity, which separates us from our competitors. As a leading asphalt paving contractor ranked highly by the Florida Department of Transportation, our team strives towards customer satisfaction, creativity, reliability, responsiveness, and safety.

While asphalt paving is our specialty, CWR offers a variety services, including:

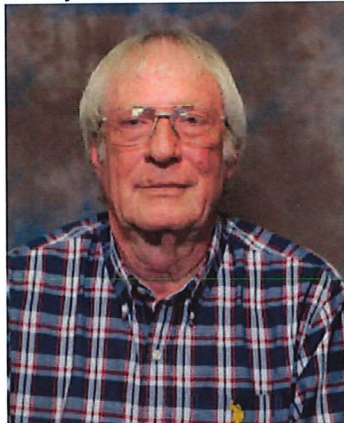
- Highway and Road Construction
- Residential and Commercial Development / Sitework
- Airport Construction
- Military Base Construction
- Parking Lot and Driveway Construction / Renovations

Leadership:

Robert P. Flowers, President



Jimmy Strain, Area Manager



Michael Smith, Project Manager



Minimum Qualifications of the Proposer:

Breakfast Point Subdivision Phase 3B → Panama City Beach, Florida



Contract Value: \$2,910,450.00

Completion Date: 02/2018

Reference: Justin Smith, The St. Joe Company
133 S. Watersound Parkway, Bldg A
Watersound, FL 32461 / Phone: (334) 791-9788

CWR was awarded as the Prime Contractor of the 69 Lot Subdivision for St. Joe Company. CWR was responsible for the following scope of work: roadway construction, landscape, clearing, grading, storm drain, storm water management, sewer, conduit, subgrade, base, asphalt paving, curb and gutter, sidewalks, striping, signs, and grassing.

Eglin Military Family Housing, Pods: 6 → Elgin AFB, Florida



Contract Value: \$2,850,105.00

Completion Date: 10/20/2016

Reference: Bob McDonald, Corvias Construction
1405 South County Trail Suite 503
East Greenwich, RI 02818 / Phone: (850) 613-5011

CWR was awarded as the Prime Contractor for the site development at Eglin Air Force Base for Military homesites in Pods 2 & 3. Project was phased into 7 different phases to provide a staged release of home sites. The 150 acre site was selected by Eglin AFB to be the new base housing site, which consisted of 421 home sites. CWR was responsible to furnish all labor, material, equipment, and supervision necessary to successfully perform and complete all required work. The following scope of work was performed: sidewalks, roadway construction, clearing, grading, maintenance of erosion control, seeding, surveying, sewer, storm water management, storm drainage, subgrade, base, paving, curb and gutter, striping, and grassing.

Eglin Military Family Housing, Pods: 2 & 3 → Elgin AFB, Florida



Contract Value: \$2,880,719.00 (combined)
Completion Date: 07/20/2016 (Pod 2) & 12/20/2017 (Pod 3)

Reference: Adam Lewis, Corvias Military Living
501 Nakina Drive
Eglin AFB, FL 32542 / Phone: (850) 496-8558 or (850) 217-6339

CWR was awarded as the Prime Contractor for the site development at Eglin Air Force Base for Military homesites in Pods 2 & 3. Project was phased into 7 different phases to provide a staged release of home sites. The 150 acre site was selected by Eglin AFB to

be the new base housing site, which consisted of 421 home sites. CWR was responsible to successfully perform and complete all labor, material, equipment, and supervision necessary to successfully perform and complete all required work. The following scope of work was performed: sidewalks, roadway construction, clearing, grading, maintenance of erosion control, seeding, surveying, sewer, storm water management, storm drainage, subgrade, base, paving, curb and gutter, striping, and grassing.

Proposed Staffing Levels:



development contract.

C.W. Roberts Contracting, Inc. works diligently on managing all staffing levels and assigning the proper employees to the appropriate position/project, while ensuring our employees have suitable knowledge, skill, and experience to operate safely and successfully. Below, we have attached our Tallahassee/Hosford organizational charts. If awarded this contract, the work force demonstrated in the charts would be involved in daily operations of both professional and technical work. In addition, you will see that our trained operators and workforce self-perform similar projects and we have all essential equipment needed for the Canopy Community

Financial Capability:



Contractor Pre-Qualification (CPQ)



Annual Application

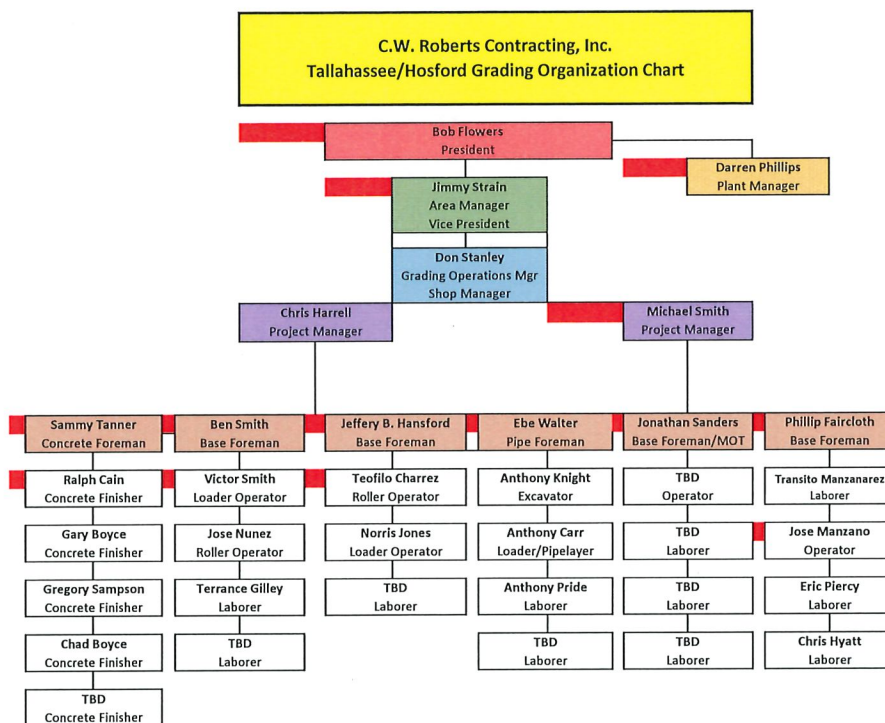
Vendor Stakeholders Affiliates Work Classes Financial Contracts Manage
Attach Financial Statements Additional Documentation Submit Application Summary

Vendor Number: F591683951003
Application Status: COMPLETED

Name: C.W. ROBERTS CONTRACTING, INC.
Fiscal Year End Date: 9/30/2019

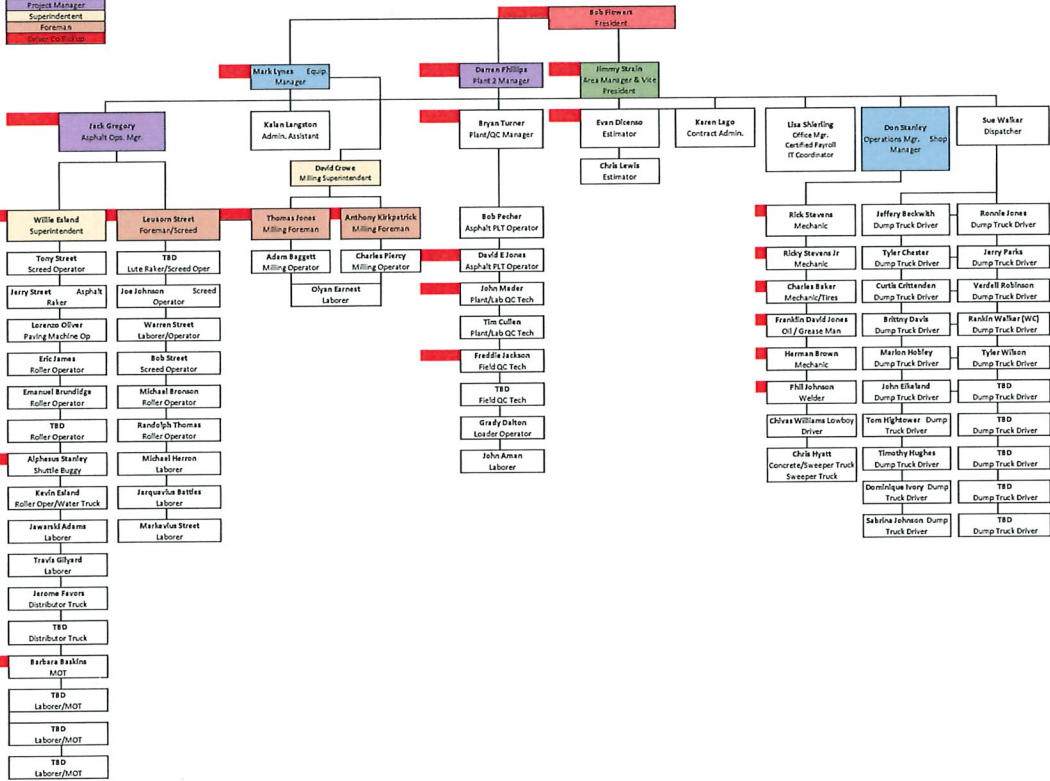
NOTE: The Capacity shown below will be reduced by your Work Underway to determine your Available Bidding Capacity.

Adjusted Current Ratio:	1.88		
Ability Score:	97	Surety Multiplier:	0
Ability Factor:	14	Calculated Maximum Bid Capacity:	\$ 1,486,900,000.00
Adjusted Net Worth:	\$ 56,494,000.00		





C.W. Roberts Contracting, Inc.
Tallahassee/Hosford
Asphalt-Milling-Admin. Organizational Chart





CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
05/08/2020

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER MCGRIFF, SEIBELS & WILLIAMS, INC. P.O. Box 10265 Birmingham, AL 35202	CONTACT NAME: Martha Lee Hawkins	
	PHONE (A/C, No, Ext): 800-476-2211 FAX (A/C, No):	
	E-MAIL ADDRESS: mhawkins@mcgriff.com	
INSURED C.W. Roberts Contracting, Inc. P.O. Box 188 Hosford, FL 32334	INSURER(S) AFFORDING COVERAGE	NAIC #
	INSURER A :Arch Insurance Company	11150
	INSURER B :American Guarantee and Liability Insurance Company	26247
	INSURER C :	
	INSURER D :	
	INSURER E :	
	INSURER F :	

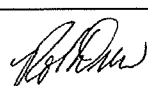
COVERAGES **CERTIFICATE NUMBER:**EKHPAKGF **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:			31PKG8930304	10/01/2019	10/01/2020	EACH OCCURRENCE \$ 2,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 2,000,000 GENERAL AGGREGATE \$ 4,000,000 PRODUCTS - COMP/OP AGG \$ 4,000,000 \$
A	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY			31PKG8930304	10/01/2019	10/01/2020	COMBINED SINGLE LIMIT (Ea accident) \$ 5,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
B	<input type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> DED <input type="checkbox"/> RETENTION \$			AUC107135102	10/01/2019	10/01/2020	EACH OCCURRENCE \$ 5,000,000 AGGREGATE \$ 5,000,000 \$
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/EMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below		N/A	31WCI8930204	10/01/2019	10/01/2020	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ 1,000,000 E.L. DISEASE - EA EMPLOYEE \$ 1,000,000 E.L. DISEASE - POLICY LIMIT \$ 1,000,000 \$ \$ \$ \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)
RE:Bid for Welaunee Blvd Segment 3A & Segment 2 Turn Lanes Construction

Excess Liability follows form of underlying General Liability, Automobile Liability and Employers' Liability.

CERTIFICATE HOLDER Canopy Community Development District Greenman-Pedersen, Inc. Attn: Tim Stackhouse 1590 Village Square Blvd Tallahassee, FL 32309	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE 
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AGENCY CUSTOMER ID: _____

LOC #: _____

**ADDITIONAL REMARKS SCHEDULE****Page 2 of 3**

PRODUCER MCGRUFF, SEIBELS & WILLIAMS, INC.		INSURED C.W. Roberts Contracting, Inc.
POLICY NUMBER		
CARRIER	NAIC CODE	ISSUE DATE: 05/08/2020

ADDITIONAL REMARKS**THIS ADDITIONAL REMARKS FORM IS A SCHEDULE TO ACORD FORM,****FORM NUMBER: _____ FORM TITLE: _____**

Contractor's Professional/Pollution Liability

Carrier: Berkley Assurance Company, A+, XV, NAIC #39462

Policy Number: PCADB-5009824-1019

Effective: 10/01/2019 Expiration: 10/01/2020

Professional Limit:

\$1,000,000 Aggregate

\$1,000,000 Each Act, Error or Omission

Pollution Limit:

\$1,000,000 Aggregate

\$1,000,000 Each Claim

AGENCY CUSTOMER ID: _____

LOC #: _____



ADDITIONAL REMARKS SCHEDULE

Page 3 of 3

PRODUCER MCGRIFF, SEIBELS & WILLIAMS, INC.		INSURED C.W. Roberts Contracting, Inc.	
POLICY NUMBER		ISSUE DATE: 05/08/2020	
CARRIER	NAIC CODE		

ADDITIONAL REMARKS

THIS ADDITIONAL REMARKS FORM IS A SCHEDULE TO ACORD FORM,

FORM NUMBER: _____ FORM TITLE: _____

Excess Liability

Carrier: Navigators Specialty Insurance Company
 Policy No: LA19EXC094572IV
 Policy Term: 10/01/2019 to 10/01/2020

Limits:

\$5,000,000 Each Occurrence
 \$5,000,000 Aggregate

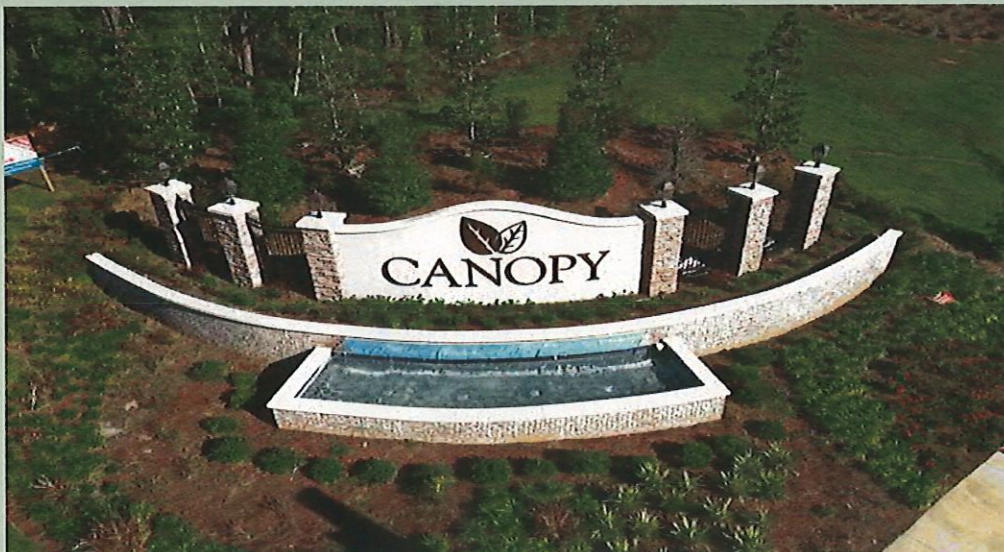
Underlying Policy: Commercial Umbrella Liability

Policy No. AUC 1071351-02
 Policy Term: 10-1-2019 to 10-1-2020
 Liability of Liability: \$5,000,000 Occurrence/Aggregate

Welaunee Boulevard Segment 3A and Segment 2 Turn Lanes

Submitted by: **Sandco, LLC**

MAY 15, 2020



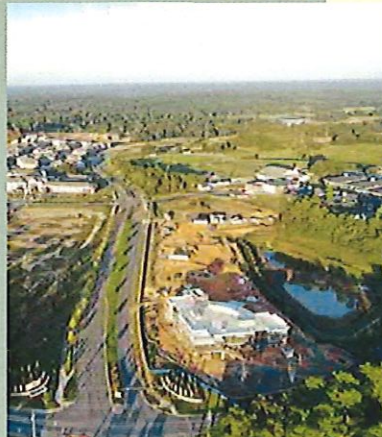
SANDCO, LLC

4708 Capital Circle N.W.

Tallahassee, FL 32303

Phone: 850-402-1111

Fax: 850-402-7674



**CANOPY COMMUNITY DEVELOPMENT DISTRICT
CONSTRUCTION SERVICES
FOR
WELAUNEE BLVD. SEGMENT 3A AND SEGMENT 2 TURN LANES**

TAB 1 – Price Proposal

- ◆ Official Proposal Form
- ◆ Schedule of Values
- ◆ Bid Bond
- ◆ Project Summary
- ◆ Project Schedule
- ◆ Addendum

TAB 2 - Organization Information

- ◆ Pages 1-5 Organization Information of Proposer
- ◆ Corporate Management Resumes
- ◆ Behzad (Steve) Ghazvini—Manager
- ◆ Mehran (Pete) Ghazvini—Manager
- ◆ Jason Ghazvini—Manager

- ◆ Proposed Staffing Resumes and Certifications
- ◆ Justin Hosey—Assistant Manager
- ◆ Charles Field—Senior Project Manager
- ◆ Robert Myrick—Project Engineer/Estimator
- ◆ Michael Conner—Project Manager
- ◆ Buddy Watley—Superintendent
- ◆ Chris Watley—Superintendent

- ◆ Company Owned Major Equipment
- ◆ Status of Contracts on Hand
- ◆ Projects Completed in the Last Two Years
- ◆ List of Proposed Subcontractors and Major Material Suppliers
- ◆ Subcontractor Resumes
- ◆ Minority Utilization Summary with Certifications

TAB 3 - Certifications and Statements

- ◆ Certificate of Corporate Principal/Affidavit of Proposer
- ◆ Sworn Statement Regarding Discrimination
- ◆ Sworn Statement Regarding Scrutinized Companies
- ◆ Sworn Statement Regarding Public Entity Crimes
- ◆ Trench Safety Act Compliance Statement
- ◆ Trench Safety Act Compliance Cost Statement
- ◆ Affidavit of Non-Colusion



**CANOPY COMMUNITY DEVELOPMENT DISTRICT
CONSTRUCTION SERVICES
FOR
WELAUNEE BLVD. SEGMENT 3A AND SEGMENT 2 TURN LANES**

TAB 4 – Project References and Qualifications

- ♦ Capital Cascades—Blue Print 2000 Intergovernmental Agency
- ♦ FDOT-SR 10 (US 90) Mahan Drive– Florida Department of Transportation
- ♦ Welaunee Canopy Phase I
- ♦ Canopy Unit I
- ♦ Orange Avenue Extension
- ♦ Sandco's Qualifications

TAB 5 – Sandco Organization Documents

- ♦ Executive Summary
- ♦ Sandco Past Experience
- ♦ Occupational Safety Program
- ♦ Equal Employment Opportunity
- ♦ Behzad Ghazvini—General Contractor License
- ♦ Behzad Ghazvini—Underground Utility License
- ♦ FDOT Certificate of Qualification
- ♦ City of Tallahassee Qualification
- ♦ Division of Corporations Filing
- ♦ W-9 Taxpayer Identification Number
- ♦ Surety Letter
- ♦ Sample Certificate of Insurance



**CANOPY COMMUNITY DEVELOPMENT DISTRICT
CONSTRUCTION SERVICES
FOR
WELAUNEE BLVD. SEGMENT 3A AND SEGMENT 2 TURN LANES**

TAB 6—Safety & Employee Policy

- ♦ Safety Policy
- ♦ EEO Policy Statement

TAB 7—Financial Capability

- ♦ 2019 Audited Financial Statement



**CANOPY COMMUNITY DEVELOPMENT DISTRICT
CONSTRUCTION SERVICES
FOR
WELAUNEE BLVD. SEGMENT 3A AND SEGMENT 2 TURN LANES**

TAB 1

Price Proposal

- ♦ Official Proposal Form
- ♦ Schedule of Values
- ♦ Bid Bond
- ♦ Project Summary
- ♦ Project Schedule
- ♦ Addendum

OFFICIAL PROPOSAL FORM
CANOPY COMMUNITY DEVELOPMENT DISTRICT
CONSTRUCTION SERVICES FOR THE
WELAUNEE BLVD. SEGMENT 3A AND SEGMENT 2 TURN LANES CONSTRUCTION PROJECT
TALLAHASSEE, FLORIDA

TO BE SUBMITTED BY MAIL TO:
CANOPY COMMUNITY DEVELOPMENT DISTRICT
Greenman-Pedersen, Inc.
Attn: Tim Stackhouse
1590 Village Square Blvd, Tallahassee, FL 32309
Due in mailbox by 11:59 PM EST on April 27, 2020

Highlighted information was changed with Addendum No. 5,
dated May 11, 2020, "Sealed proposals must be received no later than
12:00 p.m. (noon), May 15, 2020.

OFFICIAL PROPOSAL FORM PART I – BID COVER SHEET
WELAUNEE BLVD. SEGMENT 3A AND SEGMENT 2 TURN LANES CONSTRUCTION PROJECT
TALLAHASSEE, FL
(Attach as coversheet to detailed bid)

This construction bid has been prepared by:

Name: Behzad Ghazvini
Company: Sandco, LLC
Address: 4708 Capital Circle NW
City: Tallahassee State: FL Zip Code: 32303
Telephone: 850-205-5218 Fax: 850-402-7674
FL License #: CGC1519107 General Contractor CUC051682 Underground Utilities
Email: bmyrick@sandcofl.com

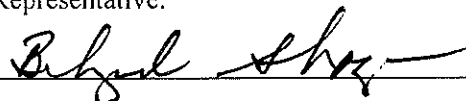
The Contractor understands and agrees to all items & requirements listed in the Project Manual, dated March 30, 2020 including all addenda issued during the bidding time, and is familiar with the project location and the City of Tallahassee and Leon County Permitting requirements.

Addenda Acknowledgement: Please list all Addenda received.

Addendum/RFI # <u>1</u>	Received (date): <u>03/30/2020</u>
Addendum/RFI # <u>2</u>	Received (date): <u>04/16/2020</u>
Addendum/RFI # <u>3</u>	Received (date): <u>04/21/2020</u>
Addendum/RFI # <u>4</u>	Received (date): <u>04/24/2020</u>
Addendum/RFI # <u>5</u>	Received (date): <u>05/11/2020</u>

Bid Items:

Authorized Representative:

Signature:  Date: May 15, 2020

OFFICIAL PROPOSAL FORM PART II – BID SUMMARY
WELAUNEE BLVD. SEGMENT 3A AND SEGMENT 2 TURN LANES CONSTRUCTION PROJECT
TALLAHASSEE, FL

TO: CANOPY COMMUNITY DEVELOPMENT DISTRICT

FROM: Sandco, LLC
(Name of Proposer)

In accordance with the Request for Proposals inviting proposals for **Canopy Community Development District –Welaunee Blvd. Segment 3A and Segment 2 Turn Lanes Construction Project**, the undersigned proposes to provide all work necessary to install and construct the improvements indicated on the Bid Tabulation Form and as otherwise specified herein as shown on the Drawings, and described in the referenced Specifications, as prepared by: Greenman-Pedersen, Inc., dated March 20, 2020.

MINIMUM QUALIFICATIONS

By submitting this Proposal, the Proposer certifies that it satisfies the following minimum qualifications (initial by each):

- BC (1) Proposer is able to furnish a payment and performance bond in the amount of the Project to the District, naming the City of Tallahassee and Blueprint Intergovernmental Agency as dual obligees;
- BC (2) Proposer is authorized to do business in Florida;
- BC (3) Proposer is registered with the City of Tallahassee and Leon County, and is a licensed contractor in the State of Florida; and
- BC (4) Proposer can provide the requisite minimum insurance requirements, naming all interested parties.

COMPONENT PRICING

Proposer understands that the District may award a contract for all of the Work or any component thereof, and that the District reserves the right to award multiple contracts as a result of this Request for Proposals. With that understanding, the Proposer wishes to be considered to perform the Work in accordance with the pricing indicated on the Bid Tabulation Form.

The undersigned Proposer, having a thorough understanding of the Work required by the Contract Documents, the site and conditions where the Work is to be performed, local labor conditions and all laws, regulations and other factors affecting performance of the Work, and having knowledge of the expense and difficulties attending performance of the Work, and having fully inspected the site in all particulars, hereby proposes and agrees, if this Proposal is accepted, to enter into the Construction Contract with the Owner to fully perform all Work in strict compliance with the Contract Documents, including the assumption of all obligations, duties and responsibilities necessary to the successful completion of the Project and the furnishing of all materials and equipment required to be incorporated in and form a permanent part of the Work; tools, equipment, supplies, transportation facilities, labor, superintendence and services required to perform the Work; and bonds, insurance, submittals; and all fees including without limitation permits, timber taxes, inspection fees, maintenance bonds, as-builts and plats as needed for dedication, etc., as indicated or specified in the Contract Documents to be performed or furnished by Proposer for the prices as indicated in the Proposal Summary.

Sandco, LLC

TIME

Please keep in mind that the maximum time to reach Substantial Completion is 5.5 months (165 days) from issuance of a Notice to Proceed, and the maximum time to reach Final Completion is 6.5 months (195 days) from issuance of a Notice to Proceed (all terms are as defined in the Contract Documents).

Proposer is available to begin the work described in this Project Manual starting Immediately, 2020.

Proposer submits that it can reach Substantial Completion of the work described in this Project Manual within One hundred forty-nine (149) days of the issuance of a Notice to Proceed.

Proposer submits that it can reach Final Completion of the work described in this Project Manual within One hundred seventy-nine (179) days of the issuance of a Notice to Proceed.

The undersigned Proposer agrees to commence work within fourteen (14) days after the date of a written Notice to Proceed. The undersigned Proposer agrees that this Proposal shall be valid for a period of one hundred twenty (120) days from the date proposals are opened. Proposer hereby acknowledges that any work provided and any cost incurred by Proposer prior to receiving both the Notice of Award and the Notice to Proceed will be at Proposer's risk unless specifically agreed to in writing by the District. The Proposer, by signing below, acknowledges that there may multiple Notice to Proceeds. At the time of bidding the Project, the permit for the roadway portion and/or turn lanes portion of the Project may be pending; however, it is anticipated that remobilization will not be required and as such the bid should not assume separate projects or mobilization numbers.

DOCUMENTS AND ADDENDA

The Proposer submits that he has carefully examined the site and existing site conditions of the proposed Work, as well as the drawings and specifications. Also, Proposer has thoroughly reviewed the Request for Proposals, Instructions to Proposers, Evaluation Criteria, Standard Form of Agreement, General Conditions, Supplementary Conditions, Plans and Specifications and all other components of the Contract Documents and acknowledges that the addenda acknowledged on the Bid Tabulation Form cover revisions thereto. The proposer has included the cost, if any, of such revisions in the enclosed Pricing Amount(s).

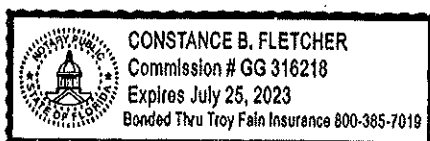
Behzad Ghazvini
(Signed)

Behzad Ghazvini
(Print Name of Signatory)

This 15th day of May, 2020.
(Corporate Seal)

Sworn to before me by means of ☒ physical presence or ☐ online notarization
this 15th day of May, 2020.

(Notary Seal)



Constance B. Fletcher
Notary Public/ Expiration Date

Date: 5/15/2020

Welaunee Blvd Seg 3a Bld Tabulation Form

Page 1

FINAL QUANTITY	UNIT	PAY ITEM CODE	PAY ITEM DESCRIPTION	UNIT PRICE	AMOUNT
ROADWAY					
1	LS	101	1	MOBILIZATION	222,000.00 222,000.00
1	LS	102	1	MAINTENANCE OF TRAFFIC	2,500.00 2,500.00
1	LS			LANDSCAPING	390,000.00 390,000.00
13,440	LF	104	10 3	SEDIMENT BARRIER	1.00 13,440.00
10	EA	104	18	INLET PROTECTION SYSTEM	125.00 1,250.00
2	EA	104	15	Soil Tracking Prevention Device (15X100)	100.00 200.00
59,750	SF			JUTEMAT	0.20 11,950.00
6,638	SY	104	1	Artificial Coverings/Rolled Erosion Control Products	3.00 19,914.00
59,750	SF			SEED/MULCH	0.08 4,780.00
5	AC	110	1 1	CLEARING & GRUBBING (NOT INCLUDING SPECIFIC TREE ITEMS)	2,500.00 12,500.00
103	EA	110	23	Tree Removal	200.00 20,600.00
4	EA	110	21	Trunk Protection	150.00 600.00
4	EA			Tree Barricade	750.00 3,000.00
2,678	CY	120	1	REGULAR EXCAVATION	25.00 66,950.00
62,861	CY	120	6	EMBANKMENT - FILL	8.00 502,888.00
6,567	SY	285	701	OPTIONAL BASE, BASE GROUP 01	7.50 49,252.50
17,762	SY	285	706	OPTIONAL BASE, BASE GROUP 06	13.25 235,346.50
27,342	SY	160	4	12" TYPE B STABILIZATION / BASEGRID-12 GEOGRID	4.00 109,368.00
542	TN	334	1 11	SP ASPH CONC, FINE MIX, PG76-22 (1.5") SP-9.5	150.00 81,270.00
1,975	TN	334	1 13	SP ASPH CONC, TRAFFIC C, PG76-22 (2.5") SP-12.5	145.00 286,375.00
664	TN	334	1 13	SP ASPH CONC, TRAFFIC C, PG76-22 (3.5") SP-19	160.00 104,688.00
1,465	TN	337	7 82	ASPH CONC, FRICTION, FC 9.5, PG76-22 (1.5") FC-9.5	175.00 256,445.00
1,610	SY			Roundabout Truck Apron - 3.5' Brick Paver, 1" Sand	150.00 241,500.00
1,610	SY	350	30 5	CONCRETE PAVEMENT FOR ROUNDABOUT APRON (8" THICK)	70.00 112,700.00
1,831	SY			12" # 57 STONE	26.50 48,521.50
4	EA	425	1 351	INLETS, CURB, TYPE p-5, <10'	5,150.00 20,600.00
2	EA	425	1 361	INLETS, CURB, TYPE p-6, <10'	5,950.00 11,900.00
3	EA	425	1 352	INLETS, CURB, TYPE p-5, >10'	7,100.00 21,300.00
6	EA	425	1 453	INLETS, CURB, TYPE J-5, <10'	11,200.00 67,200.00
3	EA	425	1 463	INLETS, CURB, TYPE J-6, <10'	10,300.00 30,900.00
3	EA	425	1 454	INLETS, CURB, TYPE J-5, >10'	11,500.00 34,500.00
2	EA	425	1 464	INLETS, CURB, TYPE J-6, >10'	14,300.00 28,600.00
2	EA	425	1 541	INLET, DITCH BOTTOM, TYPE 'D', <10'	3,400.00 6,800.00
3	EA	425	2 61	MANHOLE, TYPE 8 <10'	6,350.00 19,050.00
6	EA	425	2 62	MANHOLE, TYPE 8 >10'	8,400.00 50,400.00
8	EA	425	2 91	MANHOLES, J-8, <10'	11,000.00 88,000.00
5	EA	425	2 92	MANHOLES, J-8, >10'	14,250.00 71,250.00
1,830	LF	430	175 118	PIPE CULV, OPT MATL, ROUND, 18"S/CD	40.00 73,200.00
570	LF	430	175 124	PIPE CULV, OPT MATL, ROUND, 24"S/CD	55.00 31,350.00
203	LF	430	175 136	PIPE CULV, OPT MATL, ROUND, 36"S/CD	90.00 18,270.00
1,131	LF	430	175 148	PIPE CULV, OPT MATL, ROUND, 48"S/CD	110.00 124,410.00
1,573	LF	430	175 160	PIPE CULV, OPT MATL, ROUND, 60"S/CD	185.00 291,005.00
46	LF	430	175 236	PIPE CULV, OPT MATL, ELLIPTICAL, 48"S/CD (29x46)	150.00 6,900.00
141	LF	430	175 248	PIPE CULV, OPT MATL, ELLIPTICAL, 48"S/CD (38x60)	200.00 28,200.00
64	LF	430	175 260	PIPE CULV, OPT MATL, ELLIPTICAL, 60"S/CD (48x76)	250.00 16,000.00
3	EA			PIPE CULV, CAP HDPP 36"	500.00 1,500.00
3	EA			PIPE CULV, CAP HDPP 48"	750.00 2,250.00
375	SY	522	1	CONC SIDEWALK AND DRIVEWAYS, 4"	45.00 16,875.00
684	SY	522	2	CONC SIDEWALK AND DRIVEWAYS, 6"	65.00 44,460.00
908	SF	527	2	DETECTABLE WARNINGS	30.00 27,240.00
7,540	LF	520	1 10	TYPE 'F' CURB & GUTTER (MODIFIED) - 18"	17.00 128,180.00
3,380	LF	520	2 1	CONCRETE CURB & GUTTER TYPE A	16.00 54,080.00
505	LF	520	2 4	CONCRETE CURB & GUTTER TYPE D	17.00 8,585.00
793	LF	520	2 8	CONCRETE CURB & GUTTER TYPE RA	19.00 15,067.00
12,716	SY	570	1 2	PERFORMANCE TURF, SOD	3.00 38,148.00
TOTAL PAGE 1					\$ 4,174,258.50

FINAL QUANTITY	UNIT	PAY ITEM CODE	PAY ITEM DESCRIPTION	UNIT PRICE	AMOUNT
SIGNING AND PAVEMENT MARKING					
92	AS	700	1 11	SINGLE POST SIGN, F&I GM, <12 SF	350.00 32,200.00
1,607	GM	711	11 101	THERMO PAVT MARK, STD, WHITE, SOLID, 6"	6,000.00 9,642.00
985	LF	711	11 123	THERMO PAVT MARK, STD, WHITE, SOLID, 12"	2.50 2,462.50
505	LF	711	11 124	THERMO PAVT MARK, STD, WHITE, SOLID, 18"	3.75 1,893.75
664	LF	711	11 125	THERMO PAVT MARK, STD, WHITE, SOLID, 24"	5.00 3,320.00
0.095	GM	711	15 141	THERMO PAVT MARK, STD, WHITE, SKIP, 6" (2'-4")	1,550.00 147.25
0.046	GM	711	15 131	THERMO PAVT MARK, STD, WHITE, SKIP, 6" (6'-3")	1,700.00 78.20
0.489	GM	711	15 131	THERMO PAVT MARK, STD, WHITE, SKIP, 6" (10'-30') INCLUDING WHITE/RED RPM	1,700.00 831.30
3	EA	711	11 160	THERMO PAVT MARK, STD, WHITE, MESSAGE	150.00 450.00
30	EA	711	11 170	THERMO PAVT MARK, STD, WHITE, ARROWS	100.00 3,000.00
1,092	GM	711	15 201	THERMO PAVT MARK, STD, YELLOW, SOLID, 6"	6,000.00 6,552.00
68	LF	711	11 224	THERMO PAVT MARK, STD, YELLOW, SOLID, 18"	4.00 272.00

Date: 5/15/2020
Welaunee Blvd Seg 3a Bid Tabulation Form
Page 1

	UNIT	PAY ITEM CODE				PAY ITEM DESCRIPTION	UNIT PRICE	AMOUNT
FINAL QUANTITY								
192	LF				YIELD LINES, WHITE	3.50	672.00	
8	EA				BLUE RPM (FOR HYDRANT DELINEATION)	10.00	80.00	
	UTILITIES							
110	LF	1050	31	206	UTILITY PIPE, PVC, FURNISH & INSTALL, WATER 6"	20.00	2,200.00	
2274	LF	1050	31	208	UTILITY PIPE, PVC, FURNISH & INSTALL, SEWER, 8"	60.00	136,440.00	
75	LF	1050	31	208	UTILITY PIPE, PVC, FURNISH & INSTALL, WATER 8"	25.00	1,875.00	
2660	LF	1050	31	212	UTILITY PIPE, PVC, FURNISH & INSTALL, WATER 12"	35.00	93,100.00	
1	EA	1055	31	508	Cap 8" PVC Sewer	300.00	300.00	
4	EA	1055	31	112	22 deg Bend 12"	475.00	1,900.00	
2	EA	1055	31	112	45 deg Bend 12"	550.00	1,100.00	
1	EA	1055	31	112	90 deg Bend 12"	660.00	660.00	
1	EA	1055	31	508	Cap 8" Water	125.00	125.00	
2	EA	1055	31	512	Cap 12"	225.00	450.00	
1	EA	1055	31	212	12x12x12 Tee	800.00	800.00	
1	EA	1055	31	212	12x12x8 Tee	700.00	700.00	
100	LF	1050	51	208	Ductile Iron Pipe- 8"	150.00	15,000.00	
6	EA	1060	11	223	UTILITY STRUCTURE, BELOW GROUND, F&I, WATER/SEWER > 80FT*3, > 12'	6,250.00	37,500.00	
7	EA	1060	11	222	Manhole below 6-12	4,700.00	32,900.00	
1	EA	1060	14		Manhole relocate	4,000.00	4,000.00	
2	EA	1080	24	108	UTILITY FIXTURE, VALVE ASSEMBLY , F&I, 8" (GATE VALVE)	1,300.00	2,600.00	
6	EA	1080	24	112	UTILITY FIXTURE, VALVE ASSEMBLY , F&I, 12" (GATE VALVE)	2,500.00	15,000.00	
8	EA	1644	113	8	FIRE HYDRANT, F&I, STANDARD, 2 HOSE, 1 PUMPER, To include Tee and Gate	5,500.00	44,000.00	
TOTAL PAGE 2							\$	452,211.00

Seg 3a Bld Tabulation Form							
TOTAL PAGE 1						\$	4,174,258.50
TOTAL PAGE 2						\$	452,211.00
OVERALL TOTAL						\$	4,626,469.50

Date: 5/15/2020							
Welaunee Blvd Turn LanesSeg 2 Bld Tabulation Form							
FINAL QUANTITY	UNIT	PAY ITEM CODE			PAY ITEM DESCRIPTION	UNIT PRICE	AMOUNT
	ROADWAY						
1	LS	101	1		MOBILIZATION	35,000.00	35,000.00
1	LS	102	1		MAINTENANCE OF TRAFFIC	4,000.00	4,000.00
1	LS				LANDSCAPING	16,600.00	16,600.00
10	EA	104	18		INLET PROTECTION	125.00	1,250.00
613	SY	110	4	10	REMOVE TYPE A C&G	5.00	3,065.00
160	LF				REMOVE STRIPING	5.00	800.00
110	LF	520	1	10	TYPE 'F' CURB & GUTTER (MODIFIED) - 18"	17.00	1,870.00
210	LF	520	2	1	CONCRETE CURB & GUTTER TYPE A	17.00	3,570.00
140	SY	522	1		CONC SIDEWALK AND DRIVEWAYS, 4"	45.00	6,300.00
640	SY	285	706		OPTIONAL BASE, BASE GROUP 06	13.50	8,640.00
88	TN	334	1	13	SP ASPH CONC, TRAFFIC C, PG76-22 (2.5") SP-12.5	190.00	16,720.00
53	TN	337	7	82	ASPH CONC, FRICTION, FC 9.5, PG76-22 (1.5") FC-9.5	230.00	12,190.00
0.06	GM	711	11	101	THERMO PAVT MARK, STD, WHITE, SOLID, 6"	6,000.00	360.00
5	EA	711	11	170	THERMO PAVT MARK, STD, WHITE, ARROWS	100.00	500.00
0.014	GM	711	15	201	THERMO PAVT MARK, STD, YELLOW, SOLID, 6"	6,000.00	84.00
45	LF	711	11	224	THERMO PAVT MARK, STD, YELLOW, SOLID, 18"	5.00	225.00
170	LF	711	11	123	THERMO PAVT MARK, STD, WHITE, SOLID, 12"	3.00	510.00
105	LF	711	11	125	THERMO PAVT MARK, STD, WHITE, SOLID, 24"	5.00	525.00
56	SF	527	2		DETECTABLE WARNINGS	30.00	1,680.00
3	AS	700	1	11	SINGLE POST SIGN, F&I GM, <12 SF	350.00	1,050.00
594	SY	570	1	2	PERFORMANCE TURF, SOD	4.50	2,673.00
0.13	AC	110	1	1	CLEARING & GRUBBING	25,000.00	3,250.00
	DRAINAGE						
106	LF	430	175	118	PIPE CULV, OPT MATL, ROUND, 18"S/CD	60.00	6,360.00
2	EA	425	1	521	INLET, DITCH BOTTOM, TYPE 'C', <10'	2,200.00	4,400.00
1	EA	425	1	352	INLETS, CURB, TYPE p-5, >10'	7,100.00	7,100.00
3	EA	425	1	355	TIE TO EXISTING INLETS, CURB, TYPE p-5, >10'	3,500.00	10,500.00
300	LF				GRADE SWALE 1' DEEP 3:1 SIDE SLOPES	10.00	3,000.00
600	SY	570	1	2	PERFORMANCE TURF, SOD	4.50	2,700.00
27	SY				REMOVE AND REPLACE CONC SIDEWALK AND DRIVEWAYS, 4"	30.00	810.00
OVERALL TOTAL					Total Welaunee Blvd Turn LanesSeg 2 Bld		155,732.00
						\$	4,782,201.50

BID BOND

Any singular reference to Proposer, Surety, Owner, or other party shall be considered plural where applicable.

PROPOSER (Name and Address):

Sandco, LLC
4708 Capital Circle NW
Tallahassee, FL 32303

SURETY (Name and Address of Principal Place of Business):

Aspen American Insurance Company
175 Capitol Boulevard
Rocky Hill, CT 06067

OWNER: Canopy Community Development District

219 E. Livingston St.
 Orlando, FL 32801
 (407) 841-5524

Proposal

Proposal Due Date: **April 27**, 2020, __:00 p.m.

Project (Brief Description Including Location): **Canopy Community Development District Welaunee Blvd. Segment 3A and Segment 2 Turn Lanes Construction Project (Tallahassee, Florida)**

BOND

Bond Number: **Bid Bond**

Date (Not later than Proposal due date): **April 27th, 2020**

Penal sum	<u>Five Percent of Amount Bid</u>	<u>5% of Amount Bid</u>
	(Words)	(Figures)

Surety and Proposer, intending to be legally bound hereby, subject to the terms printed on the reverse side hereof, do each cause this Bid Bond to be duly executed on its behalf by its authorized officer, agent, or representative.

PROPOSER**SURETY**

Sandco, LLC

(Seal)

Proposer's Name and Corporate Seal

By: 

Signature and Title

Attest: 

Signature and Title

Aspen American Insurance Company

(Seal)

Surety's Name and Corporate Seal

By: 

Signature and Title

Laura Mosholder

(Attach Power of Attorney)

Attorney-in-Fact & FL Licensed Agent

Attest: 

Signature and Title

Margaret A. Schulz, CSR

Note: Above addresses are to be used for giving required notice.

1. Proposer and Surety, jointly and severally, bind themselves, their heirs, executors, administrators, successors and assigns to pay to Owner upon default of Proposer the penal sum set forth on the face of this Bond. Payment of the penal sum is the extent of Surety's liability.

2. Default of Proposer shall occur upon the failure of Proposer to deliver within the time required by the Proposal Documents (or any extension thereof agreed to in writing by Owner) the executed Agreement required by the Proposal Documents and any performance and payment bonds required by the Proposal Documents.

3. This obligation shall be null and void if:

3.1. Owner accepts Proposer's Proposal and Proposer delivers within the time required by the Proposal Documents (or any extension thereof agreed to in writing by Owner) the executed Agreement required by the Proposal Documents and any performance and payment bonds required by the Proposal Documents, or

3.2. All Proposals are rejected by Owner, or

3.3. Owner fails to issue a Notice of Award to Proposer within the time specified in the Proposal Documents (or any extension thereof agreed to in writing by Proposer and, if applicable, consented to by Surety when required by Paragraph 5 hereof).

4. Payment under this Bond will be due and payable upon default by Proposer and within 30 calendar days after receipt by Proposer and Surety of written notice of default from Owner, which notice will be given with reasonable promptness, identifying this Bond and the Project and including a statement of the amount due.

5. Surety waives notice of any and all defenses based on or arising out of any time extension to issue Notice of Award agreed to in writing by Owner and Proposer, provided that the total time for issuing Notice of Award including extensions shall not in the aggregate exceed 120 days from Proposal due date without Surety's written consent.

6. No suit or action shall be commenced under this Bond prior to 30 calendar days after the notice of default required in Paragraph 4 above is received by Proposer and Surety and in no case later than one year after Proposal due date.

7. Any suit or action under this Bond shall be commenced only in a court of competent jurisdiction located in the state in which the Project is located.

8. Notices required hereunder shall be in writing and sent to Proposer and Surety at their respective addresses shown on the face of this Bond. Such notices may be sent by personal delivery, commercial courier, or by United States Registered or Certified Mail, return receipt requested, postage pre-paid, and shall be deemed to be effective upon receipt by the party concerned.

9. Surety shall cause to be attached to this Bond a current and effective Power of Attorney evidencing the authority of the officer, agent, or representative who executed this Bond on behalf of Surety to execute, seal, and deliver such Bond and bind the Surety thereby.

10. This Bond is intended to conform to all applicable statutory requirements. Any applicable requirement of any applicable statute that has been omitted from this Bond shall be deemed to be included herein as if set forth at length. If any provision of this Bond conflicts with any applicable statute, then the provision of said statute shall govern and the remainder of this Bond that is not in conflict therewith shall continue in full force and effect.

11. The term "Proposal" as used herein includes a Proposal, bid, offer, or proposal as applicable.



Aspen American Insurance Company
175 Capital Boulevard, Rocky Hill, CT 06067

POWER OF ATTORNEY

KNOW ALL PERSONS BY THESE PRESENTS, THAT Aspen American Insurance Company, a corporation duly organized under the laws of the State of Texas, and having its principal offices in Rocky Hill, Connecticut, (hereinafter the "Company") does hereby make, constitute and appoint: Daniel Oaks; Jessica Reno; Kevin Wojtowicz; Laura Mosholder; John Neu and Edwin T. Collins, IV its true and lawful Attorney(s)-in-Fact, with full power and authority hereby conferred to sign, execute and acknowledge on behalf of the Company, at any place within the United States, the following instrument(s) by his/her sole signature and act: any and all bonds, recognizances, and other writings obligatory in the nature of a bond, recognizance, or conditional undertaking and any and all consents incident thereto, and to bind the Company thereby as fully and to the same extent as if the same were signed by the duly authorized officers of the Company. All acts of said Attorney(s)-in-Fact done pursuant to the authority herein given are hereby ratified and confirmed.

This appointment is made under and by authority of the following Resolutions of the Board of Directors of said Company effective on April 7, 2011, which Resolutions are now in full force and effect;

VOTED: All Executive Officers of the Company (including the President, any Executive, Senior or Assistant Vice President, any Vice President, any Treasurer, Assistant Treasurer, or Secretary or Assistant Secretary) may appoint Attorneys-in-Fact to act for and on behalf of the Company to sign with the Company's name and seal with the Company's seal, bonds, recognizances, and other writings obligatory in the nature of a bond, recognizance, or conditional undertaking, and any of said Executive Officers at any time may remove any such appointee and revoke the power given him or her.

VOTED: The foregoing authority for certain classes of officers of the Company to appoint Attorneys-in-Fact by virtue of a Power of Attorney to sign and seal bonds, recognizances, and other writings obligatory in the nature of a bond, recognizance, or conditional undertaking, as well as to revoke any such Power of Attorney, is hereby granted specifically to the following individual officers of Aspen Specialty Insurance Management, Inc.:

Michael Toppl, Executive Vice President, Scott Sadowsky, Senior Vice President, Kevin W. Gillen, Senior Vice President, Mathew Raino, Senior Vice President, Ryan Field, Senior Vice President; Timothy P. Griffin, Vice President, Keith Flannery, Vice President, Mary E. Durosko, Vice President, Frank Campiglia, Vice President, Ray Philippon, Assistant Vice President and Lucas Lomax, Assistant Vice President.

This Power of Attorney may be signed and sealed by facsimile (mechanical or printed) under and by authority of the following Resolution voted by the Boards of Directors of Aspen American Insurance Company, which Resolution is now in full force and effect:

VOTED: That the signature of any of the Officers identified by title or specifically named above may be affixed by facsimile to any Power of Attorney for purposes only of executing and attesting bonds and undertakings and other writings obligatory in the nature thereof, and any and all consents incident thereto, and any such Power of Attorney or certificate bearing such facsimile signature or facsimile seal shall be valid and binding upon the Company. Any such power so executed and certified by such facsimile signature and/or facsimile seal shall be valid and binding upon the Company with respect to any bond or undertaking so executed.

IN WITNESS WHEREOF, Aspen American Insurance Company has caused this instrument to be signed and its corporate seal to be hereto affixed this 26th day of April 2018.

STATE OF CONNECTICUT

SS. ROCKY HILL

COUNTY OF HARTFORD

Aspen American Insurance Company

Kevin W. Gillen
Kevin W. Gillen, Senior Vice President

On this 26th day of April, 2018, before me personally came Kevin W. Gillen to me known, who being by me duly sworn, did depose and say; that he/she is Senior Vice President, of Aspen American Insurance Company, the Company described in and which executed the above instrument; that he/she knows the seal of said corporation; that the seal affixed to the said instrument is such corporate seal; and that he/she executed the said instrument on behalf of the Company by authority of his/her office under the above Resolutions, thereof.

Vanessa Arias
Notary Public

My commission expires: February 28, 2019

Vanessa Arias

Notary Public

State of Connecticut

My Commission Expires February 28, 2019

CERTIFICATE

I, the undersigned, Kevin W. Gillen of Aspen American Insurance Company, a stock corporation of the State of Texas, do hereby certify that the foregoing Power of Attorney remains in full force and has not been revoked; and furthermore, that the Resolutions of the Boards of Directors, as set forth above, are now and remain in full force and effect.

Given under my hand and seal of said Company, in Rocky Hill, Connecticut, this 27th day of April, 2018

By: *Kevin W. Gillen*

Name: Kevin W. Gillen, Senior Vice President



Project Summary

Welaunee Boulevard is a vital component of the Northeast Gateway project within the City of Tallahassee. It will serve as a critical part of the larger roadway network to help alleviate congestion and provide direct access to I-10 long term. The road will be aesthetically pleasing with a winding, well landscaped design through rolling hills that lead to residential neighborhoods and commercial areas such as a school, hospital amenities, and churches.

This segment of Welaunee Boulevard will extend approximately half a mile and connect with the future Dempsey Mayo Road extension at a roundabout. The project will be constructed in the following sequence:

- | | |
|-----------------------|---------------------------|
| 1- Mobilize Equipment | 8- Subgrade Stabilization |
| 2- Erosion Control | 9- Curb and Gutter |
| 3- Clear and Grub | 10- Limerock Base |
| 4- Balance Earthwork | 11- Sidewalks |
| 5- Sanitary Sewer | 12- Walking Trail |
| 6- Storm Drainage | 13- Final Grading |
| 7- Water Mains | 14- Asphalt Paving |

The proposed road extension will require a large quantity of imported fill material to establish the design elevations. Sandco has the equipment, trucks, and experience to provide the necessary fill quickly. Time is of the essence on this project as the proposed Freedom Church and Units 4 & 5 developments do not have access without the extension of Welaunee Boulevard and delays could have a devastating impact to these projects.

Sandco is already mobilized in the area actively constructing the Unit 5 subdivision and has more knowledge of the surrounding conditions and soils than anyone else due to having a constant presence within the Canopy PUD for the past several years. The extension of Welaunee Boulevard will provide access to Unit 5 and connect to the sewer and stormwater systems within the project. The sewer system within Unit 5 terminates at a master pump station and the stormwater discharges to Dove Pond. These items are critical infrastructure pieces that must be protected at all costs. The Canopy CDD would benefit from having the same contractor on both projects to avoid confusion, provide protection to critical infrastructure, and eliminate complicated coordination efforts resulting from multiple contractors working in the same area. A list of active and completed projects within the Canopy PUD with a brief description is shown below.

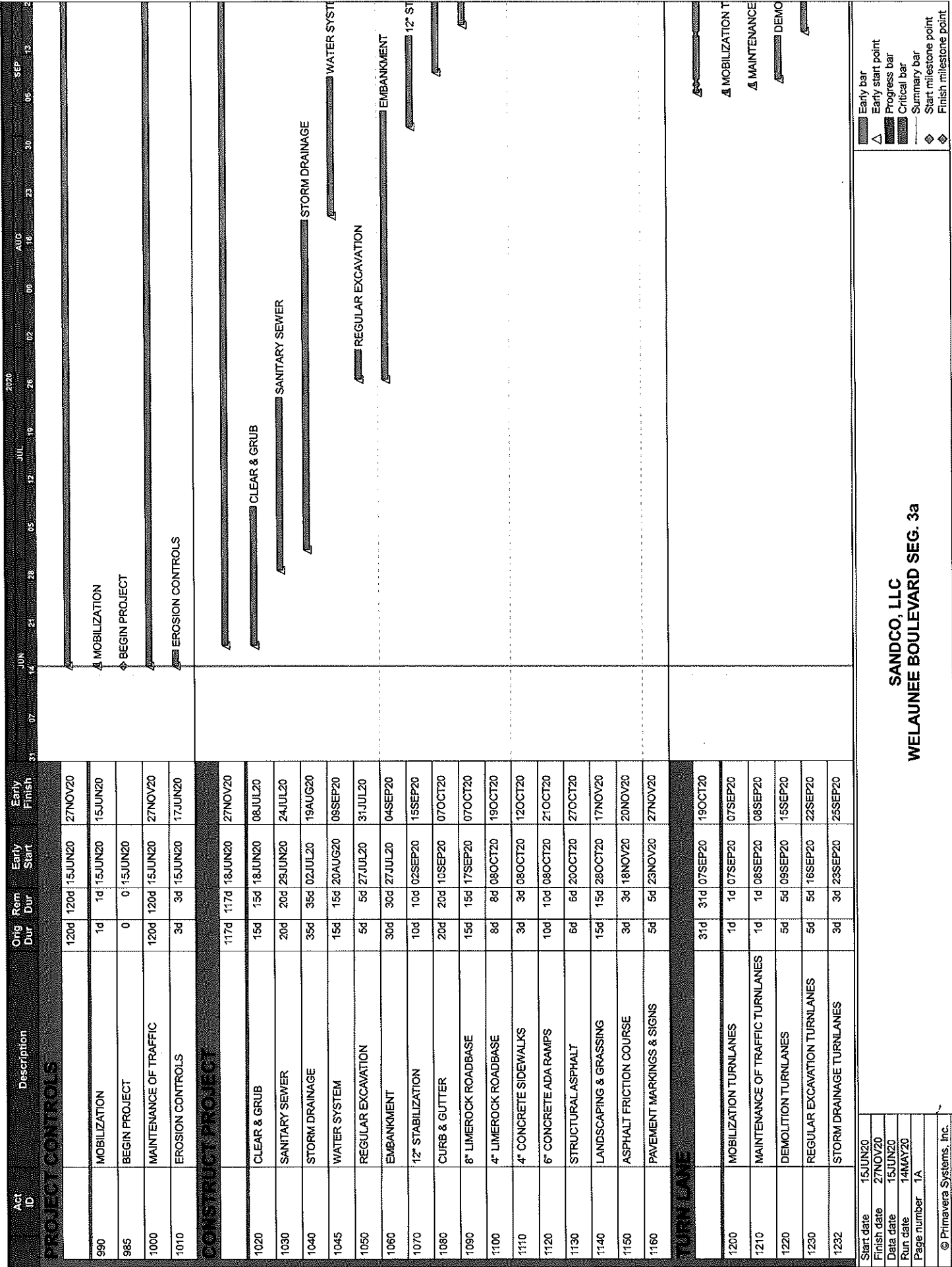
Project Summary

1. Welaunee Boulevard Extension - First phases of Welaunee Boulevard that includes the road, curb & gutter, landscaping, sidewalks, multi-use trail, water mains, sewer mains, and storm infrastructure.
2. Canopy Unit 1 – Roadway, utilities, and storm infrastructure for a 110-unit single family residential subdivision with three commercial developments and one multi-family residential development. This project included the construction of the large stormwater management facility known as Pond 2 to serve multiple phases of the Canopy development.
3. Canopy Unit 3 – Roadway, utilities, and storm infrastructure for a 100-unit single family residential subdivision.
4. Canopy Clubhouse – Parking lot, utilities, and storm infrastructure for the clubhouse.
5. Dove Pond – 100-acre regional stormwater management facility that includes a walking trail with direct access points to the Miccosukee Greenway, a viewing dock, and a gazebo.
6. Canopy Unit 5 – Roadway, utilities, and storm infrastructure for a 144-unit single family residential subdivision within the Canopy PUD that includes the extension of Dempsey Mayo that will connect directly to the proposed extension of Welaunee Boulevard.

Sandco has an excellent working relationship with all of the stakeholders involved in this project. Multiple projects have been successfully completed for the City of Tallahassee, Blueprint, and the Canopy CDD in recent years. We have also worked closely with Florida Gas Transmission (FGT) on several crossings of the existing high-pressure gas main in the area and have a thorough knowledge of their process and requirements.

A crew of highly skilled workmen and supervisors has been assembled that have the experience needed to complete this project within the allotted time to serve both the surrounding developments and the community as a whole. We appreciate your consideration of Sandco for this project and hope we are able to serve you.

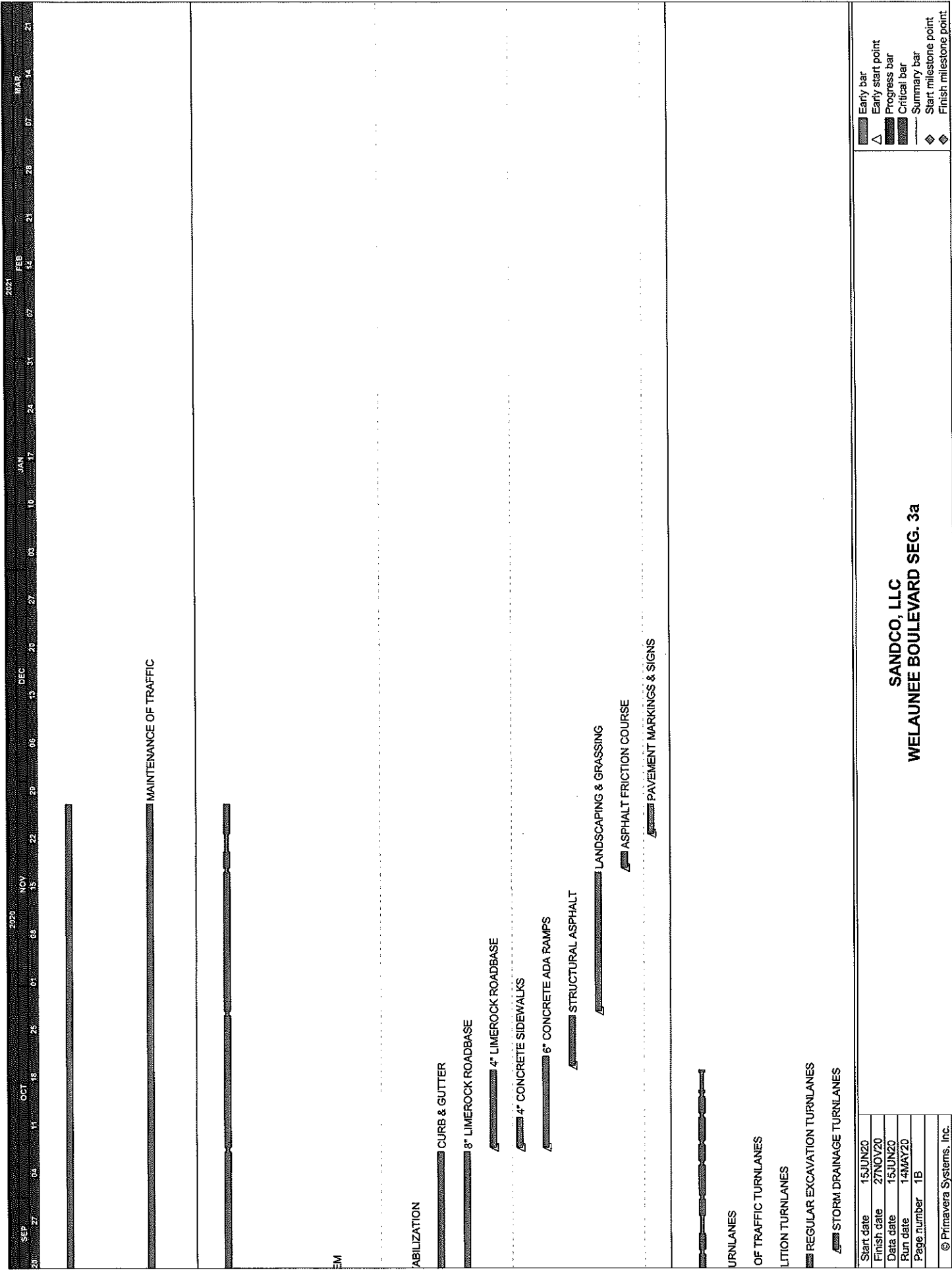




SANDCO, LLC
WELAUNEE BOULEVARD SEG. 3a

Start date	15JUN20
Finish date	27NOV20
Data date	15JUN20
Run date	14MAY20
Page number	1A

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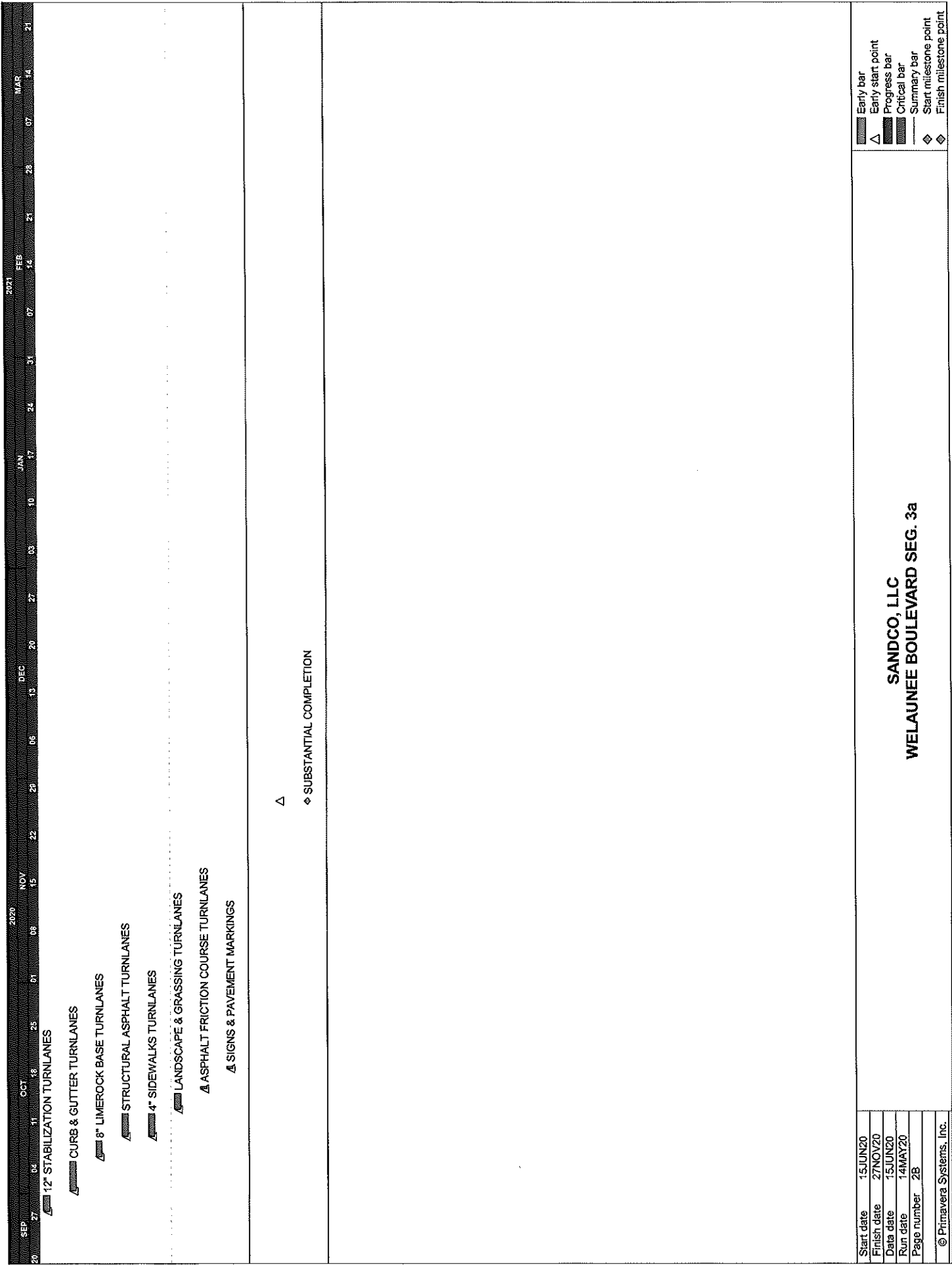


Start date	15JUN20
Finish date	27NOV20
Data date	15JUN20
Run date	14MAY20
Page number	1B

- Early bar
- Early start point
- Progress bar
- Critical bar
- Summary bar
- Start milestone point
- Finish milestone point

SANDCO, LLC
WELAUNEE BOULEVARD SEG. 3a

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CANOPY COMMUNITY DEVELOPMENT DISTRICT

Addendum No. 1

WELAUNEE BLVD, SEGMENT 3A AND SEGMENT 2 TURNLANES CONSTRUCTION PROJECT

March 30, 2020

To: Prospective bidders

I. Accessing the Mandatory Pre-Proposal Conference

Below are instructions on how to access the mandatory pre-proposal conference remotely. As stated in the Instructions to Bidders, the pre-proposal conference may include, but is not necessarily limited to, a discussion of contract requirements, inspections, evaluations and submittal requirements. Attendees will be required to provide contact information so that the District may provide addenda or other communication throughout the bid process. The Canopy Community Development District (“**District**”) reserves the right to preclude consideration of a proposal from any proposer that does not have an authorized representative present at said conference.

All interested parties are encouraged to submit questions and comments related to the pre-proposal conference to the District Engineer in advance at tstackhouse@gpinet.com, with a copy to jenk@hgslaw.com, to facilitate consideration of such questions and comments during the conference. For issues in accessing the pre-proposal conference media tools, please contact the District Engineer at the e-mail address provided herein or by phone at (850) 297-2948.

1. **Date:** April 10, 2020
2. **Time:** 1:00 p.m. EST
3. **Access:** At, or just before, the appointed time above, click on the “Join Microsoft Teams Meeting” link below. If you have received an electronic Project Manual, you will also receive an invitation to the meeting. For voice only, you may call in.

Join Microsoft Teams Meeting

+1 631-339-0571 United States (Toll)

(877) 284-0719 United States (Toll-free)

Conference ID: 132 434 163#

II. Interlocal Agreement for Welaunee Project – Cost Estimates

The Welaunee Blvd, Segment 3A and Segment 2 Turn Lanes Construction Project (“**Project**”) is a portion of the larger project addressed in the Interlocal Agreement between the City of Tallahassee, the Leon County-City of Tallahassee Blueprint Intergovernmental Agency, and the

Canopy Community Development Agreement, dated March 13, 2019, and recorded at Book 5293, Page 1305 et seq., Instrument #20190015198 in the Public Records of Leon County (“Interlocal Agreement”).

The Interlocal Agreement, among other things, provides not-to-exceed amounts for the components of the larger Welaunee Boulevard project at Exhibit B attached thereto. Please note that these estimates are not engineer’s estimates for the work; rather, they are not-to-exceed numbers provided for various components of the project to be reimbursed by public entities and anticipate contingency, project changes in permitting over the last two years, etc.

Any Bidder wishing to protest any or all of the matters contained or addressed in this addendum shall file a notice of protest with the District Manager, Governmental Management Services – Central Florida, LLC, 219 East Livingston Street, Orlando, Florida 32801, in writing within seventy-two (72) hours (inclusive of nights and weekends), after receipt of this Addendum, with an e-mail copy to dmossing@gmstnn.com. A formal written protest adequately detailing with particularity the facts and law upon which the protest is based shall be filed within seven (7) calendar days after the notice of protest is filed. Failure to timely file a written notice of protest or failure to timely file a formal written protest shall constitute a waiver of any right to object or protest with respect to this addendum.

Canopy Community Development District

Addendum No. 2

**WELAUNEE BLVD, SEGMENT 3A AND SEGMENT 2 TURNLANES
CONSTRUCTION PROJECT**

April 16, 2020

To: Prospective bidders

I. Accessing the Public Bid Opening Meeting

Below are instructions on how to access the public bid opening meeting remotely.

All interested parties are encouraged to submit questions and comments related to the public bid opening to the District Engineer in advance at tstackhouse@gpinet.com, with a copy to jenk@hgslaw.com, to facilitate consideration of such questions and comments during the meeting. For issues in accessing the public bid opening media tools, please contact the District Engineer at the e-mail address provided herein or by phone at 850-297-2948.

1. **Date:** April 28, 2020
2. **Time:** 3:00 p.m. EST
3. **Access:** Just before, the appointed time above, click on the "Join Microsoft Teams Meeting" link below. If you attended the Pre-Proposal Conference you should have received an invitation to this meeting already. For voice only, you may call in.

Join Microsoft Teams Meeting

+1 631-339-0571 United States, Brentwood (Toll)

(877) 284-0719 United States (Toll-free)

Conference ID: 870 014 043#

II. Responses to Questions/Concerns Received

- (1) *54" HDPE is shown between drainage structure #681 and #682. There is no bid item for this size pipe. Please provide a bid item for 54".*
 - a. **Response** – Plan change to incorporate the following (54" HDPP change to 60" HDPP) This change is incorporated on Sheets 15 (Note added for general reference only), 21, 85. Already included on the original Bid Tabulation Sheet.
- (2) *Bid quantities for OBG-1 seem to include only the limerock under the multi-use trail and do not include the SP 12.5 under the truck apron. In which bid item do we include the Type SP 12.5?*

- a. **Response** – Plan change to incorporate the following (Detail on Sheet 28 modified) and the following line items modified/added to Bid Tabulation Form – 12" Type B Stabilization quantity changed from 25,512 SY to 27,342 SY / Added 1,610 SY of Concrete Pavement for Roundabout / Added 1,831 SY of 12" #57 Stone)

(3) *Also under the truck apron 12" of #57 granite is shown. Which pay item do we use for the #57 stone?*

- a. **Response** – See response to Question #2

(4) *We do not understand the landscaping plan. It starts in the middle of the project and does not include the roundabout at Education Way. Please clarify.*

- a. **Response** – Plan change to incorporate the following: (New Landscape Sheets added to Plans – Remove Sheets 154 and 156 and replace with LS1.0-LS6.0, and LS9.0) Change reflected on the cover sheet.

(5) *Are drainage structures s-t-64, s-t-66 and s-t-62 included in this project?*

- a. **Response** – Plan change to incorporate the following: (This pipe network will not be included but will be "stubbed out" from S-T-60) This change is not noted on Sheet 15 as this sheet is for general reference only. This change is noted on Sheet 84. Bid tabulation form change – 48" HDPP pipe quantity changed from 1,111 to 1,131 / 48" Pipe Cap changed from 2 to 3)

*Full pdf plan set with incorporated changes above is part of this Addendum #2

(6) *The pay item for "fill" is wrong. It needs to be embankment rather than truck measure.*

- a. **Response** – Bid Tabulation Form Change (120-2-2 Borrow Excavation – Truck Measure changed to 120-6 Embankment – Fill)

*Modified Bid Tabulation Form (Sheet 1) with incorporated changes above is part of this Addendum #2

(7) *We would like to make a request that the CAD files be made available to bidders for the above referenced project.*

- a. **Response** – CAD files are a part of this Addendum #2

III. Additional Plan Changes

- (1) Sheet 84 – Pipe and structure information tying to S-690 added. Bid tabulation form change – 46 LF of 29"x45" ERCP added / 36" HDPP pipe quantity changed from 199 to 203 / 36" Pipe Cap changed from 2 to 3)
(2) Sheet 33B – Added

III. Permits

The following permits are part of this Addendum #2

- City of Tallahassee Environmental Management Permit TEM180050
- FDEP Permit 0385684-001-DWC/CG

Any Bidder wishing to protest any or all of the matters contained or addressed in this addendum shall file a notice of protest with the District Manager, Governmental Management Services – Central Florida, LLC, 219 East Livingston Street, Orlando, Florida 32801, in writing within seventy-two (72) hours (inclusive of nights and weekends), after receipt of this Addendum, with an e-mail copy to dmossing@gmstnn.com. A formal written protest adequately detailing with particularity the facts and law upon which the protest is based shall be filed within seven (7) calendar days after the notice of protest is filed. Failure to timely file a written notice of protest or failure to timely file a formal written protest shall constitute a waiver of any right to object or protest with respect to this addendum.

Canopy Community Development District

Addendum No. 3

**WELAUNEE BLVD, SEGMENT 3A AND SEGMENT 2 TURNLANES
CONSTRUCTION PROJECT**

Date: April 21, 2020

To: Prospective bidders

I. Response to Question Received: Extension of Certain Deadlines

Question: Will the District consider extending the proposal submittal due date?

Answer: Yes. In order to provide sufficient time for bidders to consider the additional information provided, the District will extend the proposal submittal due date to **May 15, 2020 at 12:00 p.m. (noon)**. Related deadlines will be extended accordingly.

Sealed proposals must be received no later than **12:00 p.m. (noon), May 15, 2020**, at the offices of the District Engineer, Greenman-Pedersen, Inc., located at 1590 Village Square Blvd, Tallahassee, FL 32309. Proposers will be advised of whether hand-delivered proposals will be accepted at a later date.

The new deadlines are as follows:

EVENT	PREVIOUS DEADLINE	NEW DEADLINE
Deadline for Questions	April 21, 2020, 5:00 p.m.	May 7, 2020, at 5:00 p.m.
Proposals Due	April 27, 2020, 11:59 p.m.	May 15, 2020, 12:00 p.m.
Public Opening of Proposals	April 28, 2020, 3:00 p.m.	May 15, 2020, 3:00 p.m.
Board Meeting to Evaluate Proposals & Award Contract	May 5, 2020, 11:00 a.m.	June 2, 2020, 11:00 a.m.

II. Typical Section Plan Changes – Dated 4-20-20 on the attached plan sheets which will replace Sheets 26 and 28 in the set dated 4-16-20 sent with Addendum 2

- (1) Sheet 26 – Typical Section 1 – Stationing changed from “Sta 42+00.52 to Sta 46+64.20” to “Sta 42+00.52 to Sta 48+49.40”
- (2) Sheet 28 – Welaunee Blvd. Roundabout Typical Section @ Education Way - Stationing changed from “Sta 31+49.84 to Sta 36+21.18” to “Sta 28+50 to Sta 31+49.84”
- (3) Sheet 28 – Welaunee Blvd. Roundabout Typical Section @ Dempsey Mayo Road - Stationing changed from “Sta 48+49.40 to Sta 50+65.62” to “Sta 48+49.40 to Sta 51+85.55”
- (4) Sheet 28 – Welaunee Blvd. Roundabout Typical Section @ Dempsey Mayo Road - Stationing changed from “Sta 773+58.99 to Sta 777+29.50” to “Sta 773+40 to Sta 777+45.79”

III. Bid Tabulation Form Changes – Dated 4-20-20

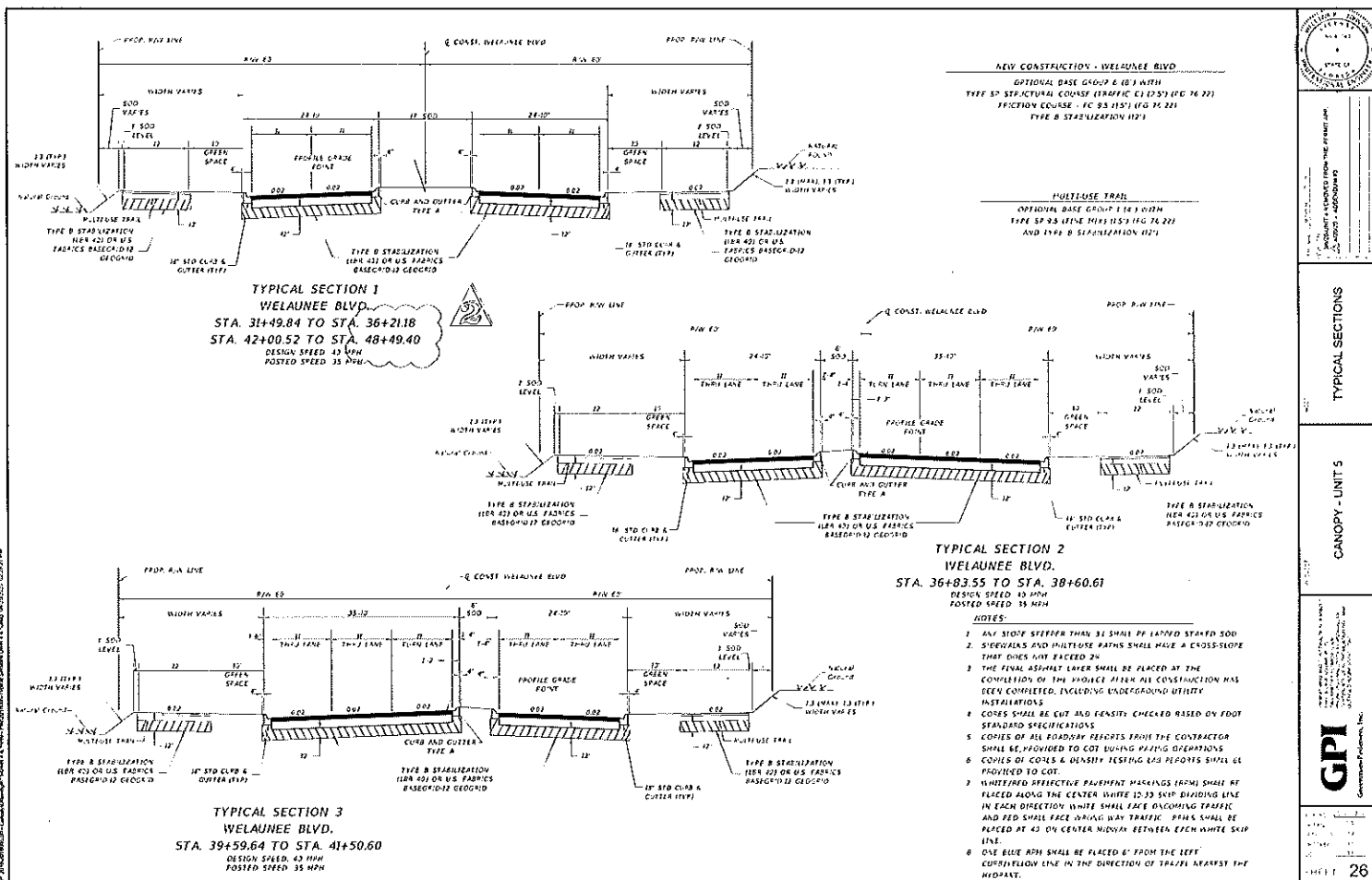
(1) Page1 - Eliminated the following duplicate line item:

- 1610 SY - Roundabout Truck Apron - 3.5' Brick Paver, 1" Sand

Any Bidder wishing to protest any or all of the matters contained or addressed in this addendum shall file a notice of protest with the District Manager, Governmental Management Services – Central Florida, LLC, 219 East Livingston Street, Orlando, Florida 32801, in writing within seventy-two (72) hours (inclusive of nights and weekends), after receipt of this Addendum, with an e-mail copy to dmossing@gmstnn.com. A formal written protest adequately detailing with particularity the facts and law upon which the protest is based shall be filed within seven (7) calendar days after the notice of protest is filed. Failure to timely file a written notice of protest or failure to timely file a formal written protest shall constitute a waiver of any right to object or protest with respect to this addendum.

Date: 4/20/2020							Page 1	
Welaunee Blvd Seg 3a Bid Tabulation Form								
FINAL QUANTITY	UNIT	PAY ITEM CODE			PAY ITEM DESCRIPTION	UNIT PRICE	AMOUNT	
	ROADWAY							
1	LS	101	1		MOBILIZATION			
1	LS	102	1		MAINTENANCE OF TRAFFIC			
1	LS				LANDSCAPING			
13440	LF	104	10	3	SEDIMENT BARRIER			
10	EA	104	18		INLET PROTECTION SYSTEM			
2	EA	104	15		Soil Tracking Prevention Device (15X100)			
59750	SF				JUTEMAT			
6638	SY	104	1		Artificial Coverings/Rolled Erosion Control Products			
59750	SF				SEED/MULCH			
5	AC	110	1	1	CLEARING & GRUBBING (NOT INCLUDING SPECIFIC TREE ITEMS)			
103	EA	110	23		Tree Removal			
4	EA	110	21		Trunk Protection			
4	EA				Tree Barricade			
2678	CY	120	1		REGULAR EXCAVATION			
62861	CY	120	6		EMBANKMENT - FILL			
6567	SY	285	701		OPTIONAL BASE, BASE GROUP 01			
17762	SY	285	706		OPTIONAL BASE, BASE GROUP 06			
27342	SY	160	4		12" TYPE B STABILIZATION / BASEGRID-12 GEOGRID			
541.8	TN	334	1	11	SP ASPH CONC, FINE MIX, PG76-22 (1.5") SP-9.5			
1975	TN	334	1	13	SP ASPH CONC, TRAFFIC C, PG76-22 (2.5") SP-12.5			
654.3	TN	334	1	13	SP ASPH CONC, TRAFFIC C, PG76-22 (3.5") SP-19			
1465.4	TN	337	7	82	ASPH CONC, FRICTION, FC 9.5, PG76-22 (1.5") FC-9.5			
1610	SY				Roundabout Truck Apron - 3.5' Brick Paver, 1" Sand			
1610	SY	350	30	5	CONCRETE PAVEMENT FOR ROUNDABOUT APRON (8' THICK)			
1831	SY				12" #57 Stone			
1640	SY				Roundabout Truck Apron - 3.5' Brick Paver, 1" Sand			
4	EA	425	1	351	INLETS, CURB, TYPE p-5, <10'			
2	EA	425	1	361	INLETS, CURB, TYPE p-6, <10'			
3	EA	425	1	352	INLETS, CURB, TYPE p-5, >10'			
6	EA	425	1	453	INLETS, CURB, TYPE j-5, <10'			
3	EA	425	1	463	INLETS, CURB, TYPE j-6, <10'			
3	EA	425	1	454	INLETS, CURB, TYPE j-5, >10'			
2	EA	425	1	464	INLETS, CURB, TYPE j-6, >10'			
2	EA	425	1	541	INLET, DITCH BOTTOM, TYPE 'D', <10'			
3	EA	425	2	61	MANHOLE, TYPE 8 <10'			
6	EA	425	2	62	MANHOLE, TYPE 8 >10'			
8	EA	425	2	91	MANHOLES, J-8, <10'			
5	EA	425	2	92	MANHOLES, J-8, >10'			
1830	LF	430	175	118	PIPE CULV, OPT MATL, ROUND, 18"S/CD			
570	LF	430	175	124	PIPE CULV, OPT MATL, ROUND, 24"S/CD			
203	LF	430	175	136	PIPE CULV, OPT MATL, ROUND, 36"S/CD			
1131	LF	430	175	148	PIPE CULV, OPT MATL, ROUND, 48"S/CD			
1573	LF	430	175	160	PIPE CULV, OPT MATL, ROUND, 60"S/CD			
46	LF	430	175	236	PIPE CULV, OPT MATL, ELLIPTICAL, 48"S/CD (29x45)			
141	LF	430	175	248	PIPE CULV, OPT MATL, ELLIPTICAL, 48"S/CD (38x60)			
64	LF	430	175	260	PIPE CULV, OPT MATL, ELLIPTICAL, 60"S/CD (48x76)			
3	EA				PIPE CULV, CAP HDPP 36"			
3	EA				PIPE CULV, CAP HDPP 48"			
375	SY	522	1		CONC SIDEWALK AND DRIVEWAYS, 4"			
684	SY	522	2		CONC SIDEWALK AND DRIVEWAYS, 6"			
908	SF	527	2		DETECTABLE WARNINGS			
7540	LF	520	1	10	TYPE 'F' CURB & GUTTER (MODIFIED) - 18"			
3380	LF	520	2	1	CONCRETE CURB & GUTTER TYPE A			
505	LF	520	2	4	CONCRETE CURB & GUTTER TYPE D			
793	LF	520	2	8	CONCRETE CURB & GUTTER TYPE RA			
12716	SY	570	1	2	PERFORMANCE TURF, SOD			

TOTAL PAGE 1



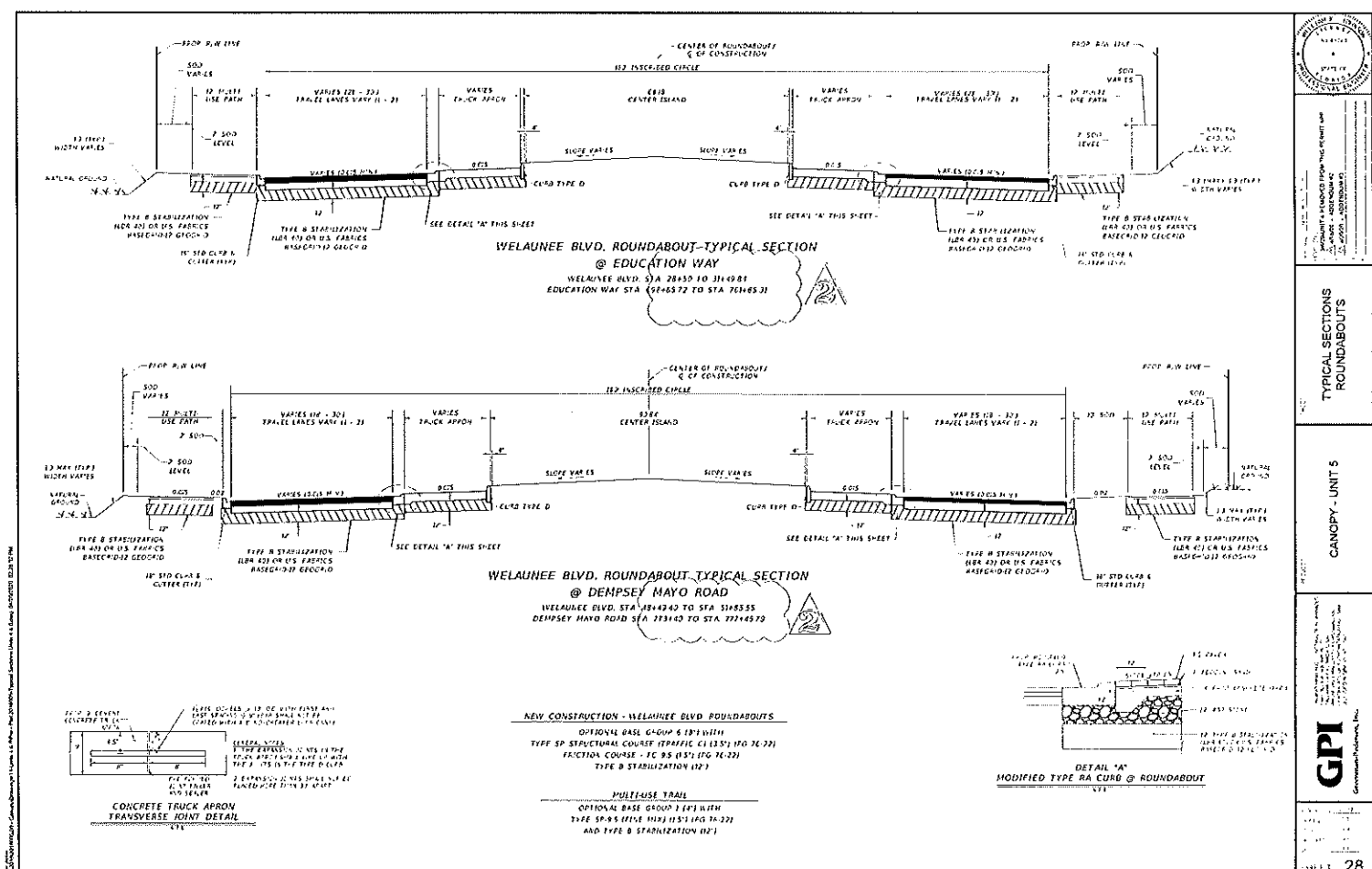
STATE OF FLORIDA
NO. 12574
12/1/2023

TYPICAL SECTIONS

CANOPY - UNIT 5

NOTES

GPI
Geotechnical Professionals, Inc.
26



TYPICAL SECTIONS

ROUNDABOUTS

CANOPY - UNIT 5

GPI

Government Planning, Inc.

28

Canopy Community Development District

Addendum No. 4

**WELAUNEE BLVD, SEGMENT 3A AND SEGMENT 2 TURNLANES
CONSTRUCTION PROJECT**

Date: April 24, 2020

To: Prospective bidders

I. Approved Permit for Holy Comforter Turn Lanes

Included with this addendum is the approved EMP amendment for the Holy Comforter Turn Lanes, permit #TEM 200024. This is an amendment to #TEM 160079. There have been no modifications to the design previously presented. This addendum is only to provide the approved plans to prospective bidders.

Any Bidder wishing to protest any or all of the matters contained or addressed in this addendum shall file a notice of protest with the District Manager, Governmental Management Services – Central Florida, LLC, 219 East Livingston Street, Orlando, Florida 32801, in writing within seventy-two (72) hours (inclusive of nights and weekends), after receipt of this Addendum, with an e-mail copy to dmossing@gmstnn.com. A formal written protest adequately detailing with particularity the facts and law upon which the protest is based shall be filed within seven (7) calendar days after the notice of protest is filed. Failure to timely file a written notice of protest or failure to timely file a formal written protest shall constitute a waiver of any right to object or protest with respect to this addendum.

ENVIRONMENTAL MANAGEMENT PERMIT

PERMIT #: TEM200024
PROJECT NAME: Canopy Unit 1 - Welaunee Blvd. Ext.
TEAM: **NORTH TEAM**

PERMIT EXHIBITS: A Approved Site Plans
 Special Conditions that Apply to this Permit
 Other: _____

REQUIREMENTS: X Pre-Construction Conference Conservation Easements
X Record Drawings (as-builts) Drainage Easements
 Stormwater Facility Operating Permit

PLANS DISTRIBUTION:

Number of plans for Water & Sewer (Jimmy Lee): 2
Number of plans for Public Works Traffic (Tyler Harrison)
Number of plans for Public Works (Eric Gooch):
Number of plans for File/Inspector (same set):
Number of plans to Applicant/Agent with Permit:
Other:

TOTAL PLANS:

Amendment to TEM160079

CONSTRUCTION PLANS

FOR

WELAUNEE BLVD SEGMENT 2 TURN LANES

SHEET

SHEET TITLE

01 COVER SHEET

02 KEY SHEET

03 EXISTING CONDITION

04 DEMOLITION & EROSION CONTROL PLAN

05 INLET BASIN MAP

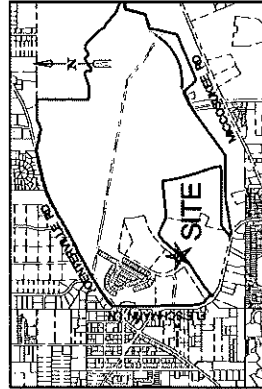
06 CONSTRUCTION DETAILS

07 WELAUNEE BLVD TURN LANES

08 WELAUNEE BLVD TURN LANES PROFILE

09 FOOT & MOT DETAILS

INDEX



VICINITY / MAP

3/24

PROJECT NAME:	CANOPY - WELAUNEE BLVD TURN LANES
PROPERTY TAX ID#:	11-14-20-405-0000 & 11-15-20-405-0000
CLIENT:	OX BOTTOM MORTGAGE HOLDINGS, LLC 4708 CAPITAL CIRCLE TALLAHASSEE, FL 32303
ENGINEER OF RECORD:	GREENMAN-PEGGENSEN, INC. 1000 N. GADSDEN ST. TALLAHASSEE, FL 32309 (850) 668-5211
BOUNDARY SURVEY BY:	MOORE BASS CONSULTING, INC. 805 N. GADSDEN ST. TALLAHASSEE, FL 32303 (850) 222-2678
DESIGN SURVEY BY:	NOBLES CONSULTING GROUP, INC. 2044 PABLO AVENUE TALLAHASSEE, FL 32308 (850) 285-1179
VERTICAL DATUM:	NAD 83

PROJECT DATA

APPROVED
Underground Utilities & Public
Infrastructure Engineering
Jenny Lee P.E.
4/17/2020

CANOPY

GREENMAN-PEGGENSEN, INC.
CERTIFICATE OF AUTHORIZATION NO. : 3498

ENGINEERING, SURVEYING, DEVELOPMENT, DESIGN,
ENVIRONMENTAL PLANNING & PERMITTING,
& CONSTRUCTION INSPECTION SERVICES
1100 N. GADSDEN ST., SUITE 200
TALLAHASSEE, FL 32309
PHONE (850) 668-5211 • FAX (850) 668-3106
HTTP://WWW.GPI-INC.COM

GREENMAN-PEGGENSEN, INC.
CERTIFICATE OF AUTHORIZATION NO. : 3498

APPROVED
Underground Utilities & Public
Infrastructure Engineering
Jenny Lee P.E.
4/17/2020

Underground Utilities & Public
Infrastructure Engineering
Jenny Lee P.E.
4/17/2020

CANOPY

GENERAL NOTES

- 1) MINIMUM COMPACTOR SHALL BE USE MODIFIED PROCTOR FOR ALL SETTINGS. 98% UNDER ALL STRUCTURES AND PAVED AREAS (FILL AND CUT AREAS) SHALL BE COMPACTED TO 98% MODIFIED PROCTOR (MIN. 18" DEPTH). BORROW MATERIAL, IF REQUIRED, IS TO BE PROVIDED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER STORAGE AND HANDLING OF ALL MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER STORAGE AND HANDLING OF ALL MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER STORAGE AND HANDLING OF ALL MATERIALS.
- 2) ALL SOIL ASPHALT AND BASE IN-PLACE TESTING SHALL BE PERFORMED BY A FLORIDA DEPARTMENT OF TRANSPORTATION (FLDOT) CERTIFIED TESTING LABORATORY, AT THE PROJECT SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER STORAGE AND HANDLING OF ALL MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER STORAGE AND HANDLING OF ALL MATERIALS.
- 3) THE CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING PRIVATE AND PUBLIC UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER STORAGE AND HANDLING OF ALL MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER STORAGE AND HANDLING OF ALL MATERIALS.
- 4) WHERE REFERENCE IS MADE TO A STANDARD INDEX OR DETAIL, THE FDOT DESIGN STANDARD INDEX, 1978 EDITION, SHALL BE UTILIZED AS A PART OF THIS PLAN.
- 5) UNLESS OTHERWISE INDICATED OR DETAILED ON THE PLANS, THE FDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION SHALL BE USED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER STORAGE AND HANDLING OF ALL MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER STORAGE AND HANDLING OF ALL MATERIALS.
- 6) WATER AND SEWER CONSTRUCTION SHALL COMPLY WITH CITY OF TALLAHASSEE'S TECHNICAL SPECIFICATIONS FOR WATER & WASTEWATER CONSTRUCTION (LATEST EDITION), AS WELL AS THE CITY OF TALLAHASSEE'S TECHNICAL SPECIFICATIONS FOR SEWER CONSTRUCTION (LATEST EDITION). THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER STORAGE AND HANDLING OF ALL MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER STORAGE AND HANDLING OF ALL MATERIALS.
- 7) THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER STORAGE AND HANDLING OF ALL MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER STORAGE AND HANDLING OF ALL MATERIALS.
- 8) ALL DISTURBED AREAS SHALL BE SOOLED UNLESS OTHERWISE NOTED. ALL SLOPES 4:1 AND GREATER SHALL BE SOOLED IMMEDIATELY AFTER CONSTRUCTION. ALL DISTURBED AREAS LEFT OPEN FOR MORE THAN 14 DAYS SHALL BE STABILIZED WITH SEED AND MULCH.

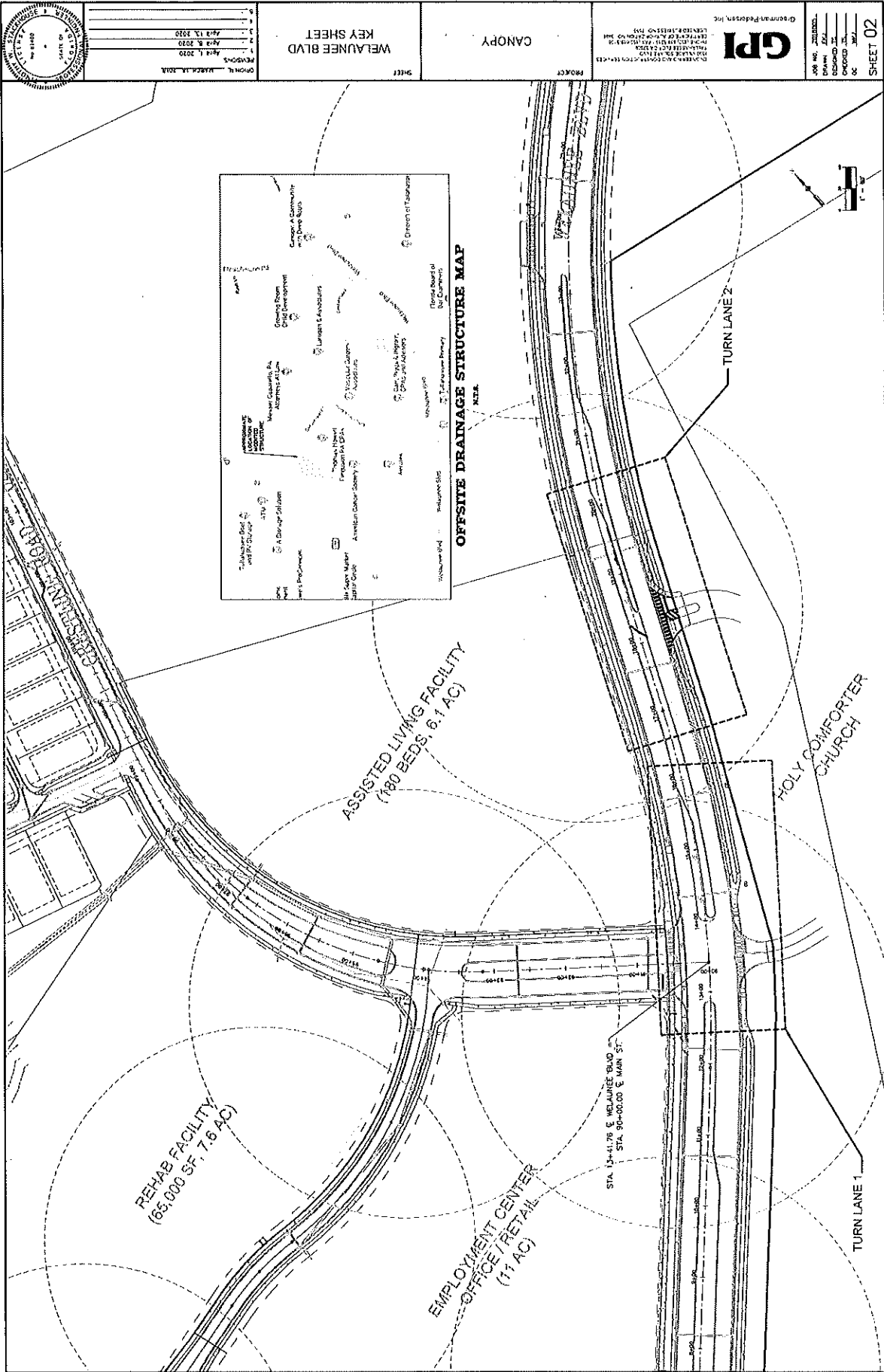
- 9) CONTRACTOR SHALL PROTECT THE S.W.M.T. FROM SETTLEMENT DURING CONSTRUCTION. CONTRACTOR SHALL MAINTAIN EROSION CONTROL AROUND INLETS AND AREAS CONTRIBUTING STORMWATER RUNOFF TO THE S.W.M.T.
- 10) ALL FILL SLOPES STEEPER THAN 2:1 AND CUT SLOPES STEEPER THAN 2:1 SHALL REQUIRE POST-CONSTRUCTION STABILIZATION BY A QUALIFIED PROFESSIONAL, DESIGNER.
- 11) CUTS AND PATCHES SHALL BE PERFORMED, CUT FLEXIBLE PAVEMENT STANDARDS AND AS PER DOT 1980D RIGHT OF WAY PERMIT.
- 12) CONTRACTOR SHALL PROVIDE MIX DESIGN FOR ANY CONCRETE ON THE PROJECT.
- 13) CONSTRUCTION OF DRIVEWAYS, SIDEWALKS, AND OTHER ITEMS RELATING TO WORK TO BE PERFORMED WITHIN THE PUBLIC RIGHT OF WAY SHALL CONFORM TO THE CITY OF TALLAHASSEE'S TECHNICAL SPECIFICATIONS FOR CONSTRUCTION (LATEST EDITION) WITHIN THE R.O.W.
- 14) ALL ACCESSIBLE PARKING SPACES, ACCESS, ANGLES, RAMP, AND ROUTES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ADA/AAE.
- 15) ALL CONCRETE PIPE JOINT SHALL BE WRAPPED WITH FILTER FABRIC IN ACCORDANCE WITH INDEX 280. ALL STORM DRAIN PIPING SHALL BE TO BE INSPECTED IN ACCORDANCE WITH CITY OF TALLAHASSEE SPECIFICATIONS.
- 16) ADDITIONAL EROSION AND DESIGN CONTROL MEASURES MAY BE REQUIRED BY THE CITY OF TALLAHASSEE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER STORAGE AND HANDLING OF ALL MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER STORAGE AND HANDLING OF ALL MATERIALS.
- 17) THE TEMPORARY CONSTRUCTION SITE ENTRANCE SHALL BE MAINTAINED IN A MANNER TO PREVENT OFF SITE TRACKING OF SEDIMENTS FROM TRAFFIC LEAVING THE PROJECT SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER STORAGE AND HANDLING OF ALL MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER STORAGE AND HANDLING OF ALL MATERIALS.
- 18) ALL SLOPING AND PAVEMENT MARKINGS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FDOT STANDARD SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER STORAGE AND HANDLING OF ALL MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER STORAGE AND HANDLING OF ALL MATERIALS.
- 19) THE CONTRACTOR SHALL PROVIDE A NEW PERSON FOR EACH TYPE OF ASPHALT PAVED, AND IT SHALL BE DONE BY A PROFESSIONAL ENGINEER CERTIFIED BY THE DOT TO PROVIDE ASPHALT MIX DESIGN. THE FINISHED SURFACE SHALL BE SMOOTH, UNIFORM, AND FREE OF TEARS, CRACKS, AND OTHER DEFECTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER STORAGE AND HANDLING OF ALL MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER STORAGE AND HANDLING OF ALL MATERIALS.
- 20) AS-BUILT DRAWINGS OF THE FOLLOWING SYSTEMS SHALL BE PROVIDED TO THE ENGINEER OF RECORD: ROADWAY, DRAINAGE, AND DRAINAGE SYSTEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER STORAGE AND HANDLING OF ALL MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER STORAGE AND HANDLING OF ALL MATERIALS.
- 21) THE CONTRACTOR SHALL NOT SUBSTITUTE ANY ARTIFACT DEVICE, PRODUCT, MATERIAL, OR METHOD WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE ENGINEER OF RECORD. THE ONLY EXCEPTION ALLOWED IS TO SUBSTITUTE POLYPROPYLENE PIPE FOR RCP FOR STORM SEWER CONSTRUCTION.
- 22) THE CONTRACTOR SHALL ENSURE THAT A FIREMAN OR SUPERVISOR WHO HAS BEEN CERTIFIED IN THE CITY OF TALLAHASSEE IS AVAILABLE AT ALL TIMES DURING CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER STORAGE AND HANDLING OF ALL MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER STORAGE AND HANDLING OF ALL MATERIALS.
- 23) NO TRESPASSING OR EXCAVATION SHALL BE ALLOWED WITHIN THE CORP OF PROTECTED TREES, EXCEPT WHERE DEBTS OR AN APPROPRIATE VITICATION PLAN HAVE BEEN NOTED ON PLANS.

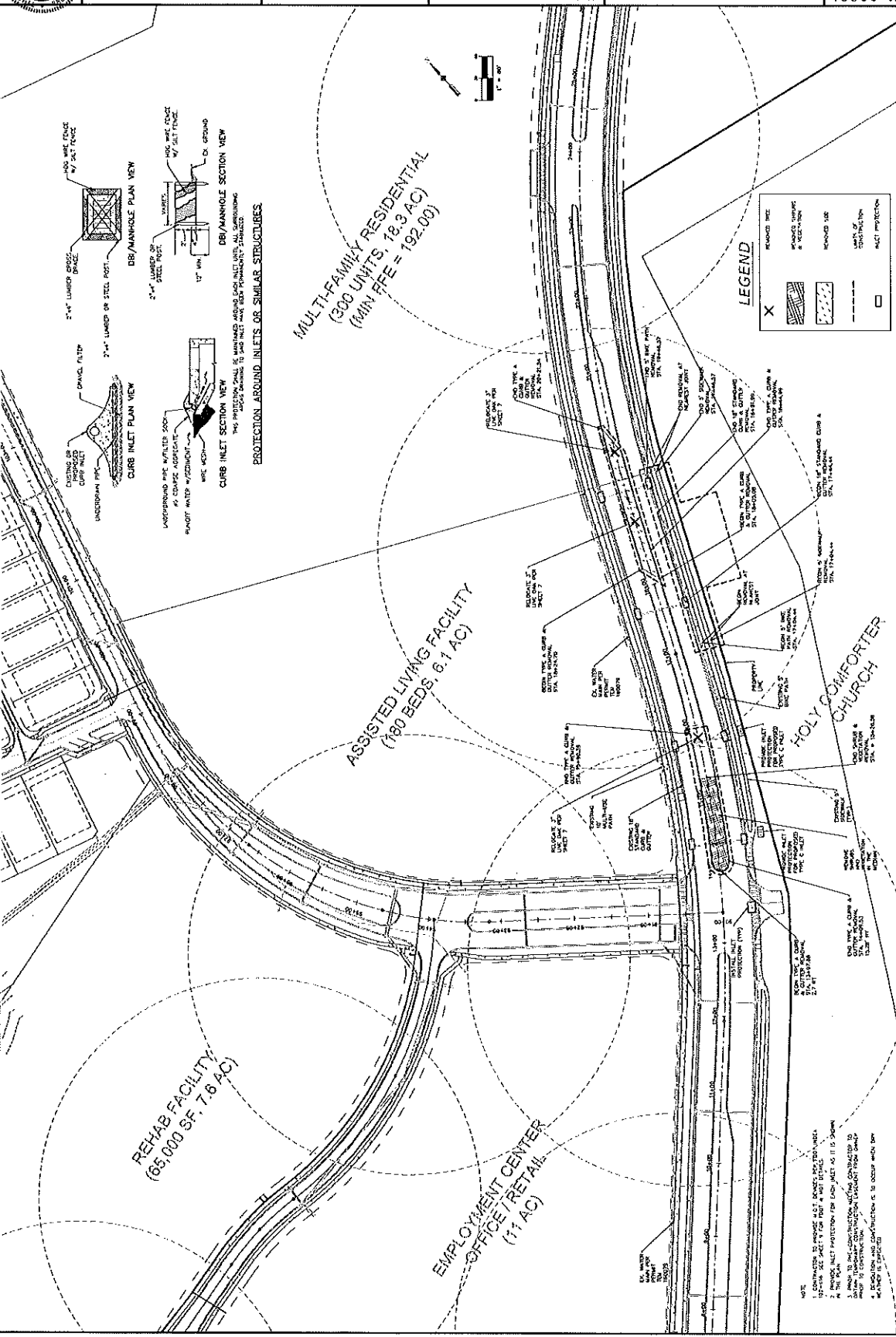


This has been duly
signed and sealed by
W. Stachowicz, P.E. on
2020.04.16 11:15:07 AM
using a digital signature.
The digital signature
document is not considered
signed and sealed and the
SEA authentication code must
be verified on any electronic
copy.



WARNING: AN UNDERGROUND ELECTRICAL
TRANSMISSION LINE EXISTS IN THE VICINITY OF
THIS PROJECT. THE CONTRACTOR SHALL BE
RESPONSIBLE FOR THE PROPER STORAGE AND HANDLING OF ALL MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER STORAGE AND HANDLING OF ALL MATERIALS.







Greenman-Pedersen, Inc.
1500 15th Street, Suite 100
Boulder, CO 80502
303.440.1000
www.gpi-engineers.com

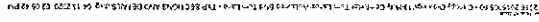
PROJECT
CANOPY-MELANEE BLVD
SEGMENT 1 MODIFICATION
HOLY COMFORTER
TURN LANES

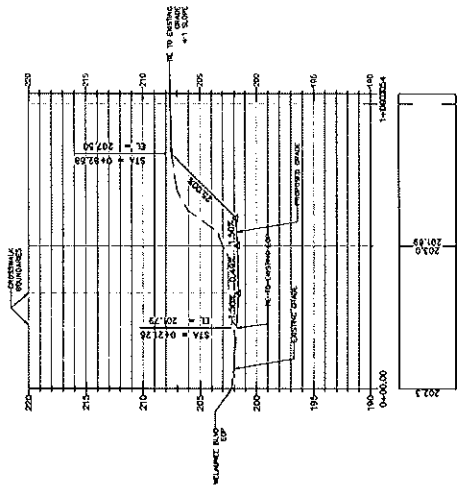
INLET BASIN MAP
SHEET

APPROVED
APR 18, 2020
APR 18, 2020
APR 18, 2020

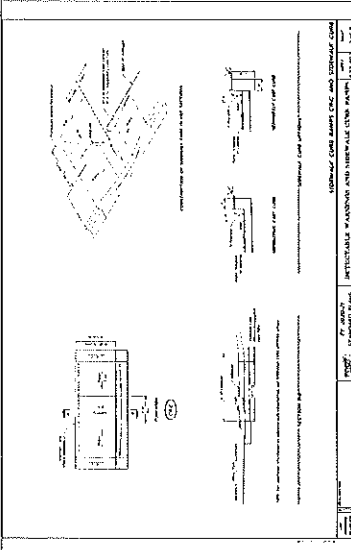
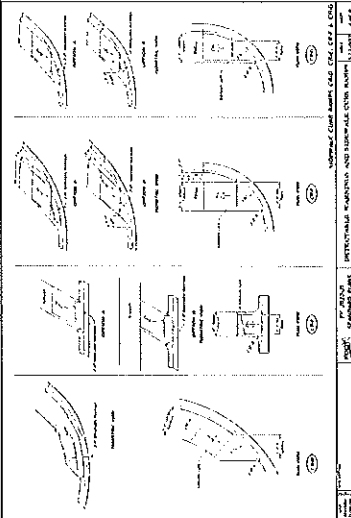
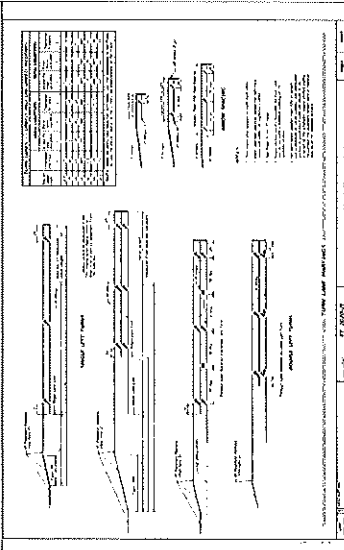
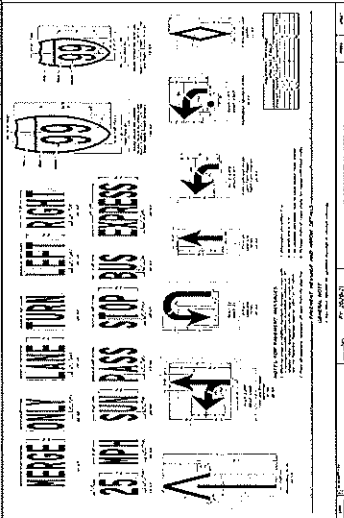
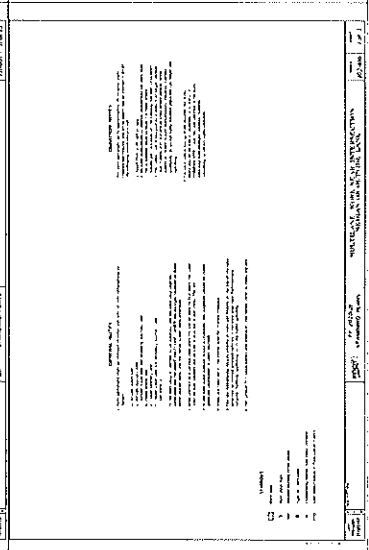
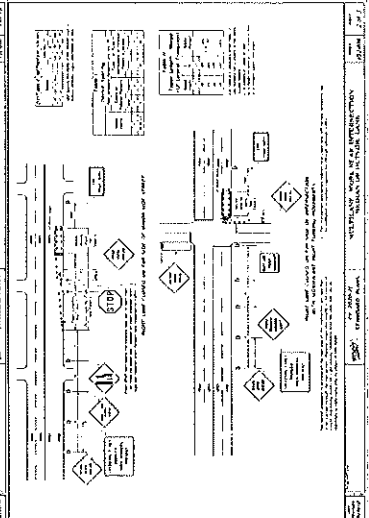
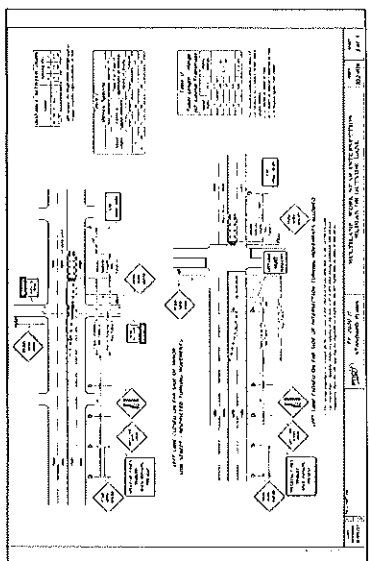
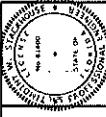


BASIN NAME	STRUCTURE NAME	BASIN AREA, AC	IMPERVIOUS AREA, AC	PERCENT IMPERVIOUS
1A	WS-101	0.1635	0.1066	64.65%
1B	WS-101	0.1635	0.1066	64.65%
2A	WS-100	0.1565	0.0770	49.22%
2B	WS-100	0.1565	0.0770	49.22%
3	WS-103	0.0931	0.1444	156.87%
4	WS-105	0.7514	0.1270	16.77%
5	WS-102	0.7442	0.2860	38.43%
6	WS-107	0.4713	0.2586	54.88%
7	WS-106	0.3368	0.1332	39.55%
8	WS-111	0.3368	0.1332	39.55%
9	WS-110	0.3279	0.1535	46.81%
10	WS-112	0.1510	0.0649	43.00%
11	WS-114	0.1510	0.0649	43.00%
12	WS-201	0.1510	0.1115	73.85%
13	WS-202	0.1510	0.1115	73.85%
14	WS-219	0.1248	0.1142	91.43%
15	WS-210	0.2243	0.1633	72.79%
16	WS-211	0.2243	0.1633	72.79%
17	WS-212	0.2243	0.1513	67.45%
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73	WS-268	0.2243	0.1513	67.45%
74	WS-269	0.2243	0.1513	67.45%
75	WS-270	0.2243	0.1513	67.45%
76	WS-271	0.2243	0.1513	67.45%
77	WS-272	0.2243	0.1513	67.45%
78	WS-273	0.2243	0.1513	67.45%
79	WS-274	0.2243	0.1513	67.45%
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81	WS-276	0.2243	0.1513	67.45%
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86	WS-281	0.2243	0.1513	67.45%
87	WS-282	0.2243	0.1513	67.45%
88	WS-283	0.2243	0.1513	67.45%
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107	WS-302	0.2243	0.1513	67.45%
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157	WS-352	0.2243	0.1513	67.45%
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192	WS-387	0.2243	0.1513	67.45%
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203	WS-398	0.2243	0.1513	67.45%
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205	WS-400	0.2243	0.1513	67.45%
206	WS-401	0.2243	0.1513	67.45%
207	WS-402	0.2243	0.1513	67.45%
208	WS-403	0.2243	0.1513	67.45%
209	WS-404	0.2243	0.1513	67.45%
210	WS-405	0.2243	0.1513	67.45%
211	WS-406	0.2243	0.1513	67.45%
212	WS-407	0.2243	0.1513	67.45%
213	WS-408	0.2243	0.1513	67.45%
214	WS-409	0.2243	0.1513	67.45%
215	WS-410	0.2243	0.1513	67.45%
216	WS-411	0.2243	0.1513	67.45%
217	WS-412	0.2243	0.1513	67.45%
218	WS-413	0.2243	0.1513	67.45%
219	WS-414	0.2243	0.1513	67.45%
220	WS-415	0.2243	0.1513	67.45%





NOTE:
MAXIMUM CROSS-SLOPE SHOULD NOT EXCEED 1.5%



Canopy Community Development District

Addendum No. 5

**WELAUNEE BLVD, SEGMENT 3A AND SEGMENT 2 TURNLANES
CONSTRUCTION PROJECT**

Date: May 11, 2020

To: Prospective bidders

I. Response to Question Received

Question: Sheet 147 provides mass grading information. On the East side of the Western Roundabout, the contours stop in a 20'+ fill section and the roundabout grading sheet does not address the slopes that will be required to construct the roundabout. Is the embankment quantity required to construct the roundabout reflected in the bid quantity for embankment?

Answer: Please base your unit bid price on the quantity provided. If more fill is required, this can be documented during construction and provided as a change order.

II. Information Related to Proposal Submission and Proposal Opening

1. As previously advised, sealed proposals must be received no later than **12:00 p.m. (noon), May 15, 2020**, at the offices of the District Engineer, Greenman-Pedersen, Inc. ("GPI"), located at 1590 Village Square Blvd, Tallahassee, FL 32309. **Both mailed and hand-delivered proposals will be accepted.** If hand-delivering, please knock on the door and provide your sealed proposal to the GPI employee on staff.
2. All Proposers must submit an electronic copy of their bid on a CD or flash drive. Please note that e-mailed proposals will **not** be accepted. Proposers may submit a physical copy of their proposal in addition to the required CD or flash drive, but are not required to do so.
3. Proposals will be publicly opened on May 15, 2020, at 3:00 p.m., via videoconferencing communications media technology. Any interested party may view or participate in the public proposal opening by following the instructions below:

Join Microsoft Teams Meeting

+1 631-339-0571 United States, Brentwood (Toll)

(877) 284-0719 United States (Toll-free)

Conference ID: 249 363 733#

For assistance accessing the proposal opening, please contact the District Engineer by phone at 850-297-2948.

Any Bidder wishing to protest any or all of the matters contained or addressed in this addendum shall file a notice of protest with the District Manager, Governmental Management Services – Central Florida, LLC, 219 East Livingston Street, Orlando, Florida 32801, in writing within seventy-two (72) hours (inclusive of nights and weekends), after receipt of this Addendum, with an e-mail copy to dmoosing@gmstnn.com. A formal written protest adequately detailing with particularity the facts and law upon which the protest is based shall be filed within seven (7) calendar days after the notice of protest is filed. Failure to timely file a written notice of protest or failure to timely file a formal written protest shall constitute a waiver of any right to object or protest with respect to this addendum.

**CANOPY COMMUNITY DEVELOPMENT DISTRICT
CONSTRUCTION SERVICES
FOR
WELAUNEE BLVD. SEGMENT 3A AND SEGMENT 2 TURN LANES**

TAB 2

Organization Information

Organization Information of Proposer

- ♦ Pages 1 - 5 Organization Information of Proposer

Corporate Management and Resumes

- ♦ Behzad (Steve) Ghazvini—Manager
- ♦ Mehran (Pete) Ghazvini—Manager
- ♦ Jason Ghazvini—Manager

Proposed Staffing Resumes and Certifications

- ♦ Justin Hosey, PE—Assistant Manager
- ♦ Charles Field—Senior Project Manager
- ♦ Robert Myrick—Estimator & Project Manager
- ♦ Michael Conner, PE—Project Manager
- ♦ Buddy Watley —Superintendent
- ♦ Chris Watley—Superintendent

ORGANIZATIONAL INFORMATION OF PROPOSER
CANOPY COMMUNITY DEVELOPMENT DISTRICT
WELAUNEE BLVD. SEGMENT 3A AND SEGMENT 2 TURN LANES CONSTRUCTION PROJECT
TALLAHASSEE, FLORIDA

DATE SUBMITTED: May 15, 2020

1. Proposer Sandco, LLC ☐ A Individual
 (Company Name) ☐ A Partnership
☒ A Limited Liability Company
☐ A Corporation
☐ A Subsidiary Corporation

2. Proposer's Parent Company Name (if applicable) N/A

3. Proposer's Parent Company Address (if applicable)
 Street Address N/A
 P.O. Box (if any) N/A
 City N/A State N/A Zip Code N/A
 Telephone N/A Fax No. N/A
 Email N/A
 1st Contact Name N/A Title N/A
 2nd Contact Name N/A Title N/A

4. Proposer Company Address (if different)
 Street Address 4708 Capital Circle
 P.O. Box (if any) N/A
 City Tallahassee State FL Zip Code 32303
 Telephone 850-205-5218 Fax No. 805-402-7674
 Telephone N/A Fax No. N/A
 Email bmyrick@sandcofl.com
 1st Contact Name Behzad Ghazvini Title Manager
 2nd Contact Name Robert Myrick Title Senior Project Manager

5. Is the Proposer incorporated in the State of Florida? Yes ☒ No ☐ (LLC)
 5.1 If yes, provide the following:
 Is the Company in good standing with the Florida Department of State, Division of Corporations?
 Yes ☒ No ☐

Sandco, LLC

If no, please explain N/A

Date Incorporated 06/10/2011 Charter No. L11000068040

5.2 If no, provide the following:

The state in which the Proposer company is incorporated Florida

Is the company in good standing with the state? Yes (☒) No (☐)

If no, please explain N/A

Date incorporated 06/10/2011 Charter No. L11000068040

6. Is the Proposer company a registered or licensed contractor with the State of Florida? Yes (☒) No (☐)

6.1 If yes, provide the following:

Type of registration (i.e. certified general contractor, certified electrical contractor, etc.)

General Contractor and Underground Utility & Excavation Contractor

License No. CGC1519107 CUC051682 Expiration Date 8/31/2020

Qualifying Individual Behzad Ghazvini Title Manager

List company(ies) currently qualified under this license Sandco, Inc., Sandco LLC, Baycrest Corporation, and Premier Construction & Development

6.2 Is the Proposer company a registered or licensed Contractor with Leon County and the City of Tallahassee? Yes (☒) No (☐)

6.3 Has the Proposer company performed work for a community development district previously? Yes (☒) No (☐)

7. Name of Proposer's Bonding Company Aspen American Insurance Company

Address 175 Capital Boulevard, Rocky Hill CT 06067

Approved Bonding Capacities:	Aggregate Limit	\$ <u>25,000,000.00</u>
	Single Project Limit	\$ <u>10,000,000.00</u>
	Total Current Contracts Bonded	\$ <u>3,606,690.00</u>

8. Name of Proposer's Bonding Agency Nielson, Wojtowicz, Neu & Associates

Address 1000 Central Avenue, Suite 200, St. Petersburg, FL 33705

Contact Name Margie Schulz Telephone 727-209-1803

Sandco, LLC

9. List the Proper's total annual dollar value of work completed for each of the last three (3) years starting with the latest year and ending with the most current year:
(1) 16,705,828.00, (2) 18,898,930.00, (3) 11,846,285.00.

10. What are the Proposers' company's current insurance limits?
- | | |
|----------------------|------------------------|
| General Liability | \$ <u>2,000,000.00</u> |
| Automobile Liability | \$ <u>1,000,000.00</u> |
| Workers Compensation | \$ <u>1,000,000.00</u> |
| Expiration Date | <u>4/1/2021</u> |

11. Has the Proposer company been cited by OSHA for any job site or company office/shop safety violations in the past two years? Yes ☐ No ☒

If yes, please describe each violation fine, and resolution N/A

What is the Proposer's current worker compensation rating? 1.0

Has the Proposer experienced any worker injuries resulting in a worker losing more than ten (10) working days as a result of the injury in the past two (2) years? Yes ☒ No ☐

If yes, please describe the incident: A truck driver tripped on a small pile of dirt on on the ground when exiting the truck and injured her left knee and an operator sprain his knee when he tripped on the change in soil conditions.

12. Please state whether or not your company or any of its affiliates are presently barred or suspended from bidding or contracting on any state, local, or federal-aid contracts in any state(s)? Yes ☐ No ☒

If so, state the name(s) of the company(ies) N/A

The state, local or federal entity(ies) with whom barred or suspended N/A

State the period(s) of debarment or suspension N/A

13. What is the construction experience of the proposed superintendent and project manager? What is their percentage availability for this project? If this project is anticipated to be their only focus during the project timeline, please write "100%."

INDIVIDUAL'S NAME	PRESENT POSITION OR OFFICE	MAGNITUDE AND TYPE OF WORK	YEARS OF CONSTRUCTION EXPERIENCE	YEARS WITH FIRM	IN WHAT CAPACITY?	PERCENTAGE AVAILABILITY FOR THIS PROJECT
Robert Myrick	Estimator & Project Mgr.	Underground Utility & Highway Construction	50	18	Estimator & Project Manager	100%
Michael Conner, PE	Project Manager	Underground Utilities & Heavy Highway Const.	13	8	Project Manager	100%
PF (Buddy) Watley	Superintendent	Heavy Highway Construction	44	16	Superintendent	100%

14. Have you ever failed to complete any work awarded to you? Yes ☐ No ☒
If so, where and why? N/A

-
15. Has any officer or partner of your organization ever been an officer, partner, or owner of some other organization that has failed to complete a construction contract?

Yes ☐ No ☒

If so, state name of individual, other organization and reason therefore N/A

-
16. List any and all litigation to which the organization has been a party in the last five (5) years.

N/A

-
17. Has organization or any of its affiliates ever been either disqualified or denied prequalification status by a governmental entity? Yes ☐ No ☒

If so, discuss the circumstances surrounding such denial or disqualification as well as the date thereof.

N/A

-
18. Within the past five (5) years, has organization failed to complete a project within the scheduled contract time? Yes ☐ No ☒

If so, discuss the circumstances surrounding such failure to complete a project on time as well as the date thereof.

N/A

-
19. List all projects currently under contract, with a remaining contract amount of over \$100,000.00 (excluding retainage) and with an expected remaining contract duration in excess of 120 days (to substantial completion).

See attached List.

Sandco, LLC

The undersigned hereby authorize(s) and request(s) any person, firm or corporation to furnish any pertinent information requested by the Canopy Community Development District or their authorized agents, deemed necessary to verify the statements made in this application or attachments hereto, or necessary to determine whether the Canopy Community Development District should qualify the Proposer for providing a Proposal for its construction projects, including such matters as the Proposer's ability, standing integrity, quality of performance, efficiency and general reputation.

Sandco, LLC

By: Behrad Shoy

Behrad Ghazvini
(Type Name and Title of Person Signing)

This 15th day of May, 2020.

(Corporate Seal)

Sworn to before me by means of ☒ physical presence or ☐ online notarization
this 15th day of May, 2020.



Constance B. Fletcher
Notary Public/ Expiration Date

Company Name Sandco, LLC Date May 15, 2020

Provide the following information for Officers of the Proposer and parent company, if any.

NAME OF PROPOSER	POSITION OR TITLE	CORPORATE RESPONSIBILITIES	INDIVIDUAL'S RESIDENCE CITY, STATE
Behzad Ghazvini	Manager	Provides operation leadership	Tallahassee, FL
Mehran Ghazvini	Manager	Provides administrative oversight	Tallahassee, FL
Jason Ghazvini	Manager	Coordinates work in the field & manages contracts	Tallahassee, FL
FOR PARENT COMPANY (if applicable)			

Steve Ghazvini – Manager



As Managing Member of Sandco, LLC, Steve provides operations leadership throughout the preconstruction and construction phases of each project. His experience spans a period of 36 years in the institutional, commercial, educational, and site development sectors of the construction industry. During this time he has successfully completed a number of schedule intensive projects. These projects ranged in size from under \$100,000 to over \$90,000,000. A number of these were completed within Leon County and the school system.

In the past 36 years, Steve has been involved in the construction of \$1 billion in projects in Northwest Florida. He has also served on the Board of the Northwest Florida Water Management District. While on the board, he served as the Chairman of the Regulation Committee.

Education

- Bachelor of Science
Chemical Engineering
Florida State University

Licenses / Certification

- Florida Certified General Contractor CGC 1519107
- Florida Certified U.G. Utility/Excavation Contractor, CUC 051682
- Florida Certified Building Contractor CBCA056905

Building Construction Experience

These projects include all aspects of building construction: mechanical, electrical, structural and plumbing as well as sitework & landscaping

- Capital Cascade Trail Park, Tallahassee, FL \$29 million
- DMS CCOC Parcel 2: \$100 million
- TCC Center for Health Education: \$24 million
- FSU Women's Softball Demo
- LCSB New Elementary School "L": \$24 million
- LCSB Brevard S.A.I.L Conversion: \$5 million
- LCSB Lincoln H. S. Renovations: \$26 million
- LCSB Rickards H. S. Renovations: \$5 million
- FSU Intramural Complex: \$11 million *

Bridges

- Madison/Lee Bridge, Madison County, FL
New bridge over railroad crossing
- SR-2 Bridge, Holmes County, FL
Construction of bridge approaches, embankment & Paving
- U.S. 90 Bridge, Washington County, FL
Construction of bridge approaches, embankment & Paving
- US 90/Mahan Bridge, Leon County, \$19.5 million

Sitework / Parks / Recreation

- The Centre of Tallahassee Mall, Tallahassee, FL \$4M
- TMH Remote Parking Lot Expansion, Tallahassee, FL \$2.5M

- Madison Pre K, Madison, FL
- Jack L McLean Jr. Park, Tallahassee, FL
- Carterhowell Strong Park, Tallahassee, FL
- Wal-Mart, Marianna, FL
- Williams Travel Center, Midway
- Lake Jackson II, Tallahassee
- FSU Sinkhole
- Southwood Bike/Pedestrian Trails & Town Center, Tallahassee, FL

Roadway Experience

These projects include Stormwater ponds, drainage structures, roadways, landscaping/hardscaping, irrigation, MOT, signing and pavement markings, erosion & sediment control.

- Gaines St. Corridor S1, Tallahassee, FL \$4M
- Blueprint 2000-E-2: \$18 million *
- Orange Avenue, Tallahassee: \$28,000,000 *
- Mission Road, Several Phases from Jackson Bluff – Fred George Rd, Tallahassee, FL \$25,423,546 *
- U.S. 90/Mahan, Tallahassee, FL \$19.5 million *
- Blair Stone Road, Tallahassee, FL *
- Miccosukee Rd., Tallahassee, FL *
- Southwood, Tallahassee, FL *
- Conner Boulevard, Tallahassee, FL *
- Meridian Road, Tallahassee
- Capital Circle & Woodville Highway, Leon County, FL
- Sutor Road, Tallahassee, FL *
- Forest Drive, Tallahassee, FL *
- Forsythe Subdivision, Tallahassee *
- The Glenn, Tallahassee, FL *
- Trace Landing, Tallahassee, FL *
- Goose Creek Development, Tallahassee, FL *
- Weems & Weems Plantation, Tallahassee, FL *
- Ox Bottom Planned Unit Development, Tallahassee, FL *
- The Canopy Planned Unit Development, Tallahassee, FL *

Highway Construction/Improvements

- CR-284, Washington County, FL
- Highway 77, Washington County, FL
- Highway 2, Jackson County
- SR-20/US 27, Tallahassee, FL
- I-10 Resurface, Washington County, FL
- SR-2, Holmes County, FL
- U.S. Highway 98, Franklin County, FL

*Indicate projects with major stormwater management features, utility & drainage structure installation



Mehran 'Pete' Ghazvini – Vice President



For over 36 years, Pete has worked in the construction and real estate field, providing management and administrative oversight and cost estimation. He has served as an active partner in a variety of development projects, including commercial shopping centers, apartment complexes, and residential subdivisions.

Employment History

- 1987 – Present:
Vice President, Sandco, Inc.
- 1992 – Present:
Treasurer, Premier Construction & Development
- 1980 – Present:
Partner in various development projects

Education/Certification

- Life University, Atlanta, GA
- Florida State University, Tallahassee, FL
- Thomasville Community College, Thomasville, GA
- New York State University

Commercial Development

- Ausley Corners, Tallahassee
- Broadway on N. Monroe, Tallahassee
- Foster Motor Company, Tallahassee
- Gazbury Square, Tallahassee
- Mahan Square, Tallahassee
- Maine Street Plaza, Tallahassee
- Pensacola Plaza, Tallahassee
- Remington Green, Tallahassee
- TCBY, W. Tennessee St, Tallahassee
- Vinyl Fever, Tallahassee

Municipal Roadway Expansion

- Blairstone Road, Tallahassee
- Capital Circle, Tallahassee
- Forest Drive, Tallahassee
- Greenan to Tharpe, Tallahassee
- I-10 Resurfacing
- Meridan Road, Tallahassee
- Orange Avenue, Tallahassee
- SR-20/US27, Tallahassee
- Tharpe to Pecan, Tallahassee
- Washington County

Site Preparation

- Chiles High School, Tallahassee
- Lake Jackson II, Tallahassee
- Madison Pre K School, Madison
- WalMart Super Center, Marianna
- Williams Travel Center, Midway

Tallahassee Subdivision Development

- Briarchase Subdivision
- Brighton Place Subdivision
- Buckhead Subdivision
- Bull Run Subdivision
- Cameron Chase Subdivision
- Cascade Falls, Havana FL
- Crescent Hills Subdivision
- Dry Creek Run Subdivision
- Forsythe Subdivision
- Garden of Weems Subdivision
- Golden Pheasant Subdivision
- Goose Creek Development
- Jordan's Pass Subdivision
- Laurel Trace Subdivision
- Orion's Point Subdivision, Midway FL
- Park Charleston IV Subdivision
- Piney Z Subdivision
- Sabal Chase
- Stoney Creek Crossing Subdivision
- Summer Lake Subdivision
- Weems Plantation Subdivision
- Wilson Green Subdivision
- Woodbriar Subdivision
- The Enclave Subdivision
- The Glenn Subdivision
- Trace Landing Subdivision
- Ox Bottom Planned Unit Development
- The Canopy Planned Unit Development

Leadership Team



JASON GHAZVINI



Joining the full-time staff in 2007, Jason Ghazvini has become one of the newest shining stars of the company. As a graduate of Florida State University with a major in finance and a minor in real estate, Jason has spent the years since graduation in the trenches of production with his family business. He coordinates work in the field, manages contracts, liaisons with financial institutions as well as working as Project Engineer, producing the project schedules, cost analyses, and budget management. Jason has experience in commercial construction as well as site development and land use management.

Education:

- Bachelor of Arts, Business Finance/
Real Estate, Florida State University

Financial Management

- Cost Control
- Budget Analysis

Project Experience

Commercial – Retail Development:

- Mahan Square, Tallahassee, FL
- Ghazbury Square, Tallahassee, FL
- Pensacola Plaza, Tallahassee, FL
- Maine Street Plaza, Tallahassee, FL
- TCBY, W. Tennessee St., Tallahassee, FL
- Remington Green, Tallahassee, FL
- Capital Circle Plaza, Tallahassee, FL
- Gallops Karate School, Tallahassee, FL

Residential Subdivision Development

- Brighton Place Subdivision, Tallahassee, FL
- Buckhead Subdivision, Tallahassee, FL
- Bull Run Subdivision, Tallahassee, FL
- Cascade Falls, Havana, FL
- Crescent Hills Subdivision, Tallahassee, FL
- Dry Creek Run Subdivision, Tallahassee, FL
- Jordan's Pass Subdivision, Tallahassee, FL
- Orion's Point Subdivision, Tallahassee, FL

- Summer Lake Subdivision
Tallahassee, FL
- River's Landing Subdivision,
Tallahassee, FL
- Sagebrook Mills Subdivision,
Tallahassee, FL
- Woodbriar Subdivision,
Tallahassee, FL
- Palafox Preserve Subdivision,
Tallahassee, FL
- Velda Oaks Subdivision,
Tallahassee, FL
- Cortona Hills Subdivision,
Tallahassee, FL
- Ox Bottom Planned Unit Development
Tallahassee, FL
- The Canopy Planned Unit
Development, Tallahassee, FL



Company Name Sandco, LLC

What is the experience of the key management

1000 JOURNAL OF CLIMATE

[illegible]

Justin Hosey, P.E. – Assistant Manager



Mr. Hosey joined Sandco in January 2020 and brings over 16 years of experience with the design and construction inspection management of municipal and private development projects that include roadway, sidewalk, stormwater collection and treatment, grading/sitework, water distribution, sewer collection, pump stations, force mains, and low pressure systems. He will assist Steve Ghazvini in the management of Sandco with his strong civil engineering background combined with excellent organization and communication skills.

Education

- Bachelor of Science
Civil Engineering
Florida State University

Licenses / Certification

- Florida Licensed Professional Engineer, PE 69823

Experience

Manager – Water & Sewer Development Review & Inspection, City of Tallahassee - 6 Years

Manager in charge of reviewing and inspecting new developments and capital projects for water, sewer, sidewalks, roadways, and stormwater compliance with City of Tallahassee standards and sound engineering practice. Supervised three professional engineers, an engineering technician, and twelve construction inspectors. Major capital improvement projects include:

- Lower Central Drainage Ditch, \$8.7 Million
- Well No. 32, \$2.3 Million
- Southeast Gravity Sewer & Sembler Pump Station, \$2.7 Million
- Weems Road Extension, \$6.1 Million
- Weems Road PASS Phase II, \$8.3 Million
- Centerville Rd Force Main Replacement, \$1 Million
- Pensacola Street Outfall, \$2.1 Million
- Georgia, Carolina & Meridian Water & Sewer, \$1 Million
- Lake Bradford Road WWTP Demo, \$1.2 Million
- North Monroe Utility Improvements, \$4.5 Million
- SE Farm Effluent Holding Pond Liner Replacement, \$1 Million

Project Manager, Hatch Mott MacDonald - 10 Years
Project Manager in charge of design, permitting, and construction inspection of municipal and private development projects.

- Blair Stone Road Force Main, Tallahassee, FL
- Tallahassee Master Sewer Plan, Tallahassee, FL
- Lorene Street Extension, Tallahassee, FL
- Well No. 28, Tallahassee, FL
- Hwy 90 West Wastewater, Tallahassee, FL
- DMS CCOC Phase 2, Tallahassee, FL
- Fort Walton Beach Stormwater Master Plan, Fort Walton Beach, FL
- Cross City CI Work Camp, Cross City, FL
- Steinhatchee Low Pressure Sewer, Steinhatchee, FL
- Advent Christian Village, Live Oak, FL
- Baker CI Work Camp, Sanderson, FL
- Mayo CI Annex, Mayo, FL



RICK SCOTT, GOVERNOR



JONATHAN ZACHEM, SECRETARY



STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

BOARD OF PROFESSIONAL ENGINEERS

THE PROFESSIONAL ENGINEER HEREIN IS LICENSED UNDER THE
PROVISIONS OF CHAPTER 471, FLORIDA STATUTES

HOSEY, JUSTIN D

3242 PABLO CREEK WAY
TALLAHASSEE FL 32312

LICENSE NUMBER: PE69823

EXPIRATION DATE: FEBRUARY 28, 2021

Always verify licenses online at MyFloridaLicense.com



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P.O. Box 3397 Englewood, CO 80155

1-877-97-TRAIN



Justin Hosey
City of Tallahassee
300 S. Adam St.
B-26

Student ID

900018006

Certificate Number

ATMT0714GN15 - 1044278

Certificate Date

5/19/2017

Dear Justin

Thank you for testing with TPC Trainco. You have **PASSED** the ATMT exam you recently took with us. You correctly answered **47** questions out of **50**, earning a total score of **94%**. A passing score on an ATMT exam is 70%.

If you passed the exam, you will find a certificate included. This can be used to prove your proficiency in the topic covered. If you did not pass and would like to retake the exam, please contact the Testing Department at 1-877-97-TRAIN or testing@tpctrainco.com to purchase a retake.

We look forward to helping you with your future testing needs.

ATMT Generators & Emergency Power

Test Version: **ATMT0714GN15**

Test Date: **5/12/2017**

Test Location: **S6980**

Proctor: **NAOL**

Correct out of 50: **47**

Test Score: **94%**

TPC TRAINCO

Real World Training...for Real World Needs

Justin Hosey has achieved ATMT certification in **Generators & Emergency Power**

Sponsor Organization: TPC Trainco

Date Issued: May 19, 2017

Certificate #: ATMT0714GN15 - 1044278



For any given certification topic, students and test-takers at TPC Trainco will receive one to five stars on their certificate of documentation:

- ★ Passed a Non-proctored ATMT® Certification Test only
- ★★ Passed a Proctored ATMT® Certification Test only
- ★★★ Completed Training only
- ★★★★ Completed Training and Passed a Non-proctored ATMT® Certification Test
- ★★★★★ Completed Training and Passed a Proctored ATMT® Certification Test

Dennis Walker

Dennis Walker
Executive Vice President
TPC Trainco



1-877-978-7246 or www.TPCTrainco.com

TPC TRAINCO

Real World Training....for Real World Needs

Justin Hosey

has completed 16 Professional Development Hours through TPC Trainco in

Generators & Emergency Power

May 3-4, 2017 - Tallahassee, FL

FBPE Provider # 0007284

FBPE Course # 0010379



For any given certification topic, students and test-takers at TPC Trainco will receive one to five stars on their certificate of documentation:

- ★ Passed a Non-proctored ATMT® Certification Test only
- ★★ Passed a Proctored ATMT® Certification Test only
- ★★★ Completed Training only
- ★★★★ Completed Training and Passed a Non-proctored ATMT® Certification Test
- ★★★★★ Completed Training and Passed a Proctored ATMT® Certification Test

Dennis Walker

Dennis Walker
Executive Vice President
TPC Trainco



1-877-978-7246 or www.TPCTrainco.com



Center for Training, Research and Education for Environmental Occupations

Justin Hosey

attended

Water Distribution System Pipes & Valves

November 05, 2018

and is awarded this

Certificate of Completion

TREEO FDEP OCP 04191026: CEUs 0.5 DW WW DS

Date Issued: **11/05/2018**

CEU: **.5**

A handwritten signature in cursive script that reads 'Carol Hinton'.

Carol Hinton, Associate Director

University of Florida TREEO Center • 3900 SW 63 Boulevard • Gainesville, FL 32608-3800 • 352-392-9570 • www.treeo.ufl.edu

PROFESSIONAL TRAINING
CERTIFICATE

THIS CERTIFIES THAT

Justin Hosey

Has participated and completed a professional seminar on

**Pressure Pipe Technologies
For Rehab and New Construction**

Participant has earned 1.5 PDH for completion

Dated this 23rd day of August, 2017



Chad Andrews, EIT
Regional Sales Manager
Underground Solutions, Inc.



Bob Walker, PE
VP Technical Development and Standards
Underground Solutions, Inc.





Certificate of Completion

This certifies that

Justin Hosey, P.E.

has successfully completed 10 Professional Development Hours attending

Earthwork Construction Inspector Level 1 Class

Course ID Number
0009270

April 12, 2019
Course Completion Date

69823
Florida Professional Engineer Number
10 PDH-1 CEU

Al Sevech
Certified Instructor of Course

0006024
PDH Provider Number

A&SW Consultants, Inc.
Training Provider

557
PDH License Number

5545 Benchmark Lane, Sanford, Florida 32773 ♦ (386) 788-9899 ♦ www.ASWConsultants.com



Center for Training, Research and Education for Environmental Occupations

Justin Hosey

attended

Introduction to Lift Station Maintenance

November 06, 2018

and is awarded this

Certificate of Completion

Date issued: 11/06/2018

CEUs: 0.8

TREEO FDEP OCP #04191013: CEUs 0.8 WW DS

FBPE Provider #0004021 8.0 CEHs

Carol Hinton

Carol Hinton, Associate Director

University of Florida TREEO Center • 3900 SW 63 Boulevard • Gainesville, FL 32608-3800 • 352-392-9570 • www.treeo.ufl.edu

CHARLES FIELD – Sr. Project Manager



Mr. Field is a Tallahassee native with over 48 years of construction experience. He came to Sandco in 2005 with over 20 years of experience as the Chief of Construction Management for Leon County, making him very familiar with all municipal and governmental policies and procedures, including permitting procedures. He maintains a strong field presence, coordinating field, administrative and subcontractor activities to ensure schedule adherence, quality control and the safety of project personnel and the public.

Mr. Field has extensive Municipal/County Experience in field operations, subcontractor management, schedule management and safety and quality control.

Education

- Bachelor of Arts
Physical Geography/Geology
Florida State University
- **Certification:**
FDOT CTOP QC Manager
Advanced Maintenance of Traffic Certification

Professional Experience

- **Capital Cascade Trail Park**, Tallahassee, FL
Blueprint 2000
Excavation & sitework, Stormwater, hardscape, landscape
- **Capital Circle SW**, Tallahassee, FL
Blueprint 2000
Four lane road, Stormwater, walkways
- **Orange Avenue**, Tallahassee, FL
Leon County
Four lane road, with major box culvert construction
- **Mission Road**, Tallahassee, FL
City of Tallahassee
Major roadway widening project
- **U.S. Highway 98**, Walton County, FL
Florida Department of Transportation
Four lane ten miles of U.S. highway
- **Southwood**, Tallahassee, FL
Capital Region Development
Construction of boulevards & subdivision roads
- **Highway 77**, Washington County., FL
Florida Department of Transportation
Widening & resurfacing of state road
- **SR-200**, Marion County, FL
Florida Department of Transportation
Four lane six miles of state highway
- **Capital Circle N.E.**, Tallahassee, FL
Florida Department of Transportation
Four lane two miles of state highway
- **I-10 Resurface**, Washington County, FL
Florida Department of Transportation
Resurfacing interstate highway
- **U.S. Highway 319**, Leon County, FL
Florida Department of Transportation
Four lane six miles of U.S. highway
- **U.S. Highway 98**, Franklin County, FL
Florida Department of Transportation
Widening & resurfacing of a U.S. highway
- **Marianna Wal-Mart**, Mariana, FL
Case Contracting
Site preparation & construction of streets
- **Orion's Point**, Midway, FL
G & A Lloyd, LLC
Five miles of new road construction
- **Sutor Road**, Tallahassee, FL
City of Tallahassee
Reconstruction & safety improvements
- **SR-100**, Putnam County, FL
Florida Department of Transportation
Widening & resurfacing of state road
- **Conner Boulevard**, Tallahassee, FL
City of Tallahassee
New construction, widening & lane additions
- **Welaunee Boulevard**, Tallahassee, FL
City of Tallahassee
New construction of four lane road
- **County Wide Resurfacing**, Leon County, FL
Annual contract with county

Leadership Team



Robert Myrick – Project Engineer/Estimator



Mr. Myrick has 50 years of experience in all aspects of construction and project management, including extensive experience in utility, site work and roadway construction. He has worked as a project manager and estimator for over 20 years and coordinates all Sandco project bids. He is well versed in early problem identification and resolution and is an expert at trouble shooting. He is an important information resource for project personnel and works closely with owners to resolve any issues and identify areas of cost savings.

Employment History

- 2001 – Present , Project Engineer, Sandco, FL
- 1999 – 2001, Estimator, White Construction
- 1998 – Superintendent, Bellevue Underground, Inc.
- 1996 – 1997, Project Manager, Able Construction
- 1995 – 1996, General Superintendent , Clark Sand Co.
- 1988 – 1995, Owner, Myrick Construction
- 1984 – 1988, Field Superintendent, RDM Construction
- 1978 – 1984, Project Manager, BA Myrick & Sons
- 1976 – 1978, Wastewater Superintendent, City of Gainesville

Education

- Attended University of Florida

Professional Experience

- **Capital Cascade Trail Park**, Tallahassee, FL
Blueprint 2000
Excavation & sitework, Stormwater, hardscape, landscape
- **Capital Circle SW**, Tallahassee, FL
Blueprint 2000
Four lane road, Stormwater, walkways
- **Orange Avenue**, Tallahassee, FL
Leon County
Four lane road, with major box culvert construction
- **Mission Road**, Tallahassee, FL
City of Tallahassee
Major roadway widening project
- **Beard Street Drainage**, Tallahassee, FL
- **Gaines Street Corridor Reconstruction**
Tallahassee, FL
- **Mahan Drive SR10 US90**
Tallahassee, FL
- **Southwood**, Tallahassee, FL
Capital Region Development
Construction of boulevards & subdivision roads
- **Killearn Lakes Drainage**, Tallahassee, FL
- **The Centre of Tallahassee**,
Redevelopment of Shopping Center/Mall
Tallahassee, FL
- **Magnolia Grove Retail Center**
Tallahassee, FL

- **SR-200**, Marion County, FL
Florida Department of Transportation
Four lane six miles of state highway
- **Capital Circle N.E.**, Tallahassee, FL
Florida Department of Transportation
Four lane two miles of state highway
- **I-10 Resurface**, Washington County, FL
Florida Department of Transportation
Resurfacing interstate highway
- **U.S. Highway 319**, Leon County, FL
Florida Department of Transportation
Four lane six miles of U.S. highway
- **U.S. Highway 98**, Franklin County, FL
Florida Department of Transportation
Widening & resurfacing of a U.S. highway
- **Marianna Wal-Mart**, Mariana, FL
Case Contracting
Site preparation & construction of streets
- **Orion's Point**, Midway, FL
G & A Lloyd, LLC
Five miles of new road construction
- **Sutor Road**, Tallahassee, FL
City of Tallahassee
Reconstruction & safety improvements
- **SR-100**, Putnam County, FL
Florida Department of Transportation
Widening & resurfacing of state road
- **Conner Boulevard**, Tallahassee, FL
City of Tallahassee
New construction, widening & lane additions
- **Welaunee Boulevard**, Tallahassee, FL
City of Tallahassee
New construction of four lane road
- **Ox Bottom Planned Unit Development**,
Tallahassee, FL
- **The Canopy Planned Unit Development**
Tallahassee, FL
- **County Wide Resurfacing**, Leon County, FL
Annual contract with Leon County

Leadership Team



MICHAEL CONNER, P. E.



Mr. Conner has 19 years of experience in a variety of construction projects including highway heavy construction, stormwater management facilities, sewer treatment plants, municipal sidewalk & roadway reconstruction, sitework and recreation facilities. He is Sandco's direct liaison between project owners and Sandco construction supervisors, and is responsible for contract management, project scheduling, cost control and phasing and quality control. Mr. Conner is highly organized and is always focused on ways to improve communication and facilitate project efficiency.

Education & Training

Bachelor of Science – Civil Engineering
Florida State University

Certification:

FDOT Specification Package Preparation Training
FDEP Qualified Stormwater Management Inspector
FDOT CTQP QC Manager
Construction Site Safety (NCCER)

- **The Centre of Tallahassee**, Tallahassee, FL \$4M
- **Magnolia Grove Retail Center**, Tallahassee, FL \$1.5M
- **Osteen Road Widening/Resurfacing**, Perry, FL \$1.3M
- **TMH Remote Parking Lot Extension – Phase I**, Tallahassee, FL \$2.6M
- **Capital Cascade Trail Park**, Tallahassee, FL Blueprint 2000 \$29M
- **Leon County School Board Transportation Facility**, Tallahassee, FL \$971,000
- **SR10 (US90) Mahan Drive** Excavation & Sitework, Stormwater, hardscape & landscape Tallahassee, FL \$28.3M
- **Governor's Charter School, Ryan Companies US** Tallahassee, FL \$1.7M
- **TP Smith Water Reclamation Facility Improvements**, Tallahassee, FL \$7.5M
- **Capital Circle Southeast from west of Woodville Highway to South of Tram Road** Tallahassee, FL \$19.3M
- **Lake Munson Dam Rehabilitation Project** Tallahassee, FL \$2M
- **Killearn Lakes Drainage Improvements** Tallahassee, FL \$1.7M
- **Ox Bottom Road Phase I** Tallahassee, FL \$2.5
- **Southwood Unit 32, Phase I** Tallahassee, FL \$1.4M
- **Beard Street Drainage** Tallahassee, FL \$1.03M
- **Fleischman Connector**, Tallahassee, FL \$619,185
- **Red Hills Village**, Tallahassee, FL 1.35M
- **Westminster Oaks Parking Garage** Tallahassee, FL \$1.1M
- **COT Transmission Line 55**, Tallahassee, FL \$1.3M
- **Nopetro CNG Refueling Station** Tallahassee, FL \$367,428
- **Renaissance Charger Pump Station** Tallahassee, FL \$543,703
- **Woodland Place**, Tallahassee, FL \$1.3M



Licensee Details

Licensee Information

Name: **CONNER, MICHAEL DAVID (Primary Name)**
Main Address: **1621 SHADOWMOSS AVE
TALLAHASSEE Florida 32308**
County: **LEON**

License Mailing: **1621 SHADOWMOSS AVE
TALLAHASSEE FL 32308**
County: **LEON**

LicenseLocation:

License Information

License Type: **Professional Engineer**
Rank: **Prof Engineer**
License Number: **76204**
Status: **Current,Active**
Licensure Date: **05/26/2013**
Expires: **02/28/2021**

Special Qualifications **Qualification Effective**
Civil **02/18/2013**

Alternate Names

[View Related License Information](#)

[View License Complaint](#)

2601 Blair Stone Road, Tallahassee FL 32399 :: Email: [Customer Contact Center](#) :: Customer Contact Center: 850.487.1395

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Under Florida law, email addresses are public records. If you do not want your email address released in response to a public-records request, do not send electronic mail to this entity. Instead, contact the office by phone or by traditional mail. If you have any questions, please contact 850.487.1395. *Pursuant to Section 455.275(1), Florida Statutes, effective October 1, 2012, licensees licensed under Chapter 455, F.S. must provide the Department with an email address if they have one. The emails provided may be used for official communication with the licensee. However email addresses are public record. If you do not wish to supply a personal address, please provide the Department with an email address which can be made available to the public.



Florida Department of Transportation's
Construction Training Qualification Program

Certification of Qualification

Michael Conner

Has completed the requirements for:

QC Manager

Expiration Date: Does Not Expire*

CTQIP
Construction
Training Qualification Program
www.ctqpflorida.com

Melissa Wildermuth
Melissa Wildermuth
CTQP Program Administrator

*Continued Qualification is subject to FDOT procedure 700-000-01.

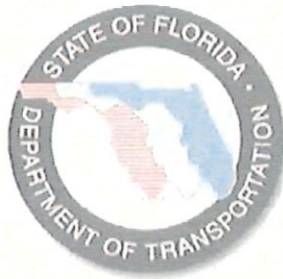
Certificate of Qualification

Michael Conner

Has completed the requirements for:

Earthwork Construction Inspection - Level 1

Expiration Date: May 10, 2018*



Florida Department of Transportation's
Construction Training Qualification Program

CTQP

www.ctqpflorida.com

Melissa Wildermuth

Melissa Wildermuth
CTQP Program Administrator

*Continued Qualification is subject to FDOT procedure 700-000-01.

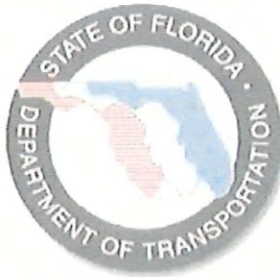
Certificate of Qualification

Michael Conner

Has completed the requirements for:

Earthwork Construction Inspection - Level 2

Expiration Date: May 10, 2018*



Florida Department of Transportation's
Construction Training Qualification Program

CTQP
www.ctqpflorida.com

Melissa Wildermuth
Melissa Wildermuth
CTQP Program Administrator

*Continued Qualification is subject to FDOT procedure 700-000-01.

APNGA
Portable Nuclear Gauge Safety Certification Class

Certificate of Completion to:

Michael Conner

Hazmat refresher training is required within 3 years after today's date: Sunday, May 05, 2013

Course covers training criteria of NUREG 1556, The Agreement States, and 49 CFR 172, Subpart H. (Includes IATA Requirements)
The Company RSO completes the training requirements by familiarizing the employee with:

- State specific regulations including introduction to the state regulatory website
- The company radiation safety program, specifically gauge safety operating and emergency procedures
- A tour of storage area with emphasis on security, documents and postings
- Loading, security, and transporting gauges in company vehicles
- The safety and operating features of the gauge(s) in use by the company
- Introduction to gauge safety content on gauge manufacturer website
- The RSO must also monitor the employee completing and passing a closed book test of this class material

The RSO signature certifies that the trainee has received the above training requirements.

Sandco, Inc
Company Name

Signature of RSO


Director of APNGA

American Portable Nuclear Gauge Association (APNGA)
www.apnga.com

George E. Marshall
APNGA Director



Department of Environmental Protection

2600 Blair Stone Road, M.S. 3570
Tallahassee, Florida 32399-2400

March 18, 2013

Congratulations on successfully completing the Florida Stormwater Erosion and Sedimentation Control Inspector Training Program. I greatly appreciate your participation in and successful completion of this course. I hope that it has helped you to better understand Florida's stormwater problems and the importance of proper design, construction, and maintenance of erosion and sediment controls during construction, in order to assure the proper long-term operation and maintenance of stormwater systems after construction is completed.

Attached you will find your numbered certificate and wallet card. Please let me know if there are any errors in the certificate or card, or in the grading of your exam. If I can be of further assistance, please do not hesitate to contact me at 850/245-8294 or via email: halton.lunsford@dep.state.fl.us

Michael Conner
Sandco, Inc.
4708 Capital Circle NW
Tallahassee, FL 32303

DEPARTMENT OF
ENVIRONMENTAL PROTECTION
STORMWATER EROSION AND SEDIMENTATION CONTROL
INSPECTOR TRAINING PROGRAM

Michael Conner

Class Date
February 12, 2013

Inspector Number
28268

QUALIFIED STORMWATER MANAGEMENT INSPECTOR

QUALIFIED STORMWATER MANAGEMENT INSPECTOR

The undersigned hereby acknowledges that

Michael Conner

has successfully met all requirements necessary to be fully qualified through the Florida Department of Environmental Protection Stormwater Erosion and Sedimentation Control Inspector Training Program

February 12, 2013


Hal Lunsford

Inspector Number 28268 
Lee Marchman, P.E.



CONSTRUCTION SCIENCE, LLC

Certificate of Completion

is hereby granted to

Mike Conner

to certify that the above has satisfactorily completed the following training:

PRIMAVERA P6 "QUICK START"

Awarded: May 20, 2013

William T. Pepoon, Managing Partner

ORACLE
PARTNERNETWORK

O.F. (Buddy) Watley, Jr. – Superintendent



With over 44 years of hands-on field experience, Buddy has been a supervisor for many local roadway projects including I-10, Thomasville Road, and Hwy. 27. He is known for his organized approach to road construction and his keen ability to facilitate communication with project engineers and owner representatives. Buddy directly supervises all field personnel to run the project in a timely and effective manner.

Employment History

- 2003 – Present, Superintendent, Sandco, Inc.
- 1990 – 2003, Superintendent, White Construction
- 1985 – 1990, Superintendent, C & W Systems
- 1980 – 1985, Heavy Equipment Operator, Ross Construction
- 1975 – 1980, Equipment Operator, Brown & Root

Education/Certifications

- Qualified Stormwater Management Inspector

Professional Experience

- **Southwood**, Tallahassee, FL
Capital Region Development
Construction of boulevards and subdivision roads
- **U.S. 319**, Leon County, FL
Florida Department of Transportation
Reconstruct, lane addition
- **U.S. 98**, Walton County, FL
Florida Department of Transportation
Reconstruct, lane addition
- **State Road 59**, Jefferson County, FL
Florida Department of Transportation
Widening, shoulder work, resurfacing
- **Capital Circle N.E.**, Tallahassee, FL
Florida Department of Transportation
Reconstruct, lane addition
- **I-10 Resurfacing**, Leon County, FL
Florida Department of Transportation
Milling & resurfacing
- **Welaunee Boulevard**, Tallahassee, FL
City of Tallahassee
New construction of four lane road
- **1-75 Project**, 56 Miles in Various Counties in Florida
Florida Department of Transportation
Milling, resurfacing, addition of new lanes
- **SR- 331**, Walton County, FL
Florida Department of Transportation
Milling, widening, resurfacing, 19 miles

- **Magnolia/Apalachee Parkway**, Tallahassee, FL
Florida Department of Transportation
Add turn lanes, milling & resurfacing
- **Capital Circle S.W.**, Tallahassee, FL
Florida Department of Transportation
Widening & resurfacing
- **U.S. 90**, Leon County, FL
Florida Department of Transportation
Widening & resurfacing
- **U.S. 231**, Jackson County, FL
Florida Department of Transportation
Reconstruct, lane addition
- **U.S. 90**, Crestview, FL
Florida Department of Transportation
Widening, resurfacing & shoulder work, 15 miles
- **U.S. 79**, Bonifay, FL
Florida Department of Transportation
Widening & resurfacing
- **SR 145**, Pinetta, FL
Florida Department of Transportation
Widening, resurfacing & shoulder work
- **Dry Creek**, Tallahassee, FL
Dry Creek Run, LLC
New construction of subdivision roads
- **County Wide Resurfacing**, Leon County, FL
Annual contract with Leon County
- **U.S. 231**, Jackson County, FL
Florida Department of Transportation
Milling, resurfacing, widening & shoulder work
- **The Centre of Tallahassee**
Tallahassee, FL
- **Mahan Drive SR10 US90**
Tallahassee, FL
- **Osteen Road Widening/Resurfacing**
Tallahassee, FL
- **City of Live Oak Holding Pond**
Tallahassee, FL
- **The Centre of Tallahassee**
Tallahassee, FL
- **The TMH Parking Lot Phase I**
Tallahassee, FL
- **COT Transmission Line 55**
Tallahassee, FL

CHRIS WATLEY – CONSTRUCTION SUPERVISOR



Chris Watley was raised in the construction industry and has spent most of his adult life working in nearly every construction position from laborer to supervisor. He has been a Supervisor for Sandco to provide direction and oversight to major construction projects including subdivision site work, clearing and excavation, paving, highway resurfacing and construction. Administrative work includes hiring and firing, new employee orientation, scheduling, purchasing and budget management.

Certifications:

- FDEP Qualified Stormwater Management Inspector
- Advanced Maintenance of Traffic Certification
- Hazardous Materials Certification

Project Supervision & Oversight

- Schedule Control
- Quality Control
- Safety Management

Project Experience

- **Capital Cascade Trail Park**, Tallahassee, FL
Blueprint 2000
Excavation & sitework, Stormwater, hardscape, landscape
- **Capital Circle SE**, Tallahassee, FL
Blueprint 2000
Four lane road, Stormwater, walkways
- **Orange Avenue**, Tallahassee, FL
Leon County
Four lane road, with major box culvert construction
- **Southwood Unit 35**, Tallahassee, FL
Capital Region Development
Construction of boulevards & subdivision road
- **Mahan Dr./US 90**, Tallahassee, FL
FL Dept. of Transportation
- **Governor's Charter School**, Tallahassee, FL; Ryan Companies US, Inc.
- **Renaissance Charter Pump Station**, Tallahassee, FL; Ryan Companies US,
- **Southwood Blairstone & Four Oaks**, Tallahassee, FL, Capital Region Dev. Dist.
- **Gaines Street Corridor S1**, Tallahassee, FL
- **NFCC Driving Course/Firing Range**, Madison, FL; North FL Community College
- **NFCC Science Building Sitework**, Madison, FL; North FL Community College
- **US 27 & Magnolia Intersection**, FL Dept. of Transportation, Tallahassee, FL
- **Dry Creek Run Subdivision** Infrastructure, Tallahassee, FL
- **Magnolia Grove Retail Center** Magnolia & Park Avenue Tallahassee, FL
- **Lafayette Street Sidewalk & Roadway** Improvements Tallahassee, FL
- **Ox Bottom Phase 6** Tallahassee, FL
- **Infrastructure for New Canopy** Subdivision Tallahassee, FL

Leadership Team



**CANOPY COMMUNITY DEVELOPMENT DISTRICT
CONSTRUCTION SERVICES
FOR
WELAUNEE BLVD. SEGMENT 3A AND SEGMENT 2 TURN LANES**

TAB 2

Organization Information, Continued

- ♦ Company Owned Major Equipment
- ♦ Status of Contracts on Hand
- ♦ Projects Completed by Proposer in the Last Two Years
- ♦ List of Proposed Subcontractors and
Major Material Suppliers
- ♦ Subcontractor Resumes
- ♦ Minority Utilization Summary with Certifications

Company Name Sandco, LLC Date May 15, 2020

[illegible]

SANDCO AVAILABLE EQUIPMENT

All Equipment is located in Tallahassee, Florida

Equipment	Description	Equipment	Description
10-0746	06 JD MODEL 624J LOADER	50-7104	2002 WAMO Trailer
10-1318	2003 JD LOADER 624J	50-7769	2006 WARREN STEEL DUMP TRAILER
10-1334	2003 JD LOADER 624J	50-7770	2006 WARREN STEEL DUMP TRAILER
10-1442	1997 JOHN DEERE 624G LOADER	50-9125	2017 Wallace Low Boy Trailer
10-3313	2004 JD 624J LOADER	50-9159	2008 Miller Built Trailer
10-3681	2004 624J WHEEL LOADER	55-1246	2000 MACK TRUCK TRACTOR
10-3739	1995 JOHN DEERE 644G	55-2034	New Holland 720 Mower
10-3783	2012 JD 624K Loader	55-2247	2013 International Tractor
10-6478	John Deere 624J Wheel Loader	55-2269	2013 International Tractor
10-6479	John Deere 624J Wheel Loader	55-2271	1996 MACK TRACTOR TRAILER
15-0554	CAT D3G DOZIER	55-4015	2013 International Tractor
15-1416	2013 JD 700K Crawler Tractor	55-4118	2001 MACK TRUCK TRACTOR
15-1494	CAT TRACTOR (BULLDOZIER)	55-4161	2000 MACK TRUCK TRACTOR
15-1694	Cat D6K2 LGP C Frame Dozier	55-4439	1999 Mack Truck Tractor
15-2425	2005 JD 700J LGP DOZER	55-4675	2005 Ford 8500
15-2431	2005 700J LGP DOZER	55-5642	2006 Peterbilt 378 Tractor
15-5169	JD Crawler Dozer w/cab	55-6494	2005 Peterbilt Tractor
15-5248	2003 JD 700H DOZIER	55-8029	1997 MACK TRASH TRUCK
15-8956	2004 JD 700H LGP DOZER	55-8445	2007 Mac Tractor
15-9762	2006 JD 700J LGP DOZER	55-8578	2000 MACK TRUCK TRACTOR
15-9836	06 JD 700J LGP DOZER w/warrant	55-9837	2000 MACK TRUCK TRACTOR
20-0105	2012 Cat Motor Grader	60-1419	2006 MACK CT713 DUMP TRUCK
20-0336	2004 12H CAT GRADER	60-1421	2007 MACK CT713 DUMP TRUCK
20-1025	2012 Cat 140M2 Grader	60-6594	2000 Mack DM690S/Hydro Seeder
20-5594	JD 672D GRADER W/14' MOLDBOARD	60-6618	2005 MACK DUMP TRUCK
25-0103	2014 JD 350GLC	60-6619	2005 MACK DUMP TRUCK
25-0175	2012 Volvo EC340DL Excavator	60-6620	2005 MACK DUMP TRUCK
25-1056	JD 80C MINI EXCAVATOR	60-6621	2005 MACK DUMP TRUCK
25-1111	307C Hydraulic Excavator	60-6622	2005 MACK DUMP TRUCK
25-1646	2012 Cat 336EL Hyd. Excavator	60-6623	2005 MACK DUMP TRUCK
25-2124	2012 Komatsu Hyd. Exc.	60-8691	2005 MACK DUMP TRUCK
25-2509	2003 JD 330CLC EXCAVATOR	60-8692	2005 MACK DUMP TRUCK
25-2603	2003 JD 330CLC EXCAVATOR	60-8693	2005 WHITE MACK DUMP
25-2799	2013 Komatsu Excavator	65-1158	99 FORD STERLING WATER TANKER
25-2804	2011 JD 200D Hyd. Excavator	65-1377	2007 Mack Rolloff
25-2982	2004 330 JD EXCAVATOR	65-1882	1993 Mack DMM 6906 Water Truck
25-5078	06 JD MODEL 350D LC EXCAVATOR	65-1883	1993 MACK DMM6906 WATER TRK
25-5079	06 JD MODEL 350D LC EXCAVATOR	65-2370	1998 Mack Truck CH612
25-5174	JD 350 EXCAVATOR W/54" BUCKET	65-2447	1993 Whgm Rolloff
25-5175	JD 350D EXCAVATOR W/54" BUCKET	65-2633	2006 Discovery RV
25-5556	200 CLC Excavator w/cab	65-3537	2000 International Fuel Tanker
25-7007	2013 JD 85D Excavator	65-3680	2011 International Van Truck
25-8339	2012 JD 35D Compact Excavator	65-4619	2003 STERLING L7500 VACUUM TR
25-8995	2014 JD 27D Mini Excavator	65-4930	2007 Peterbilt Fuel Truck
25-9440	2014 Kobelco Hyd. Excavator	65-6778	2003 Mack Rolloff
25-9703	2014 JD 350G Excavator	65-8031	1997 MAC WATER TRUCK
25-9743	2014 JD 350G LC Excavator	65-8349	2009 Sterling Acterra Truck
30-3873	05 VOLVO A25D ARTICULATED TRK	65-8463	2009 Mack Rolloff

SANDCO AVAILABLE EQUIPMENT

Equipment	Description	Equipment	Description
30-3874	05 VOLVO A25D ARTICULATED TRK	65-9848	1997 Mack w/Putzmeister boom p
35-0000	30"X80' Port. Stckng Conveyor	70-7270	ROSCO CHALLENGER II BROOM
35-0172	Caterpillar Fork Lift GP45K 02	70-7347	JD Rosco Broom Challenger II
35-0259	Bobcat T320 Track Loader	70-7425	2001 ROSCO CHALLENGER BROOM
35-0388	1993 ROADTEC RX 60 PAVE/MILL	70-7625	ROSCO CHALL2 BROOM
35-0567	Powerscreen Chieftain 1400 Whe	70-7626	ROSCO CHALLENGER II BROOM
35-0601	2005 Powerscreen Powergrid 800	70-7964	RC300 BROCE BROOM
35-1957	2003 Rock Crusher (NPK 26)	75-4510	Bros 8A MIXER
35-4001	XA400 Powerscreen Jaw Crusher	75-4519	Bros LSPMR8A MIXER
35-4616	2014 John Deere 333E	85-1241	JOHN DEERE LANDSCAPE LOADER
35-5364	2006 613G Cat Scraper	85-1920	FORD TRACTOR
35-6094	30"X60' Port. Stckng Conveyor	85-3044	2011 Challenger Tractor
35-6306	2013 JD 333E Comp.Track Loader	85-4037	AGCO Challenger Tractor
35-6320	2013 JD 333E Comp.Track Loader	90-0143	2011 Dodge 4500
35-7173	DIAMOND Z GRINDER	90-0603	2016 Dodge Ram 2500 Service
35-9204	2003 Tesab RK623 Impact Crushe	90-0674	2005 GMC SIERRA SUMMIT 1500
35-9406	2005 Tesab623 Impact Crusher	90-0772	2009 GMC Truck
40-0249	2010 Cat Backhoe Loader	90-0795	2011 Ford Pickup
40-2192	2008 JD 310SJ Backhoe	90-0905	2009 GMC Truck
40-3108	416D Backhoe Loader ST	90-0908	2009 GMC Truck
40-3109	416D Backhoe Loader ST	90-0914	2009 GMC Truck
40-5012	2005 JD 410G BACKHOE	90-0915	2009 GMC Truck
40-7701	2002 NEW HOLLAND BACKHOE 555E	90-1304	Steve Truck
40-9970	416D Backhoe Loader ST 2WS	90-1372	2008 Chevrolet Silverado
45-0000	Wacker RC-82-SC Trench Roller	90-1763	2014 Ram Truck
45-0268	Cat CB-334E Vib. Smooth Roller	90-2191	2007 GMC White Pickup
45-0373	LP8500 Roller	90-2233	2014 Ram Truck
45-0508	JCB-Vibmax Padfoot Ride On Rol	90-2372	1999 Ford F250 Utility
45-1043	Bomag BW213D-4	90-2419	2006 Pontiac Torrent
45-1296	Ingersoll Sheep Foot Roller	90-2450	2008 Chev Silverado Truck
45-1681	INGERSOLL SD-100DTF VIB ROLLER	90-2674	2015 Dodge 4500 Service Truck
45-2395	INGERSOLL RAND SD100DTF	90-3123	2004 GMC White Utility Truck
45-2717	INGERSOLL RAND SD100DTF	90-3426	2014 Chevrolet Silverado
45-4590	2004 INGERSOLL RAND SD100DTF	90-4120	2014 2 Dr Grey Chevrolet
45-6453	2001 ROSCO TRUPAC ROLLER	90-4595	2005 Chevy 2500 X Cab Utility
45-6579	Dynapac LT6000 Demo Tamp	90-4879	2000 Ford F350 Crew Cab
45-9248	INGERSOLL RAND ROLLER SD40D	90-4923	2016 Dodge Ram 3500
50-0021	1981 CLEMENT TRAILER	90-4932	2013 Chevy Tahoe (Steve)
50-0037	1993 CLEMENT TRAILER	90-5151	2009 Ford Van
50-0468	2007 LB55-24D LOWBOY (Pitts)	90-5671	2010 Dodge Ram 4500
50-0817	2007 COUNTRYSIDE 16' TRAILER	90-5823	2007 GMC Canyon (Premier)
50-1253	1968 Fontane Lowboy Trailer	90-6184	2007 GMC 2500 Utility Truck
50-1475	1988 Wallace Lowboy Trailer	90-6379	2009 F-150 FORD (Stone Green)
50-2301	2000 TRASH TRAILER	90-6702	2010 Dodge Ram 2500
50-2694	2008 Carmate/Cale Camera Trail	90-6779	2014 Ram 5500 White Truck
50-3355	2006 DOWN 2 EARTH TRAILER	90-6992	2010 Chevrolet Crew Cab 271
50-3413	1999 PALMER TRAILER	90-7638	2014 Ram Truck
50-3430	2014 Anderson Traller	90-7703	2007 GMC Canyon

SANDCO AVAILABLE EQUIPMENT

Equipment	Description	Equipment	Description
50-3467	1999 PALMER TRAILER	90-7770	2007 Toyota Rav 4
50-3542	98 TRAILOR WORLD	90-7950	2007 GMC 2WD CANYON-Premier
50-3691	2001 UTILITY TRAILER	90-8241	2009 Ford Truck
50-4254	2002 LEGACY TRAILER	90-8478	2014 Ram 5500 White Truck
50-5146	1999 KODIAK TRAILER	90-8575	2009 Ford Truck
50-5167	07 PEERLESS CHIP TRAILER	90-8738	2004 White GMC Truck
50-5291	07 PEERLESS CHIP TRAILER	90-8921	97 FORD F450 RED SERVICE TRUCK
50-5860	2003 Utility Trailer	90-9093	2007 GMC Truck
50-6868	2009 Anderson Lowbed Trailer	90-9334	2014 Ram Truck

STATUS OF CONTRACTS ON HAND

(Attach additional sheets if necessary)

Date: May 15, 2020

Company Name: Sandco, LLC

Furnish requested information about all of Proposer's active contracts, whether as prime or subcontracts; whether in progress or awarded but not yet started; and regardless of with whom contracted. All amounts to be shown to nearest \$1,000. Contractor may consolidate and list as a single item all contracts which individually do not exceed 3% of total active contracts and in total do not exceed 20% of the active total contracts.

OWNER, LOCATION AND DESCRIPTION OF PROJECT	CURRENT CONTRACT AMOUNT AS PRIME	CURRENT CONTRACT AMOUNT AS SUBCONTRACTOR	CURRENT AMOUNT SUBJECT TO OTHERS	PROPOSER'S UNCOMPLETED AMOUNT AS OF THIS DATE		COMPLETION DATE		
				AS PRIME CONTRACTOR	AS SUBCONTRACTOR	ORIGINAL CONTRACT DATE	APPROVED REVISED DATE	CURRENT ESTIMATE DATE
Ox Bottom Mortgage Holdings, LLC, Welaunee Canopy, Tallahassee, Florida	\$ 14,684,601.00		\$ 1,957,822.00	\$ 500,000.00		3/7/2017	12/20/2020	12/20/2020
Golden Oak Land Group LLC, Brookside Village, Tallahassee, Florida	\$ 3,437,015.00	\$	\$ 956,100.00	\$ 323,200.00		3/9/2018	9/30/2019	12/20/2020 **
Canopy Community Development District, Orlando, FL, Canopy Unit 3	\$ 1,146,796.00		\$ 189,300.00	\$ 93,116.00		12/7/2017	8/3/2021	8/3/2021
Mad Dog Construction, Family Entertainment Center, Tallahassee, FL		\$ 1,077,013.32	\$ 271,800.00		\$ 184,286.75	4/30/2019	4/3/2020	4/3/2020
Canopy Community Development District, Orlando, FL, Canopy Units 4 & 5	\$ 10,097,357.00		\$ 1,758,852.00	\$ 8,840,109.20		10/18/2019	10/15/2020	4/1/2021
Golden Oak Land Group, LLC, Tallahassee, FL	\$ 1,680,134.50		\$ 160,350.00	\$ 55,450.00		5/24/2019	5/23/2020	11/19/2020
Ox Bottom Mortgage Holdings, LLC, Tallahassee, Florida	\$ 250,000.00		\$ 24,000.00	\$ 186,750.00		6/20/2019	10/18/2019	10/18/2020
TMH Building Courtyard								
Canopy Community Development District, Orlando, FL, Amenity Center Site Work	\$ 1,033,731.90		\$ 201,480.00	\$ 285,724.89		10/1/2019	5/8/2020	6/15/2021
Azalea Land Group, LLC, Tallahassee, FL, Fletcher Oaks Subdivision	\$ 1,987,685.00		\$ 145,770.00	\$ 898,538.00		9/16/2019	1/24/2021	1/24/2021
Golden Oak Land Group, LLC, Tallahassee, FL, Chastain Subdivision-Phase I	\$ 3,100,188.80		\$ 477,470.00	\$ 1,339,560.00		10/25/2019	10/19/2020	10/19/2020
Cook Brothers, Inc., Tallahassee, FL, Westminster Oaks Memory Care		\$ 551,000.00	\$ 76,550.00	\$ 474,450.00	\$ 551,000.00	4/1/2020	6/2/2021	6/2/2021
City of Tallahassee, Tallahassee, Florida, Brandon Hill Drainage Improvements	\$ 661,257.00		\$ 371,318.00	\$ 661,257.00		4/29/2020	11/25/2020	11/25/2020

(Attach additional sheets if necessary)

Company Name: Sandco, LLC

Furnish requested information about all of Proposer's active contracts, whether as prime or subcontracts; whether in progress or awarded but not yet started; and regardless of whom contracted. All amounts to be shown to nearest \$1,000. Contractor may consolidate and list as a single item all contracts which individually do not exceed 3% of total active contracts and in total do not exceed 20% of the active total contracts.

OWNER, LOCATION AND DESCRIPTION OF PROJECT	PROPOSER'S UNCOMPLETED AMOUNT AS OF THIS DATE				COMPLETION DATE			
	CURRENT CONTRACT AMOUNT AS PRIME	CURRENT CONTRACT AMOUNT AS SUBCONTRACTOR	CURRENT AMOUNT SUBJECT TO OTHERS	AS PRIME CONTRACTOR	AS SUBCONTRACTOR	ORIGINAL CONTRACT DATE	APPROVED REVISED DATE	CURRENT ESTIMATE DATE
Leon County Bd. Of Commissioners, Tallahassee, FL, Meridian Road Drainage Improvements	\$ 2,945,626.00		\$ 919,587.00	\$ 2,945,626.00		3/2/2020	3/12/2021	3/12/2021
Subtotal Uncompleted Work				\$ 16,603,781.09	\$ 184,286.75			
Total Uncompleted Work on Hand				\$	16,788,067.84	** Sandco will complete final layer of asphalt when houses are complete in these subdivisions.		

PROJECTS COMPLETED BY PROPOSER IN THE LAST TWO YEARS

Company Name Sandco, LLC

Date May 15, 2020

List all projects completed in the last two years for which the contract value individually exceeded 3% of the Proposer's annual total work completed for the year the project was started. Include in the list projects that were started earlier than two years but were completed within the last two years.

PROJECT NAME/ LOCATION	FINAL CONTRACT AMOUNT	PRIME OR SUB	CLASSIFICATION OF WORK PERFORMED	YEAR STARTED/ COMPLETED	OWNER NAME/ LOCATION :	NAME & PHONE NUMBER OF OWNER'S REPRESENTATIVE ON THIS PROJECT :
Inglewood Neighborhood Stormwater, Tallahassee, FL	\$ 792,730.00	PRIME	5.9,10d,10Z	2016/2018	City of Tallahassee, North Adams St., Tallahassee, FL	Eric Houge, 850-891-2858, Eric.Houge@talgov.com
Ox Bottom Phase 5, Tallahassee, FL	\$ 525,584.50	PRIME	3.4,6.9,10d,10g,10z	2017/2018	Ox Bottom Thomasville LLC, Tallahassee, FL	Jason Ghazvini, 850-205-5205, jghazvini@homesbypremier.com
ADA Sidewalk Punch List Final-6, Tallahassee, FL	\$ 384,997.00	PRIME	3.5	2017/2018	City of Tall., 300 S. Adams Street, Tallahassee, FL 32301	David Earle, 850-891-2877, David.Earle@talgov.com
Old Bainbridge Square, Tallahassee, FL	\$ 181,450.00	PRIME	3.4,6.9,10d,10g,10z	2017/2018	RPJ Properties, LLC, Tallahassee, FL	Justin Ghazvini, 850-545-8210, jughazvini@homesbypremier.com
Arbor Trace at Canopy, Tallahassee, FL	\$ 866,636.00	PRIME	3.4,5,6,9,10c,10g,10h,10Z	2017/2018	Arbor Trace @ Canopy, LLC, 4910 N. Monroe Street	arborconstructionllc@gmail.com, 850-656-7667
Publix 533-17MA, Tallahassee, FL	\$ 698,555.00	SUB	3.5,10G	2017/2018	HGR Construction, Inc., 499 Montgomery Place, Altamonte Springs, FL 32714	Fletcher Holmes, 407-645-4447, fletcher@hgrconstruction.com
Future Fontana Apt. Site, Tallahassee, FL	\$ 42,485.00	PRIME	3	2018/2018	Golden Oak Land Group LLC, Tallahassee, FL	Jason Ghazvini, 850-205-5205, jghazvini@homesbypremier.com
Welaunee Phase 2, Tallahassee, FL	\$ 24,034.00	PRIME	3	2018/2018	Golden Oak Land Group LLC, Tallahassee, FL	Jason Ghazvini, 850-205-5205, jghazvini@homesbypremier.com
Southwood 32 Ph 3, Tallahassee, FL	\$ 1,440,640.58	PRIME	3.4,6.9,10d,10g,10z	2016/2019	Premier Southwood, LLC, Tallahassee, Florida	Jason Ghazvini, jghazvini@homesbypremier.com
Red Hills Village, Tallahassee, FL	\$ 1,691,963.84	SUB	3.4,5,6,9,10c,10d, 10g,10h,10Z	2016/2019	Cameron General Contractors, Inc., 8040 Eiger Drive, Lincoln, Nebraska 68516	Cameron General Contractors, Inc., 8040 Eiger Drive, Lincoln, Nebraska 68516
Westminster Oaks Parking Garage, Tallahassee, FL	\$ 1,149,406.49	SUB	3.4,5,6,9,10c,10g,10h,10Z	2016/2019	Cook Brothers, Inc., 1255 Commerce Blvd, Midway, FL 32343	John Griffin, jrg@cookbrothersinc.com
COT Transmission Line 55, Tallahassee, FL	\$ 2,552,485.00	PRIME	3,10b,10d,10e	2017/2019	City of Tallahassee, 300 South Adams Street, Tallahassee, FL 32301	Paul DeFrank, Paul.defrank@talgov.com
TMH Medical Improvements, Tallahassee, FL	\$ 2,042,484.32	PRIME	3.9,10,10b,d,e,g,h,z	2017/2019	Moore Bass Consulting, Inc., 805 N. Gadsden Street, Tallahassee, FL 32303	Ken Powell, kpowell@moorebass.com
East Georgia, East Carolina- North Meridian, Tallahassee, FL	\$ 929,300.72	PRIME	3.4,6,10d,10z	2017/2019	City of Tallahassee, 300 South Adams Street, Tallahassee, FL 32301	Jery Walden, Jery.Walden@talgov.com
Harbor Chase at Capital City	\$ 1,043,939.00	SUB	3.4,6.9,10d,10g,10z	2018/2019	Harbor Chase at Capital City, VC Tallahassee Senior Housing, Ltd. Tallahassee	Michael J. Sundquist, msundquist@rbkennedy.com
WT Moore Elem. School Site Improvements, Tallahassee, FL	\$ 1,347,551.90	SUB	3.4,5,6,9,10d,10g,10Z	2018/2019	Albritton Williams, Inc., 2850 Industrial Plaza Drive, Tallahassee, FL 32301	Jim Chason, jim@aw-gc.com
Rickards High School	\$ 2,131,849.49	SUB	3.4,5,6,9,10d,10g,10Z	2018/2019	Allstate Construction, Inc., 5718 Tower Road, Tallahassee, FL 32303	Andrew Wellman, jthompson@allstateconstruction.com

PROJECTS COMPLETED BY PROPOSER IN THE LAST TWO YEARS

Company Name Sandco, LLC Date May 15, 2020

List all projects completed in the last two years for which the contract value individually exceeded 3% of the Proposer's annual total work completed for the year the project was started. Include in the list projects that were started earlier than two years but were completed within the last two years.

PROJECT NAME/ LOCATION	FINAL CONTRACT AMOUNT	PRIME OR SUB ¹	CLASSIFICATION OF WORK PERFORMED	YEAR STARTED/ COMPLETED	OWNER NAME/ LOCATION ²	NAME & PHONE NUMBER OF OWNER'S REPRESENTATIVE ON THIS PROJECT ³
Ultimate Image Auto Dealership, Tallahassee, FL	\$ 341,794.00	SUB	3,4,5,6,9,10d,10g,10z	2018/2019	Sperry & Associates, Inc., 4495 Capital Circle NW, Tallahassee, FL 32303	Matt Edwards, medwards@sperryconstruction.com
Gaines Street @ Stone Valley, Tallahassee, FL	\$ 168,948.75	PRIME	3,4,6,10d,10z	2019/2019	City of Tall., 300 S. Adams Street, Tallahassee, FL 32301	David Earle, 850-891-2877, David.Earle@talgov.com
Parking Lot at Mahan Square, Tallahassee, FL	\$ 180,968.59	PRIME	6 & 10g	2019/2019	Ghazvini Partners, Inc., 4708 Capital Circle, NW, Tallahassee, FL 32301	Justin Ghazvini, 850-545-8210, jughazvini@homesbypremier.com

¹ 'Prime or Sub' should indicate whether Proposer performed the work as a prime contractor or as a subcontractor.

² 'Owner Name/Location' should indicate the Owner of the project if the Proposer performed the work as a prime contractor or the general contractor if the Proposer performed the work as a subcontractor.

³ 'Name & Phone Number of Owner's Representative on this Project' should list a reference from the business entity listed in the previous column familiar with Proposer's contract performance.

END OF ORGANIZATIONAL INFORMATION FORM

**LIST OF PROPOSED SUBCONTRACTORS
AND
MAJOR MATERIALS SUPPLIERS**

NAME OF SUBCONTRACTOR	ADDRESS	PROPOSED PROJECT RESPONSIBILITIES	PERCENTAGE OF CONTRACT PRICE	SUBCONTRACTOR'S AUTHORIZED REPRESENTATIVE
D & T Concrete, Inc.	802 Arran Road Crawfordville, FL 32327	Concrete Work	95%	David Paul
Delacy Farm Sod, Inc.	93 Peavy Road Havana, FL 32333	Grass	6%	John Pat Pickles
Florida Developers, Inc.	642 W. Brevard Street Tallahassee, FL 32304	Earthwork, concrete	1.40%	Frank Williams
Gaines & Sons Striping, LLC	8771 Jimerce Court Tallahassee, FL 32309	Pavement markings, asphalt patching	12.10%	Willie Gaines
Persica Landscaping Co., Inc.	1703 Baum Road Tallahassee, FL 32317	Landscaping & Brick Pavers	10.90%	Reza Karimipour
Stuckey Construction, Inc.	3298 Highway 179 South Whigham, Ga 39897	Concrete Work	3.50%	Buddy Poppell
NAME OF MATERIAL SUPPLIER	ADDRESS	PROPOSED MATERIALS	PERCENTAGE OF CONTRACT PRICE	MATERIAL AUTHORIZED REPRESENTATIVE
Consolidated Pipe & Supply	4453 Entrepot Blvd. Tallahassee, FL 32310	Pipe & Pre-cast	13.60%	Edward Screven
R. H. Moore & Associates, Inc.	7834 Depot Lane Tampa, FL 33637	Geo-grid	0.90%	Michael Baldwin

MINORITY BUSINESS ENTERPRISE VENDORS

MINORITY WOMEN BUSINES ENTERPRISES

D & T Concrete, Inc.

802 Arran Road, Tallahassee, FL 32327

Sidewalk repairs combine ADA up-grades with decorative elements

Project details

Tallahassee Downtown Sidewalks Improvement Program

Owner: City of Tallahassee, Fla.

Contractor: D&T Construction, Tallahassee, Fla.

Scope of work: Rebuild approximately 60 block-long segments of sidewalk, one block at a time

Submitted by David Earle, Tallahassee's project manager/construction chief of capital programs.

Scored pavement enhances Tallahassee's downtown sidewalks.

Many of the downtown sidewalks in Tallahassee, Fla., were cracked, sloping, and in need of an Americans with Disabilities Act (ADA) upgrade; but the city also wanted to create a sense of "place" for unique areas such as Tallahassee's historic district. The challenge was to create an original, attractive sidewalk that both city staff and downtown businesses could agree on, while also making it easy for in-house city crews to maintain afterward.

The Tallahassee Public Works Department contracted local father-and-son team D&T Construction to create a tooled diamond pattern, scored with an edging tool. The design enhances key areas while still meeting the hilly terrain's tricky grade differences; some of the roads have more than an 8% slope. The real challenge, however, was the cross slopes. The crew:

- Broom-finished the pavement and smooth-edged the joints.
- Addressed elevation differences between the sidewalks and building doorways with decorative entrance "enhancements" such as aprons and steps.
- ♦ Eliminated edged joints and border edging in historic areas, making the pattern simpler to replicate.

D & T Concrete, Inc.

802 Arran Road, Tallahassee, FL 32327

Summary

D & T Concrete, Inc. specializes in residential and commercial concrete services. We have the experience and the manpower to construct slabs, retaining walls, paving, brick pavers, sidewalks, curbs, driveways, steps, foundations and ADA compliant upgrades.

COMPLETED PROJECTS:

The Centre of Tallahassee	Bull Run Unit 6 Sitework & Utilities
Tallahassee Memorial Hospital Parking Lot	Edinburgh Estate Drainage
Osteen Road Widening - Perry, Florida	TP Smith WRF Improvement S-130
Fifth Avenue Sidewalk Improvement	FAMU Track & Field Facility
Mahan Drive SR10 US90	Killearn Lakes Drainage Improvements
TP Smith WRS S10	South Gadsden Sidewalk
TP Smith S-20	Raven Lane Pedestrian Improvement
Capital Cascade Trail	Park Avenue - ES Sidewalk
COT Northwood ADA Sidewalks	Magnolia Grove Retail Center
LCSB Transportation Facility	Chastain Manor
Charter USA - Tallahassee	Ox Bottom Road Phase I
TP Smith S-110	Duval Street BE Sidewalk
Bronough, College & Park Avenue Sidewalks	Southwood Unit 32, Phase II
No Petro Refueling Station	Homes 2 Suites
TP Smith S-123	ADA Sidewalks - East
Killearn Lakes Elementary School	Lead Remediation - Firing Range
Downtown Sidewalk Rehab. Duval	Executive Office Site Work
AMTEC Less Lethal - Perry, Florida	Mad Dog Strozier Liabrary
Midyette Nova Sidewalk Project	The Canopy Phase I
Lombladh Nova Sidewalk Project	McDonald Ave. Sidewalk - Chattahoochee, FL
Lafayette Street Improvement	Beard Street Drainage
Old Bainbridge Road	Ox Bottom Road Phase 2
Park Avenue Zone Bid 105	The Canopy Phase I Crestline
Park Avenue and Call Street Bid 106	Fleischman Connector
LCSB Transportation Phase II	Red Hills Village
Thomasville Road Baptist Church	Westminster Oaks Parking Garage
Providence Road - Perry, Florida	ADA Punch List Final - 5
College Avenue - Duval Zone G-N, GW	The Canopy Unit I Subdivision

Delacy Farm Sod, Inc.

Delacy Farm Sod is located in Havana, Florida. This organization primarily operated in the Sod Farm business/industry within the Agricultural Production—Crops Sector. This Organization has been operating for approximately 23 years. Delacy Farm Sod employs approximately 14 people at this single location.

Sod and sodding services are provided to projects for the Florida Department of Transportation, Leon County, City of Tallahassee, private construction and residential homes.

Delacy is pre-qualified with the Florida Department of Transportation, Leon County and City of Tallahassee for sodding services.

PROJECT LOCATIONS IN THE TALLAHASSEE AREA

River's Landing Subdivision	Old Bainbridge Road
Velda Oaks Subdivision	Thomasville Road Baptist Church
Capital Circle South East	Bull Run Subdivision
Lakeshore Drive Property	Edinburgh Estates
Surgeons Drive Roadway	Timberlake Subdivision
Mahan Drive	Killearn Lakes Subdivision
T P Smith Projects	Chastain Manor
Ace Hardware & Dollar General	Ox Bottom Subdivision
Capital Cascade Trail	Woodville Elementary
Gaines Street Corridor	Southwood Subdivision
Leon High School Drainage	Weems Subdivision
COT Sidewalk Projects	FAMU Way
Charter School USA & Pump Station	Cardno—St. Marks
No Petro Refueling Station	St. Thomas Church in Quincy, FL
Lafayette Street	The Canopy - Crestline

Delacy Farm Sod, Inc.



Sodding and Sodding Services

Grasses: Centipede





FRANK W. WILLIAMS
PRESIDENT OF FLORIDA DEVELOPERS, INC.

Mr. Williams has strong leadership experience within the construction & land development industry. He is also a dedicated, conscientious executive leader with the combination of a strong industry background and management competencies.

As Co-Principal-In-Charge, Mr. Williams has over 40 years of experience managing new construction, additions, renovations and expansions. He has the ability to communicate effectively with individuals across all levels of the organization, including but not limited to contractors, suppliers, vendors, and other external entities. Mr. William is cost-conscious and keeps a detail-focused approach towards management.

EDUCATION: 1966 Graduate of Lincoln High School
 1972 Graduate of University of CA Berkley

ACHIEVEMENTS:

Capital Area Community Action Agency, Chair of Fundraising Committee, Member 2007-2013

29th Anniversary Volunteer of the Year Award Winner, Business/ Government to Florida Developers, Inc. By The Tallahassee Democrat

Board: Capital City Chamber of Commerce

Board: Tallahassee Chamber of Commerce (Executive Board)

Board: Southside Rotary, Charter Member 2005, served as President Elect, President, two terms as Vice President Awards, Outstanding Member Award, and Certificate of Commitment to Quality

Board: Buffalo Soldiers Motorcycle Club, Founding Member 10 yrs., served as Vice President two years

Board: Legal Service of North Florida 30th Anniversary Endowment Campaign, Award-Appreciation

Board: City Of Tallahassee MBE Advisory Board; served one year as Chair

Board: Leon County Board of County Commissioners Minority, Women, & Small Business Enterprise Division

MWSBE Citizens Advisory Committee Meeting (Appt. by Com. Bob Ratcliff/ Jan. 31, 1989-2015). One year as Chair

Committee: City of Tallahassee Cultural Resources & Art Commission (3 yrs.)

Committee: City of Tallahassee Blueprint 2000 Citizen Advisory Committee

City Of Tallahassee Consolidation Committee

Economic Development Council Board

Special FAMU President Award

Frank W. Williams, Florida Developers, Inc., Cont.

Capital Area Community Action Agency – Recognition Award & Chairman Award

Bethel Baptist Father of The Year Award

Committee: Leon County School $\frac{1}{2}$ Cent Sales Tax

John G. Riley Elementary School's Classroom Mentoring Connection Program

Mr. Williams is a native of Tallahassee. He has been married to Vet Williams over 41 years. They have one son and two grandchildren. He is a Christian with strong "Faith" and member of St. Peter P.B. Church.

HIGHLIGHTED PROJECTS



Frank has worked with a wide array of projects
over the past 31 years.

GAINES AND SONS STRIPING, INC.

CAPABILITY STATEMENT



Core Competencies

- ♦ Minority owned Business
- ♦ Gaines and Sons has an excellent record of completing projects in a timely manner.
- ♦ We use up to date equipment to ensure that we provide top-quality and efficient service.

Certifications

- ♦ Florida Department of Transportation
- ♦ Georgia Department of Transportation
- ♦ City of Tallahassee
- ♦ Leon County School
- ♦ Office of Economic Vitality MWSBE



NAICS Codes

- ♦ 237310 Highway Signing
- ♦ 238990 Thermoplastic Traffic Stripes, markings, reflective pavement markings, highway delineators, painting of Traffic stripes, maintenance of traffic

Gaines and Sons Striping, Inc.

8771 Jimerce Court

Tallahassee, Florida 32309

Office Number: (850) 893-4084

E-mail address: gainesandsons@hotmail.com



Past Performance

- ♦ M of Tallahassee
- ♦ Sandco, LLC
- ♦ Peavy & Son Construction
- ♦ Allen' Excavation Inc.
- ♦ Anderson Columbia Company Inc.
- ♦ C. W. Roberts Contracting, Inc.
- ♦ Grady County Commissioners Cairo, Georgia

Reza Karimipour
Persica Landscaping Co., Inc.
1703 Baum Road
Tallahassee, Florida 32317

Experience:

1991-Current Persica Landscape—Nursery, Tallahassee, FL

- ♦ Vice President
- ♦ Manages daily operations of an eighty acre wholesale nursery and Commercial landscaping company.

1987-1991— Esposito's Garden Center, Tallahassee, FL

- ♦ Managed all aspects of the garden center, from buying to selling Plant material, handling customer service inquiries on proper Techniques in planting and plant care, to manage cash and Profit /loss for the garden center department.
- ♦ Coordinated with landscaping department for material needed On projects.

Education:

Florida A & M University

Degrees

Bachelor— Ornamental Horticulture and Landscape Design

Master—Agriculture

Certifications:

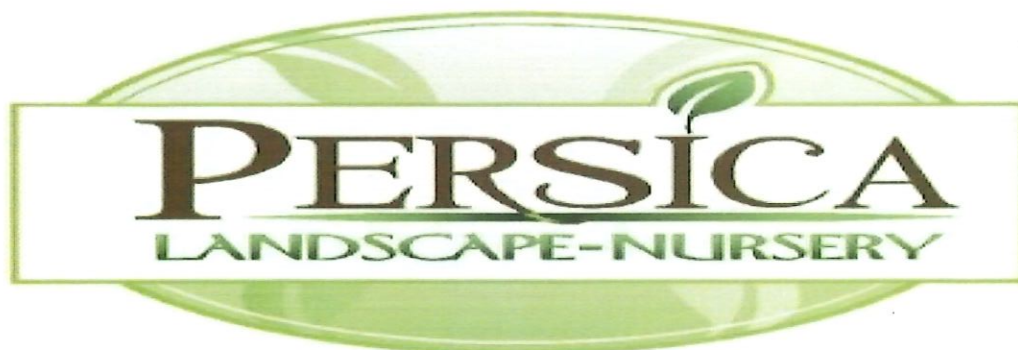
ISA Certified Arborist

FNGLA Certified Horticulture Professional

FNGLA Certified Landscape Contractor

Former President of FNGLA Panhandle Region

(FNGLA— Florida Nursery Growers and Landscape Association)





3298 Hwy 179 South

Whigham, Georgia 39897

Phone: 229-872-3646 Fax: 229-872-3634

To Whom it May Concern:

We are in the construction business and specialize in pouring curb and gutter and miscellaneous concrete. We have currently been in business for thirty-eight years. Peggy Stuckey is the President, while Matt Stuckey is our General Superintendent. We have Buddy Poppell as our Estimator, and he has been with the company for approximately 30 years. Our work spans across Georgia, Florida and Alabama. Our office is housed in Whigham, Georgia. We have been recognized by Power Curber who is our machine representative. We pour, on average, 350,000 to 400,000 feet of curb each year.





4708 Capital Circle NW. Tallahassee FL 32303 850-514-1000 Fax: 850-402-7674

Canopy Community Development District
Construction Services For
Welaunee Blvd. Segment 3A and Segment 2 Turn Lanes

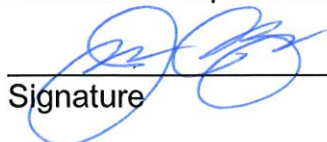
MINORITY UTILIZATION SUMMARY

Bidder: Sandco, LLC

The undersigned, hereinafter called "Bidder" lists below the names of the Minority Business Enterprise and the Women Business Enterprise for the above mentioned project. The target participation rates for this project are 14% for MBE and 9% for WBE.

Name, Address, and Telephone Number of MBE Subcontractor	Scope of Work	Dollar Amount of Subcontract	Black (B) or Female (F)
MBE Vendors Florida Developers, Inc. 642 W. Brevard Street, Tallahassee, FL 32304 Phone: 850-224-6002	Earthwork, Concrete	\$ 100,000.00	B
Gaines & Sons Striping, Inc. 8771 Jimerce Court, Tallahassee, FL 32309 Phone: 850-893-4084	Pavement markings & asphalt patching	\$ 569,509.00	B
WMBE Vendors Delacy Farm Sod, Inc. 458 Peavy Road, Havana, FL 32333 Phone: 850-539-5008	Grass	\$ 31,150.00	F
Persica Landscaping Co., Inc. 1703 Baum Road, Tallahassee, FL 32317 Phone: 850-422-0002	Landscaping, brick pavers	\$ 505,200.00	F
TOTAL MBE Dollars: Total Project Bid MBE Percentage of Total Bid	Black \$ 669,509.00 \$ 4,782,201.50 14%	Female \$ 536,350.00 \$ 4,782,201.50 11%	

Authorized Representative:


Signature

May 15, 2020
Date

**Business & Contact Information**

BUSINESS NAME **Florida Developers, Inc.**

OWNER **Mr. Frank Williams**

ADDRESS **642 West Tennessee Street
Tallahassee, FL 32304**

PHONE **850-224-6002**

FAX **850-222-8010**

EMAIL yvonne@fldevelopers.com

WEBSITE <http://www.fldevelopers.com>

[Map This Address](#)**Certification Information**

CERTIFYING AGENCY **Tallahassee-Leon County**

CERTIFICATION TYPE **MBE - Minority Business Enterprise**

RENEWAL DATE **8/31/2020**

CERTIFIED BUSINESS DESCRIPTION **General Contractor, Site Work, Underground Utilities, Excavation, Waterproofing, and Trucking**

Commodity Codes

Code	Description
TLH-Leon 12	General Contracting
TLH-Leon 14	Excavation
TLH-Leon 18	Other Construction Services
TLH-Leon 21	Trucking and Hauling

**Business & Contact Information**

BUSINESS NAME **Gaines and Sons Striping, Inc.**

OWNER **Mr. Willie J. Gaines**

ADDRESS **5036 WITHERS HILL ROAD**
TALLAHASSEE, FL 32312 [Map This Address](#)

PHONE **850-893-4084**

FAX **850-668-7798**

EMAIL gainesandsons@hotmail.com

Certification Information

CERTIFYING AGENCY **Tallahassee-Leon County**

CERTIFICATION TYPE **MBE - Minority Business Enterprise**

RENEWAL DATE **8/31/2020**

CERTIFIED BUSINESS DESCRIPTION **Traffic Control, Painting, Thermoplastic Traffic Marking, Highway Signage, Asphalt Patching, Concrete and Landscaping**

Commodity Codes

Code	Description
TLH-Leon 07	Asphalt
TLH-Leon 08	Concrete
TLH-Leon 13	Landscaping
TLH-Leon 18	Other Construction Services
TLH-Leon 27	Maintenance of Traffic

**Business & Contact Information**

BUSINESS NAME	DeLacy Farm Sod, Inc.
OWNER	Ms. Lynda Pickles
ADDRESS	458 Peavy Rd. Havana, FL 32333
PHONE	850-539-5008
FAX	850-539-0127
EMAIL	delacyfarmsod@yahoo.com

[Map This Address](#)**Certification Information**

CERTIFYING AGENCY	Tallahassee-Leon County
CERTIFICATION TYPE	WBE - Women Business Enterprise
RENEWAL DATE	1/31/2021
CERTIFIED BUSINESS DESCRIPTION	Sod and Landscaping

Commodity Codes

Code	Description
TLH-Leon 13	Landscaping
TLH-Leon 16	Miscellaneous Services
TLH-Leon 18	Other Construction Services

**Business & Contact Information**

BUSINESS NAME	Persica Landscaping Co., Inc.
OWNER	Ms. Ashie Karimipour
ADDRESS	1703 Baum Road Tallahassee, FL 32317
PHONE	850-422-0002
FAX	850-422-1499
EMAIL	ashie@persica.com
WEBSITE	http://www.persica.com

[Map This Address](#)**Certification Information**

CERTIFYING AGENCY	Tallahassee-Leon County
CERTIFICATION TYPE	WBE - Women Business Enterprise
RENEWAL DATE	3/31/2022
CERTIFIED BUSINESS DESCRIPTION	Landscape and Irrigation Installation

Commodity Codes

Code	Description
TLH-Leon 13	Landscaping

**CANOPY COMMUNITY DEVELOPMENT DISTRICT
CONSTRUCTION SERVICES
FOR
WELAUNEE BLVD. SEGMENT 3A AND SEGMENT 2 TURN LANES**

TAB 3

Certificates and Statements

- ◆ Certificate of Corporate Principal/Affidavit of Proposer
- ◆ Sworn Statement Regarding Discrimination
- ◆ Sworn Statement Regarding Scrutinized Companies
- ◆ Sworn Statement Regarding Public Entity Crimes
- ◆ Trench Safety Act Compliance Statement
- ◆ Trench Safety Act Compliance Cost Statement
- ◆ Affidavit of Non-Colusion

CERTIFICATE AS TO CORPORATE PRINCIPAL
CANOPY COMMUNITY DEVELOPMENT DISTRICT
WELAUNEE BLVD. SEGMENT 3A AND SEGMENT 2 TURN LANES CONSTRUCTION PROJECT
TALLAHASSEE, FLORIDA

I, Behzad Ghazvini, Manager Limited Liability Co. certify that I am the Secretary of the Corporation named as Principal in the attached bond; that I am who signed the said bond on behalf of the Principal, was then of said Corporation; that I know his signature, and his signature hereto is genuine; and that said bond was duly signed, sealed, and attested for and in Behalf of said Corporation by authority of its governing body.

Behzad Ghazvini
 Secretary Manager

Behzad Ghazvini
 Corporate Seal

STATE OF Florida)

COUNTY OF Leon)

SS

Before me, a Notary Public duly commissioned, qualified and acting, personally appeared to me well known, who being by me first duly sworn upon oath, says that he is the Attorney-In-Fact, for the Sandco, LLC and that he has been authorized by Sandco, LLC to execute the foregoing bond on behalf of the surety named therein in favor of Canopy Community Development District.

Sworn to before me by means of ☐ physical presence or ☐ online notarization
 this 15th day of May, 2020.

Constance B. Fletcher
 Notary Public / Expiration Date:

(SEAL)



(Attach Power of Attorney to original Proposal Bond and Financial Statement of Surety Company)

AFFIDAVIT FOR CORPORATION
CANOPY COMMUNITY DEVELOPMENT DISTRICT
WELAUNEE BLVD. SEGMENT 3A AND SEGMENT 2 TURN LANES CONSTRUCTION PROJECT
TALLAHASSEE, FLORIDA

STATE OF Florida)
COUNTY OF Leon) SS

Behzad Ghazvini

(title) Manager
of the Sandco, LLC
(a corporation described herein) being duly sworn, deposes and says that the statements and answers to the questions of the foregoing experience questionnaire are correct and true as of the date of this affidavit; and, that he/ she understands that intentional inclusion of false, deceptive or fraudulent statements on this application constitutes fraud; and, that the District considers such action on the part of the Proposer to constitute good cause for rejecting Proposer's proposal.

Behzad Ghazvini
(Officer must also sign here)

CORPORATE SEAL

Sworn to before me by means of ☐ physical presence or ☐ online notarization
this 15th day of May, 2020.

Constance B. Fletcher
Notary Public / Expiration Date:

(SEAL)



**SWORN STATEMENT PURSUANT TO
SECTION 287.134(2)(a), FLORIDA STATUTES, ON DISCRIMINATION**

THIS FORM MUST BE SIGNED AND SWORN TO IN THE PRESENCE OF A NOTARY PUBLIC OR OTHER OFFICIAL AUTHORIZED TO ADMINISTER OATHS.

1. This sworn statement is submitted to Canopy Community Development District
(print name of the public entity)
- by Behzad Ghazvini
(print individual's name and title)
- for Sandco, LLC
(print name of entity submitting sworn statement)
- whose business address is
4708 Capital Circle NW, Tallahassee, FL 32303
- and (if applicable) its Federal Employer Identification Number (FEIN) is 45-2536099
- (If the entity has no FEIN, include the Social Security Number of the individual signing this sworn statement.)
2. I understand that a "discrimination" or "discriminated" as defined in section 287.134(1)(b), *Florida Statutes*, means a determination of liability by a state circuit court or federal district court for a violation of any state or federal law prohibiting discrimination on the basis of race, gender, national origin, disability, or religion by an entity; if an appeal is made, the determination of liability does not occur until the completion of any appeals to a higher tribunal.
3. I understand that "discriminatory vendor list" as defined in section 287.134(1)(c), *Florida Statutes*, means the list required to be kept by the Florida Department of Management Services pursuant to section 287.134(3)(d), *Florida Statutes*.
4. I understand that "entity" as defined in section 287.134(1)(e), *Florida Statutes*, means any natural person or any entity organized under the laws of any state or of the United States with the legal power to enter into a binding contract and which bids or applies to bid on contracts let by a public entity, or which otherwise transacts or applies to transact business with a public entity.
5. I understand that an "affiliate" as defined in Paragraph 287.134(1)(a), *Florida Statutes*, means:
1. A predecessor or successor of an entity that discriminated; or
 2. An entity under the control of any natural person or entity that is active in the management of the entity that discriminated. The term "affiliate" includes those officers, directors, executives, partners, shareholders, employees, members, and agents who are active in the management of an affiliate. The ownership by one entity of shares constituting a controlling interest in another entity, or a pooling of equipment or income among entities when not for fair market value under an arm's length agreement, shall be a prima facie case that one entity controls another entity
6. I understand that, pursuant to section 287.134(2)(a), *Florida Statutes*, an entity or affiliate who has been placed on the discriminatory vendor list may not submit a bid, proposal, or reply on a contract to provide any goods or services to a public entity; may not submit a bid, proposal, or reply on a contract with a public entity for the

Sandco, LLC

construction or repair of a public building or public work; may not submit bids, proposals, or replies on leases of real property to a public entity; may not be awarded or perform work as a contractor, supplier, subcontractor, or consultant under a contract with any public entity; and may not transact business with any public entity.

Based on information and belief, the statement which I have marked below is true in relation to the entity submitting this sworn statement. (Indicate which statement applies.)

X Neither the entity submitting this sworn statement, nor any affiliate of the entity, has been placed on the discriminatory vendor list.

___ The entity submitting this sworn statement, or an affiliate of the entity, appears on the discriminatory vendor list.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/VENDOR EXECUTING THIS AFFIDAVIT TO VERIFY THAT NONE OF THE SUBCONTRACTORS/SUPPLIERS UTILIZED FOR THIS BID/QUOTE HAVE BEEN PLACED ON THE DISCRIMINATORY VENDOR LIST. IN THE EVENT IT IS LATER DISCOVERED THAT A SUBCONTRACTOR/SUPPLIER HAS BEEN PLACED ON THE DISCRIMINATORY VENDOR LIST, THE CONTRACTOR/VENDOR SHALL SUBSTITUTE THE SUBCONTRACTOR/ SUPPLIER WITH ANOTHER WHO HAS NOT PLACED ON THE DISCRIMINATORY VENDOR LIST. ANY COST ASSOCIATED WITH THIS SUBSTITUTION SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR/VENDOR.

I UNDERSTAND THAT THE SUBMISSION OF THIS FORM TO THE CONTRACTING OFFICER FOR THE PUBLIC ENTITY IDENTIFIED IN PARAGRAPH 1 (ONE) ABOVE IS FOR THAT PUBLIC ENTITY ONLY.



Signature by authorized representative of Proposer

STATE OF FLORIDA
COUNTY OF Florida

Sworn to (or affirmed) and subscribed before me by means of ☒ physical presence or ☐ online notarization this 15th day of May, 2020, by Behzad Ghazvini, of the Sandco, LLC who is ☒ personally known to me or ☐ who has produced _____ as identification, and who ☐ did or ☒ did not take an oath.



Signature of Notary Public taking acknowledgement

My Commission Expires: _____

(SEAL)



**SWORN STATEMENT PURSUANT TO SECTION 287.135(5), FLORIDA STATUTES, REGARDING
SCRUTINIZED COMPANIES WITH ACTIVITIES IN SUDAN LIST OR SCRUTINIZED COMPANIES
WITH ACTIVITIES IN THE IRAN PETROLEUM ENERGY SECTOR LIST**

**THIS FORM MUST BE SIGNED AND SWORN TO IN THE PRESENCE OF A NOTARY PUBLIC OR
OTHER OFFICIAL AUTHORIZED TO ADMINISTER OATHS.**

1. This sworn statement is submitted to Canopy Community Development District
by Behzad Ghazvini, Manager
(print individual's name and title)
for Sandco, LLC
(print name of entity submitting sworn statement)
whose business address is
4708 Capital Circle NW, Tallahassee, FL 32303

2. I understand that, subject to limited exemptions, section 287.135, Florida Statutes, declares a company that, at the time of bidding or submitting a proposal for a new contract or renewal of an existing contract, is on the Scrutinized Companies with Activities in Sudan List or the Scrutinized Companies with Activities in the Iran Petroleum Energy Sector List, created pursuant to section 215.473, Florida Statutes, is ineligible for, and may not bid on, submit a proposal for, or enter into or renew a contract with a local governmental entity for goods or services of \$1 million or more.
3. Based on information and belief, at the time the entity submitting this sworn statement submits its proposal to the Canopy Community Development District, neither the entity, nor any of its officers, directors, executives, partners, shareholders, members, or agents, is listed on either the Scrutinized Companies with Activities in Sudan List or the Scrutinized Companies with Activities in the Iran Petroleum Energy Sector List.
4. If awarded the Contract, the entity will immediately notify the Canopy Community Development District in writing if either the entity, or any of its officers, directors, executives, partners, shareholders, members, or agents, is placed on either the Scrutinized Companies with Activities in Sudan List or the Scrutinized Companies with Activities in the Iran Petroleum Energy Sector List.

Behzad Ghazvini
Signature by authorized representative of Proposer

STATE OF FLORIDA
COUNTY OF Leon

Sworn to (or affirmed) and subscribed before me by means of ☒ physical presence or ☐ online notarization this 15th day of May, 2020, by Behzad Ghazvini, of the Sandco, LLC who is ☒ personally known to me or ☐ who has produced _____ as identification, and who ☐ did or ☒ did not take an oath.

Constance B. Fletcher
Signature of Notary Public taking acknowledgement

My Commission Expires: 7/25/2023

(SEAL)



**SWORN STATEMENT ON PUBLIC ENTITY CRIMES
PURSUANT TO SECTION 287.133(3)(N), FLORIDA STATUTES**

THIS FORM MUST BE SIGNED AND SWORN TO IN THE PRESENCE OF A NOTARY PUBLIC OR OTHER OFFICIAL AUTHORIZED TO ADMINISTER OATHS.

1. This sworn statement is submitted to Canopy Community Development District
(print name of the public entity)

by Behzad Ghazvini, Manager
(print individual's name and title)

for Sandco, LLC
(print name of entity submitting sworn statement)

whose business address is

4708 Capital Circle NW, Tallahassee, FL

and (if applicable) its Federal Employer Identification Number (FEIN) is 45-2536099

(If the entity has no FEIN, include the Social Security Number of the individual signing this sworn statement.)

N/A

2. I understand that a "public entity crime" as defined in Paragraph 287.133(1)(g), Florida Statutes, means a violation of any state or federal law by a person with respect to and directly related to the transaction of business with any public entity or with any agency or political subdivision of any other state or of the United States, including, but not limited to, any bid or contract for goods or services to be provided to any public entity or an agency or political subdivision of any other state or of the United States and involving antitrust, fraud, theft, bribery, collusion, racketeering, conspiracy, or material misrepresentation.
3. I understand that "convicted" or "conviction" as defined in Paragraph 287.133(1)(b), Florida Statutes, means a finding of guilt or a conviction of a public entity crime, with or without an adjudications of guilt, in any federal or state trial court of record relating to charges brought by indictment or information after July 1, 1989, as a result of a jury verdict, nonjury trial, or entry of a plea of guilty or nolo contendere.
4. I understand that an "affiliate" as defined in Paragraph 287.133(1)(a), Florida Statutes, means:
1. A predecessor or successor of a person convicted of a public entity crime; or
 2. An entity under the control of any natural person who is active in the management of the entity and who has been convicted of a public entity crime. The term "affiliate" includes those officers, directors, executives, partners, shareholders, employees, members, and agents who are active in the management of an affiliate. The ownership by one person of shares constituting a controlling interest in another person, or a pooling of equipment or income among persons when not for fair market value under an arm's length agreement, shall be a prima facie case that one person controls another person. A person who knowingly enters into a joint venture with a person who has been convicted of a public entity crime in Florida during the preceding 36 months shall be considered an affiliate.
5. I understand that a "person" as defined in Paragraph 287.133(1)(e), Florida Statutes, means any natural person or entity organized under the laws of any state or of the United States with the legal power to enter into a binding

Sandco, LLC

contract and which bids or applies to bid on contracts for the provision of goods or services let by a public entity, or which otherwise transacts or applies to transact business with a public entity. The term "person" includes those officers, directors, executives, partners, shareholders, employees, members, and agents who are active in management of an entity.

Based on information and belief, the statement which I have marked below is true in relation to the entity submitting this sworn statement. (Indicate which statement applies.)

- ☒ Neither the entity submitting this sworn statement, nor any of its officers, directors, executives, partners, shareholders, employees, members, or agents who are active in the management of the entity, nor any affiliate of the entity has been charged with and convicted of a public entity crime subsequent to July 1, 1989.
- ☐ The entity submitting this sworn statement, or one or more of its officers, directors, executives, partners, shareholders, employees, members or agents who are active in the management of the entity, or an affiliate of the entity has been charged with and convicted of a public entity crime subsequent to July 1, 1989.
- ☐ The entity submitting this sworn statement, or one or more of its officers, directors, executives, partners, shareholders, employees, members or agents who are active in the management of the entity, or an affiliate of the entity has been charged with and convicted of a public entity crime subsequent to July 1, 1989. However, there has been a subsequent proceeding before a Hearing Officer of the State of Florida, Division of Administrative Hearings and the Final Order entered by the Hearing Officer determined that it was not in the public interest to place the entity submitting this sworn statement on the convicted vendor list. (attach a copy of the final order)

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/VENDOR EXECUTING THIS PUBLIC ENTITY CRIME AFFIDAVIT TO VERIFY THAT NONE OF THE SUBCONTRACTORS/SUPPLIERS UTILIZED FOR THIS BID/QUOTE HAVE BEEN CONVICTED OF A PUBLIC ENTITY CRIME SUBSEQUENT TO JULY 1, 1989. IN THE EVENT IT IS LATER DISCOVERED THAT A SUBCONTRACTOR/SUPPLIER HAS BEEN CONVICTED OF A PUBLIC ENTITY CRIME, THE CONTRACTOR/VENDOR SHALL SUBSTITUTE THE SUBCONTRACTOR/ SUPPLIER WITH ANOTHER WHO HAS NOT RECEIVED A CONVICTION. ANY COST ASSOCIATED WITH THIS SUBSTITUTION SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR/VENDOR.

Sandco, LLC

I UNDERSTAND THAT THE SUBMISSION OF THIS FORM TO THE CONTRACTING OFFICER FOR THE PUBLIC ENTITY IDENTIFIED IN PARAGRAPH 1 (ONE) ABOVE IS FOR THAT PUBLIC ENTITY ONLY AND THAT THIS FORM IS VALID THROUGH DECEMBER 31 OF THE CALENDAR YEAR IN WHICH IT IS FILED. I ALSO UNDERSTAND THAT I AM REQUIRED TO INFORM THE PUBLIC ENTITY PRIOR TO ENTERING INTO A CONTRACT IN EXCESS OF THE THRESHOLD AMOUNT PROVIDED IN SECTION 287.017, FLORIDA STATUTES, FOR CATEGORY TWO OF ANY CHANGE IN THE INFORMATION CONTAINED IN THIS FORM.

Behzad Ghazvini
(Signature)

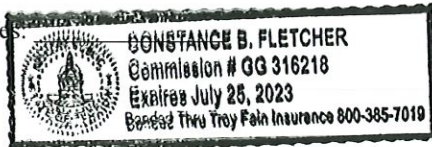
STATE OF FLORIDA
COUNTY OF Leon

Sworn to (or affirmed) and subscribed before me by means of ☒ physical presence or ☐ online notarization this 15th day of May, 2020, by Behzad Ghazvini, of the Sandco, LLC who is ☒ personally known to me or ☐ who has produced _____ as identification, and who ☐ did or ☒ did not take an oath.

Constance B. Fletcher
Signature of Notary Public taking acknowledgement

My Commission Expires

(SEAL)



X

TRENCH SAFETY ACT COMPLIANCE STATEMENT**INSTRUCTIONS**

Because trench excavations on this Project are expected to be in excess of 5 feet, Chapter 90-96 of the Laws of Florida requires that construction on the Project comply with Occupational Safety and Health Administration Standard 29 C.F.R. s. 1926.650 Subpart P. All Proposers are required to execute this Compliance Statement and the Compliance Cost Statement. The costs for complying with the Trench Safety Act must be incorporated into the Project's Proposal.

This form must be certified in the presence of a notary public or other officer authorized to administer oaths.

CERTIFICATION

1. I understand that Chapter 90.96 of the Laws of Florida (The Trench Safety Act) requires me to comply with OSHA Standard 29 C.F.R. s. 1926.650 Subpart P. I will comply with The Trench Safety Act, and I will design and provide trench safety systems at all trench excavations in excess of five feet in depth for this project.
2. The estimated cost imposed by compliance with The Trench Safety Act will be:
Ten thousand, seven hundred eighty-three and no/100 Dollars (Written)
\$ 10,783.00 (Figures).
3. The amount listed above has been included within the Proposal.

Dated this 15th day of May, 2020.

Proposer: Sandco, LLC

By: *Behzad Ghazvini*
Title: Manager

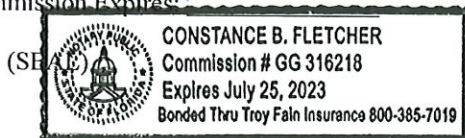
STATE OF FLORIDA

COUNTY OF Leon

Sworn to (or affirmed) and subscribed before me by means of ☒ physical presence or ☐ online notarization this 15th day of May, 2020, by Behzad Ghazvini, of the Sandco, LLC who is ☒ personally known to me or ☐ who has produced _____ as identification, and who ☐ did or ☒ did not take an oath.

Constance B. Fletcher
Signature of Notary Public taking acknowledgement

My Commission Expires:



TRENCH SAFETY ACT COMPLIANCE COST STATEMENT**INSTRUCTIONS**

Because trench excavations on this Project are expected to be in excess of 5 feet, Chapter 90-96 of the Laws of Florida requires that all Proposers submit a statement of the costs of complying with the Trench Safety Act. Said costs must also be incorporated into the Proposal.

This form must be certified in the presence of a notary public or other officer authorized to administer oaths.

By executing this statement, proposer acknowledges that included in the various items of its Proposal and in the total Proposal price are costs for complying with the Florida Trench Safety Act (90-96, Laws of Florida) effective October 1, 1990. The Proposer further identifies the costs as follows:

Type of Trench Safety Mechanism	Quantity	Unit Cost ¹	Item Total Cost
Sloping or trench box	10,783	1.00	10,783.00
Project Total			\$10,783.00

Dated this 15th day of May, 2020.

Proposer: Sandco, LLC

By: Behzad Ghazvini
Title: Manager

STATE OF FLORIDA
COUNTY OF Leon

Sworn to (or affirmed) and subscribed before me by means of ☒ physical presence or ☐ online notarization this 15th day of May, 2020, by Behzad Ghazvini, of the Sandco, LLC who is ☒ personally known to me or ☐ who has produced _____ as identification, and who ☐ did or ☒ did not take an oath.

Constance B. Fletcher
Signature of Notary Public taking acknowledgement

My Commission Expires: _____

(SEAL)



¹ Use cost per linear square foot of trench excavation used and cost per square foot of shoring used.

AFFIDAVIT OF NON-COLLUSION
CANOPY COMMUNITY DEVELOPMENT DISTRICT
WELAUNEE BLVD. SEGMENT 3A AND SEGMENT 2 TURN LANES CONSTRUCTION PROJECT
TALLAHASSEE, FLORIDA

STATE OF FLORIDA
COUNTY OF Leon

I, Behzad Ghazvini, do hereby certify that I have not, either directly or indirectly, participated in collusion or proposal rigging. Affiant is a(n) Manager (officer or principal) in the firm of Sandco, LLC, and authorized to make this affidavit on behalf of the same. I understand that I am swearing or affirming under oath to the truthfulness of the claims made in this affidavit and that the punishment for knowingly making a false statement includes fines and/or imprisonment.

Dated this 15th day of May, 2020.



Signature by authorized representative of Proposer

STATE OF FLORIDA
COUNTY OF Leon

Sworn to (or affirmed) and subscribed before me by means of ☒ physical presence or ☐ online notarization this 15th day of May, 2020, by Behzad Ghazvini, of the Sandco, LLC who ☒ is personally known to me or ☐ who has produced _____ as identification, and who ☐ did or ☒ did not take an oath.



Signature of Notary Public taking acknowledgement

My Commission Expires:

(SEAL)



**CANOPY COMMUNITY DEVELOPMENT DISTRICT
CONSTRUCTION SERVICES
FOR
WELAUNEE BLVD. SEGMENT 3A AND SEGMENT 2 TURN LANES**

TAB 4

Project References And Qualifications

- ♦ Capital Cascades—Blue Print 2000 Intergovernmental Agency
- ♦ FDOT-SR 10 (US 90) Mahan Drive— Florida Department of Transportation
- ♦ Welaunee Boulevard Extension
- ♦ Canopy Unit I
- ♦ Orange Avenue Widening
- ♦ Capital Circle E-2
- ♦ Sandco's Qualifications

Capital Cascade Trail Seg. 2



727.520.8181
www.aerophoto.com

Capital Cascades Park

Image # 130104 2158
Date 01.04.13



Cascades Park is a large scale (30 Acre) stormwater management and park amenities project that is a key focal point of the downtown district. The key attributes for this project include significant surface and subsurface improvements including storm drainage (2,600 LF of 12x8 precast box culvert, 500 LF of 8x3.5 box culvert, and 6,400 LF of storm drain conveyance systems), sewer conveyance, potable water, two large stormwater ponds, two suspension bridges, traffic signalization, 3,000 seat amphitheater, sidewalks, irrigation, landscaping, hardscapes, decorative brick pavers, a granite paver map of Florida, retaining walls, metal sheetpile walls, restrooms, complex alum injection system to maintain clear water in the ponds, interactive water fountain with dancing jets of water synchronized to music, extensive electrical infrastructure and improvements/reconstruction of the surrounding roadways.



KEY FACTS

Location: Tallahassee, FL

Owner's Contact: Charles Hargraves

Project Manager

Blueprint 2000

(850) 219-1060



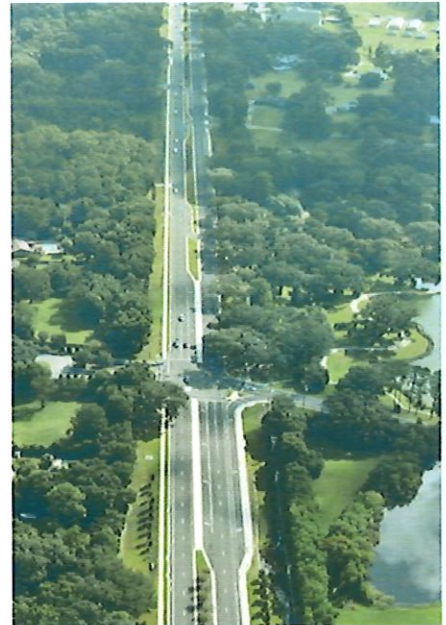
FDOT-SR 10 (US 90) Mahan Drive



777 511 1111
www.sandco.com

Roadwork CT090304 T3283
SR 10 - US 90

Image # 130904 2044
Date 09.04.18



777 511 1111
www.sandco.com

Roadwork CT090304 T3283
SR 10 - US 90

Image # 130904 2044
Date 09.04.18

Reconstructed main thoroughfare, adding lanes, stormwater management facilities, underground utilities and repaving. This project covered nearly 4 miles of highly trafficked urban roadway, requiring installation of over **6 miles of stormwater pipe, 246,000 CY of earthwork/embankment, a 12 acre stormwater pond**, building a 22' median with significant landscape improvements and plantings, two additional lanes on the Northern section of the road, a 5' straight sidewalk on the north side of the road, and a meandering 5'-10' sidewalk on the south side. Construction of a two lane bridge over an existing creek that was constructed with zero deficiencies with tolerances as low as 0.1". Additional signalization and intersection improvements were included to increase safety and traffic flow. Special attention was paid to the preservation of significant trees, minimizing all impacts to the environment and controlling access to increase safety. All of the roadway was designed and constructed within existing right-of-way. The project was completed 6 months ahead of the original schedule.

KEY FACTS

Location: Dempsey Mayo—Apex Dr.

Tallahassee, FL

Owner's Contact: Gabriella Corbin

Midway Area Operations

FDOT

Architect: Greg Wilson

Parsons Brinckerhoff

2633 Mahan Dr., Tallahassee, FL

(850)942-7153



Welaunee Boulevard Extension

TALLAHASSEE, FLORIDA

Welaunee Boulevard serves as the entrance to the Canopy development that is part of the Canopy Community Development District and is an essential piece of long-term roadway infrastructure for the Northeast Gateway. It will help alleviate congestion and provide direct access to Interstate 10. This phase of the project included road, curb & gutter, landscaping, sidewalks, multi-use trail, water mains, sewer mains, and storm infrastructure and was finished ahead of schedule. The proposed Welaunee Boulevard Segment 3A project will connect directly to this project.



Key Facts

Location: Canopy CDD, Tallahassee, FL

Owner's Contact: Tim Stackhouse, P.E.
Canopy CDD
135 W Central Blvd, Suite 320
Orlando, Florida 32801
(407) 841-5524

Engineer: Greenman-Pedersen, Inc.
1590 Village Square Blvd
Tallahassee, Florida 32309



Canopy Unit I

Canopy CDD, Tallahassee, FL



Canopy is a planned community located on the east side of Tallahassee, Florida. It is a part of the Canopy Community Development District which is a local, special purpose government entity created as an alternative method of planning, acquiring, operating, and maintaining community-wide improvements in planned communities. Canopy Unit 1 included the roads, water, sewer, and storm infrastructure for a 110-unit single family residential subdivision with three commercial developments and one multi-family residential development. This project also included the construction of the large stormwater management facility known as Pond 2 to serve multiple phases of the Canopy development.

Key Facts

Location: Canopy CDD, Tallahassee, FL

Owner's Contact: Tim Stackhouse, P.E.
135 W Central Blvd,
Suite 320
Orlando, Florida 32801
(407) 841-5524

Engineer: Greenman-Pedersen, Inc.
1590 Village Square Blvd
Tallahassee, Florida 32309



ORANGE AVENUE WIDENING

Widened existing two-lane road to four lanes through urban and residential areas from South Monroe Street to Blair Stone Road. The project included approximately 10,500 linear feet of 6-ft x14-ft box culverts, storm drainage, sanitary sewer, potable water, sidewalks, curb and gutter, and landscaping in addition to the road widening. The challenges on this project included installing a double run of large box culverts in a major drainage ditch, relocating utilities including a 36-inch diameter sewer main, and constructing the west bound lanes on top of the box culverts.



Key Facts

Location: Tallahassee, FL

Owner's Contact: Charles Wu, P.E.
Leon County Public Works
2280 Miccosukee Road
Tallahassee, FL 32308
PHONE: (850) 606-1500



Sandco Qualifications



The full resources of Sandco are local and will be available to facilitate every project, including:

- ♦ A heavy mechanic shop to ensure the continual maintenance and immediate repair of its broad inventory of heavy equipment, machinery and trucks necessary to perform all aspects of a project.

- ♦ A truck yard which dispatches our fleet dump trucks, trash trucks and low boy tractor/trailers dedicated to the timely mobilization and repair of Sandco equipment and reducing the need for third-party haulers.



- ♦ Several Construction and Demolition landfill sites and borrow pits, fully permitted and which meet or surpass all of the environmental and regulatory requirements.

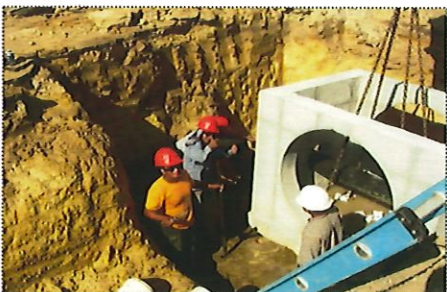
- ♦ Sandco has a diverse staff of about 75 employees who provide the professional breadth and depth required for any project. Key management, administrative and supervisory staff are well qualified, have many years of experience and are personally well-known to city and county officials for the high quality of their work and their detailed knowledge of excavation and sitework, stormwater and utility services, roadway and building construction.



- ♦ Sandco has extensive experience managing projects in a variety of settings, from residential to commercial and in a variety of high-traffic, congested conditions. Sandco has successfully completed projects ranging in value from \$100,000 to over \$30 Million. Sandco has never failed to complete any project and all projects have been completed in accordance with the contractual agreement. Sandco has filed no claims for extra time or money.



- ♦ Sandco takes great pride in timely or early completion of projects and has supervisory incentives established to encourage this pursuit. Sandco's reputation for high quality work performance and early completion of projects is a testament to the team's familiarity with construction techniques, trade standards, project management and cost control.



Sandco is prequalified with the Leon County School Board, the Florida Department of Transportation, and the City of Tallahassee. The Utility Services with which Sandco is most familiar include underground utility excavation, installation and repair, CCTV Inspection, Sanitary Sewer Pipe Cleaning Services and CIPP Lining.

Sandco Qualifications

Sandco Qualifications, Continued

Utility Installation & Relocation Experience: As a Certified Underground Utility Contractor Sandco has a wealth of experience to substantiate its success in this arena. Sandco has redirected many sections of 36" live sewer mains with sewer bypasses such as those on the *Orange Avenue* projects and the *TCC Parking Garage* project. In Live Oak, Sandco installed a force main and 12" water main approximately 100,000 LF from the state prison on the side of Hwy. 90. The *Blair Stone Road Extension* projects also included new road construction and road improvements with intersection modifications, widening, paving, and underground utilities. Sandco installed and relocated major underground utilities for the *Blueprint 2000-E2 project*, the DOT project on *Mahan Dr.*, and most recently Tallahassee's signature park and urban stormwater drainage facility *Capital Cascade Park*.

Roadway Project Experience: Sandco's local reputation for exceptional quality and safety in roadway construction, realignment and improvements is well established. Sandco has completed projects on most of the major arteries in Leon County and installed a large portion of the residential roadways as well. *US90/Mahan Dr.* (\$27 Million), *Capital Circle SE -E2* (\$19 million), several phases of *Orange Avenue* (Monroe – Blair Stone & Blair Stone to Capital Circle), and multiple phases of improvements, realignment & construction on *Appleyard & Mission Road* (from Jackson Bluff Rd. to Fred George Rd.) are all testament to Sandco's commitment to quality. Sandco has also performed all of the improvements on *Blair Stone Road* from Orange Ave. to Capital Circle SW. The *Conner Boulevard* project as well as the *Mahan Dr/US 90 DOT* project including roadway construction and realignment in a high traffic intersection and school zones, including widening, paving, stormwater management, underground utilities – demonstrating Sandco's focus on safety and commitment to Tallahassee's traveling public.

Building Construction: Sandco's Manager, Steve Ghazvini, has extensive experience managing a variety of building construction projects. These projects are both residential and commercial and include everything from sitework to mechanical, electrical, structural roofing and plumbing. Many of the projects include beautiful landscape and hardscape features, like world class *Capital Cascade Park*, *Lincoln High School's* Entry Plaza and beautiful Stormwater Improvement Educational Facility (approx. \$30 million total), the amphitheater at *S.A.I.L. School* and the new *Capital Circle Office Complex* project (\$100 million).



**CANOPY COMMUNITY DEVELOPMENT DISTRICT
CONSTRUCTION SERVICES
FOR
WELAUNEE BLVD. SEGMENT 3A AND SEGMENT 2 TURN LANES**

TAB 5

Sandco Organization Documents

- ♦ Executive Summary
- ♦ Sandco Past Experience
- ♦ Occupational Safety Program
- ♦ Equal Employment Opportunity
- ♦ Behzad Ghazvini—General Contractor License
- ♦ Behzad Ghazvini—Underground Utility License
- ♦ FDOT Certificate of Qualification
- ♦ City of Tallahassee Qualification
- ♦ Division of Corporations Filing
- ♦ W-9 Taxpayer Identification Number
- ♦ Surety Letter
- ♦ Sample Certificate of Insurance

EXECUTIVE SUMMARY



Sandco Corporate Headquarters:

4708 Capital Circle N.W.

Tallahassee, Florida 32303

Phone: (850) 402-1111

Fax: (850)402-7674

Sandco was established as a Florida Corporation in 1987. Originating as a family-owned company, it has recognized steady growth and a growing commitment to the community that has contributed so much to the Sandco success. Continued growth has caused Sandco to outgrow several offices in Tallahassee over the years. In 2008, Sandco constructed a new facility on Capital Circle NW which accommodates the business, mechanical and field operation headquarters. With the winning combination of an outstanding team and consolidated headquarters, Sandco is operating more efficiently than ever.

The Sandco business structure is reflected in its team leader and Manager, Behzad (Steve) Ghazvini. Communication will always be straight forward and direct and with those at the top levels. This creates a one-stop contact with the owner's team to facilitate clear communication, rapid decision-making and accountability. Steve holds both the Certified Underground Utility and Certified General Contractor licenses which qualify Sandco.

Sandco officers, employees and their families are also members of the greater Tallahassee community. The quality of their work reflects their interest in preserving and advancing the excellent quality of life our families have come to enjoy. Sandco operates with the heart of a family. Sandco's commitment to its employees through good times and bad has created a strong, loyal and hard-working team, many of whom have worked for the company since it started over 30 years ago. Even during difficult economic times, Sandco maintained a workforce of nearly 80 employees.

Sandco has a wealth of experience to substantiate its success. In house services include sitework, excavation, drainage, fencing, flexible paving, grading, grassing, seeding & sodding, guardrail, hot-plant mix bituminous courses, roadway construction, underground utilities, including storm water, sewer, CCTV Inspection and sanitary sewer pipe cleaning services. As a Certified General Contractor, Sandco is dedicated to providing quality work and has a comprehensive and available subcontractor network. All firms used on every project are fully licensed with the State of Florida and pre-qualified for the required Work Groups in their respective fields.

Sandco appreciates the opportunity to submit our Proposal for the Construction of Services for the We-launee Boulevard Segment 3A and Segment 2 Turn Lanes project comprised of streets, drainage and underground utilities.

EXECUTIVE SUMMARY

Sandco has an experienced team and an organizational structure that will produce bottom line benefits that can only come from *consistent performance, accountability, personal service* and *early project completion*. Sandco is an obvious choice to construct this project because:

- It is an established Certified General and Underground Utility Contractor with a history of service in the panhandle since 1987, serving a diverse customer base in a multitude of FDOT, municipal and private projects;
- Its experienced professional team is well known to local permitting officials with established lines of communication in place;
- It has a reputation of quality performance and early project completion;
- It is a strong community partner with a local work force of about 95 employees;

The Sandco Team leadership provides hands-on involvement, accessibility and a functional structure that facilitates responsibility, clear communication, rapid decision-making and accountability. Our Team has proven management and technical expertise that offers a combination of strengths to provide the broad spectrum of contractor services that you may require. Sandco is not just familiar with state and local policies, procedures, permitting processes, etc.—it has an established communication network with municipal officials throughout the greater Tallahassee area which will greatly facilitate any project.

Our manpower for this project includes personnel from employees working and living in the four county area of Leon, Wakulla, Jefferson and Gadsden Counties.

Our key members who will be directly involved with this project are listed as follows:

Manager — Steve Ghazvini (850-251-8139)

Assistant Manager – Justin Hosey, P.E. (850-566-3993)

Project Engineer/Estimator— Robert Myrick (850-251-8148)

Sr. Project Manager—Charles Field (850-251-8186)

Project Manager—Mike Conner, P.E. (850-545-5952)

Superintendent— Buddy Watley (850-251-8205)

Superintendent – Chris Watley (850-519-2952)

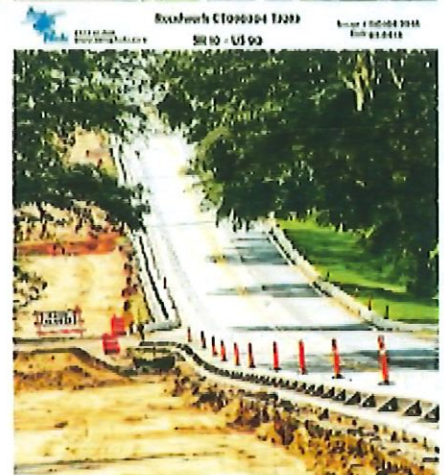
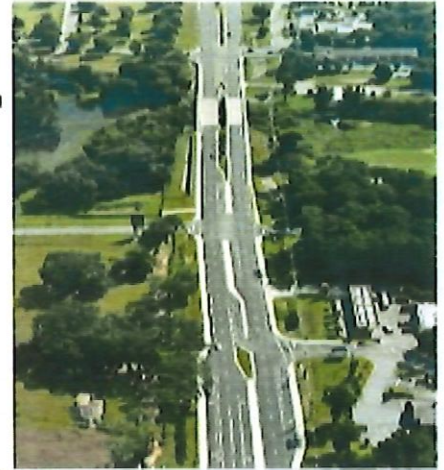


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Occupational Safety Program

Sandco is serious about protecting the safety of this loyal team of employees as well as the Tallahassee community and the traveling public. We have developed our own comprehensive Safety Manual to address both the standard and occupational safety practices unique to Sandco. This manual is provided to project owner and engineers as part of Sandco's preconstruction process. It is also issued to every supervisor and provides the basis of ongoing employee training throughout the year.

Sandco has an excellent safety rating of .99 and has no OSHA violations; due in large part to our emphasis on employee training and certification. Our on-site Risk Manager, Dan Dombrowski, provides weekly job-site inspections, facilitates safety training, and oversees the Sandco Safety Program which distributes thousands of dollars in employee safety incentives each year. Sandco's annual 'Safety First' program is held each March and has become a unique event, offering general policy & procedure updates and specialized training that all employees enjoy. Employees are recognized for their years of service and special contributions to Sandco's quality of service and safety.



Annual "Safety First" Event



Doug Lemacks received "25 Year Service Award"



Door Prize Received by Sandco Employee
Buddy Watley



Safety Presentation by Jason Marconnet.



Equal Employment Opportunity

It is the policy of SANDCO, LLC, to comply and cooperate with all applicable regulations of the Equal Employment Opportunity Provisions of the Civil Rights Act of 1964, Presidential Executive Order 11246, the Rehabilitation Act of 1973 (29 U.S.C. 793), the Americans with Disabilities Act (ADA) of 6/26/90, and the Vietnam Era Veterans Readjustment Assistance Act of 1972, all as amended. This policy pertains, as far as the responsibility of this company is concerned, to any arrangement under which employees, including trainees, are selected for work.

It is the policy of SANDCO, LLC, not to discriminate against any employee or applicant for employment because of race, religion, color, age, sex, national origin, disabilities, or Vietnam Era and Special Disabled Veteran status. This company will take affirmative action to insure an equal employment opportunity to all qualified persons, and that employees are treated equally during employment without regard to their race, religion, color, age, national origin, disabilities, or Vietnam Era and Special Disabled Veterans status. Such action shall include, but not be limited to:

Employment upgrading, demotion, or transfer.

Recruitment or recruitment advertising.

Layoff or termination.

Rates of pay or other form of compensation.

Selection for training, including apprenticeship, pre-apprenticeship, and/or on-the-job training.

Lynn Higgins has been named the Equal Employment Opportunity Officer for SANDCO, LLC. Lynn Higgins will have the responsibility for effectively administering and promoting an active program of equal employment opportunity within the company. Lynn Higgins will coordinate the EEO efforts of superintendents, supervisors, foreman and others in the position of hiring personnel. She will make recommendations, where appropriate, to correct any deficiencies found in the company's program.



Behzad Ghazvini, Manager

SANDCO, LLC





**STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION**

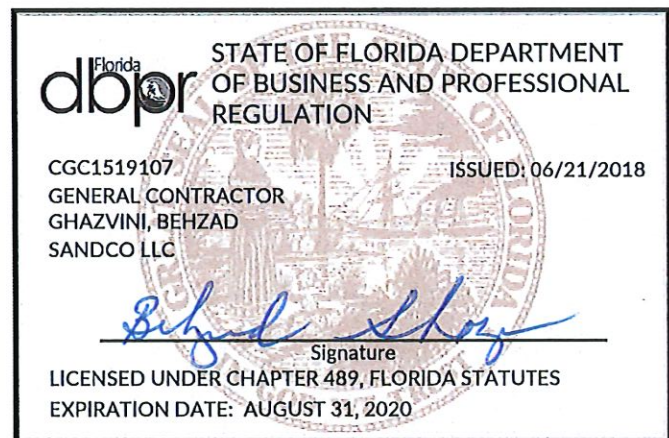
CONSTRUCTION INDUSTRY LICENSING BOARD
2601 BLAIR STONE ROAD
TALLAHASSEE FL 32399-0783

(850) 487-1395

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Every day we work to improve the way we do business in order to serve you better. For information about our services, please log onto www.myfloridalicense.com. There you can find more information about our divisions and the regulations that impact you, subscribe to department newsletters and learn more about the Department's initiatives.

Our mission at the Department is: License Efficiently, Regulate Fairly. We constantly strive to serve you better so that you can serve your customers. Thank you for doing business in Florida, and congratulations on your new license!



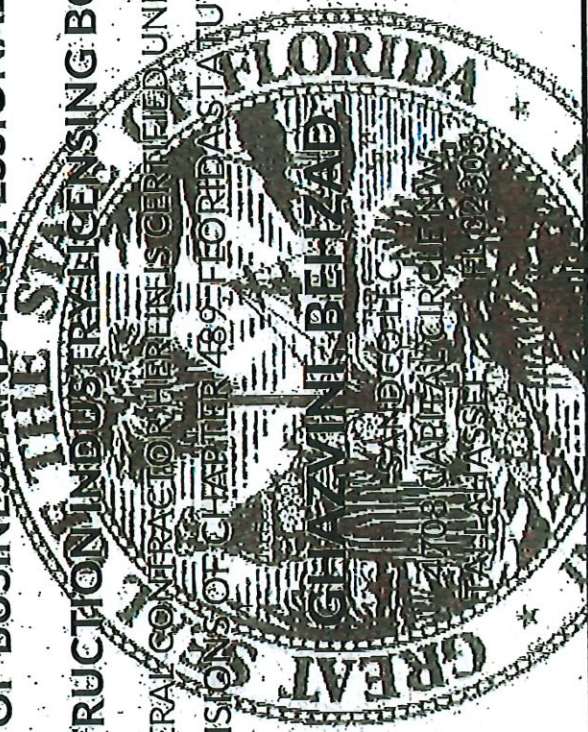
RICK SCOTT, GOVERNOR

JONATHAN ZAGHEM, SECRETARY



STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

THE GENERAL CONTRACTOR HEREIN IS CERTIFIED UNDER THE
PROVISIONS OF CHAPTER 489, FLORIDA STATUTES



LICENSE NUMBER: CGC 1519467

EXPIRATION DATE: AUGUST 31, 2020

Always verify licenses online at MyFloridaLicense.com



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This is your license. It is unlawful for anyone other than the licensee to use this document.



**STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION**

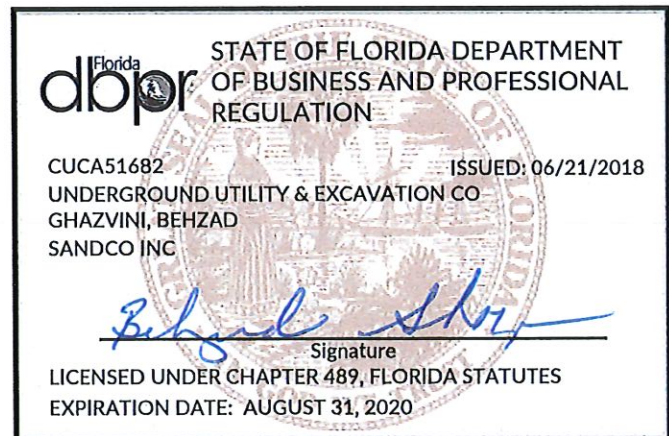
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Every day we work to improve the way we do business in order to serve you better. For information about our services, please log onto www.myfloridalicense.com. There you can find more information about our divisions and the regulations that impact you, subscribe to department newsletters and learn more about the Department's initiatives.

Our mission at the Department is: License Efficiently, Regulate Fairly. We constantly strive to serve you better so that you can serve your customers. Thank you for doing business in Florida, and congratulations on your new license!



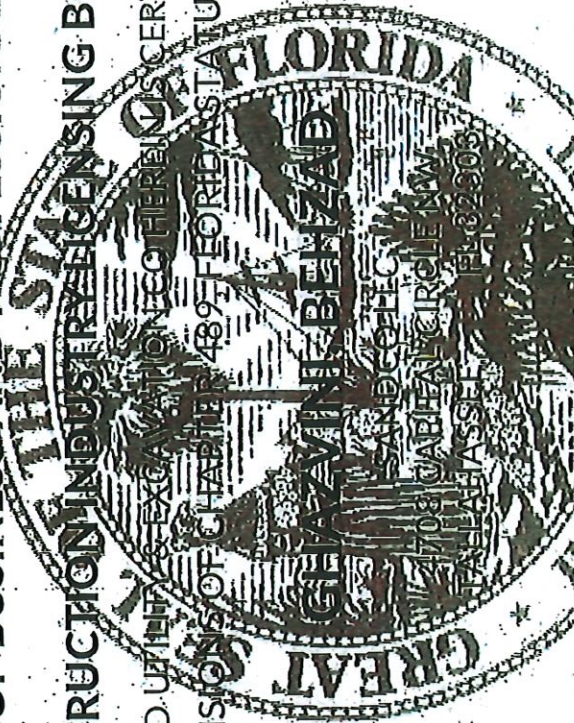
RICK SCOTT, GOVERNOR

JONATHAN ZACHEM, SECRETARY



STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

THE UNDERGROUND UTILITIES EXCAVATION TECHNICIANS CERTIFIED UNDER THE
PROVISIONS OF CHAPTER 489, FLORIDA STATUTES



LICENSE NUMBER: CU0051682

EXPIRATION DATE: AUGUST 31, 2020

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Do not alter this document in any form.

This is your license. It is unlawful for anyone other than the licensee to use this document.





Florida Department of Transportation

RON DESANTIS
GOVERNOR

605 Suwannee Street
Tallahassee, FL 32399-0450

KEVIN J. THIBAUT, P.E.
SECRETARY

April 13, 2020

SANDCO LLC
4708 CAPITAL CIRCLE, NW
TALLAHASSEE, FLORIDA 32303

RE: CERTIFICATE OF QUALIFICATION

Dear Sir/Madam:

The Department of Transportation has qualified your company for the type of work indicated below. Unless your company is notified otherwise, this Certificate of Qualification will expire 6/30/2021. However, the new application is due 4/30/2021.

In accordance with S.337.14 (1) F.S. your next application must be filed within (4) months of the ending date of the applicant's audited annual financial statements.

If your company's maximum capacity has been revised, you can access it by logging into the Contractor Prequalification Application System via the following link:
[HTTPS://fdotwp1.dot.state.fl.us/ContractorPreQualification/](https://fdotwp1.dot.state.fl.us/ContractorPreQualification/)

Once logged in, select "View" for the most recently approved application, and then click the "Manage" and "Application Summary" tabs.

FDOT APPROVED WORK CLASSES:

DRAINAGE, FENCING, FLEXIBLE PAVING, GRADING, GRASSING, SEEDING AND SODDING, GUARDRAIL, HOT PLANT-MIXED BITUM. COURSES, MINOR BRIDGES, UNDERGROUND UTILITIES (WATER & SEWER)

You may apply for a Revised Certificate of Qualification at any time prior to the expiration date of this certificate according to Section 14-22.0041(3), Florida Administrative Code (F.A.C.), by accessing your most recently approved application as shown above and choosing "Update" instead of "View." If certification in additional classes of work is desired, documentation is needed to show that your company has done such work with your own forces and equipment or that experience was gained with another contractor and that you have the necessary equipment for each additional class of work requested.

All prequalified contractors are required by Section 14-22.006(3), F.A.C., to certify their work underway monthly in order to adjust maximum bidding capacity to available bidding capacity. You can find the link to this report at the website shown above.

Sincerely,

Alan Autry, Manager
Contracts Administration Office

AA:cs



April 10, 2018

Behzad Ghazvini
Sandco LLC
4708 Capital Circle NW
Tallahassee, FL 32303

Dear Mr. Ghazvini:

The City of Tallahassee has completed its review of your pre-qualification application and is pleased to inform you that your application has been approved. You have been pre-qualified in the following categories, with an unlimited bid threshold:

- Roads/Streets
- Underground Utilities/Excavation

Your pre-qualification status will expire on June 1, 2020. If you wish to remain on our list of pre-qualified bidders, you must re-apply at least 60 days prior to this expiration date. PLEASE NOTE: You must maintain a current FDOT Certification of Qualification in order to remain qualified to bid City projects in the Roads/Streets category.

Thank you for your interest in bidding City of Tallahassee construction projects. We look forward to working with you in the future. If you have any questions or comments regarding this matter, please feel free to call me at 891-2870.

Sincerely,

Kenneth Wade

Kenneth Wade
Prequalification Administrator
City of Tallahassee / Underground Utility / Public Infrastructure

cc: Eric Houge, Construction Program Engineer

[Florida Department of State](#)

DIVISION OF CORPORATIONS

[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Detail By Document Number](#) /**Detail by Entity Name**

Florida Limited Liability Company

SANDCO LLC

Filing Information**Document Number** L11000068040**FEI/EIN Number** 45-2536099**Date Filed** 06/10/2011**State** FL**Status** ACTIVE**Principal Address**4708 CAPITAL CIRCLE N.W.
TALLAHASSEE, FL 32303-7217**Mailing Address**4708 CAPITAL CIRCLE N.W.
TALLAHASSEE, FL 32303-7217**Registered Agent Name & Address**PIERCE, ROBERT A
123 SOUTH CALHOUN STREET
TALLAHASSEE, FL 32301-1517**Authorized Person(s) Detail****Name & Address**

Title MGR

GHAZVINI, BEHZAD
4708 CAPITAL CIRCLE N.W.
TALLAHASSEE, FL 32303-7217

Title MGR

GHAZVINI, MEHRAN
4708 CAPITAL CIRCLE N.W.
TALLAHASSEE, FL 32303-7217

Title Manager

Ghazvini, Jason
4708 CAPITAL CIRCLE N.W.
TALLAHASSEE, FL 32303-7217

Annual Reports

Report Year	Filed Date
2018	02/09/2018
2019	03/21/2019
2020	03/02/2020

Document Images

03/02/2020 – ANNUAL REPORT	View image in PDF format
03/21/2019 – ANNUAL REPORT	View image in PDF format
02/09/2018 – ANNUAL REPORT	View image in PDF format
07/19/2017 – AMENDED ANNUAL REPORT	View image in PDF format
02/27/2017 – ANNUAL REPORT	View image in PDF format
04/26/2016 – ANNUAL REPORT	View image in PDF format
02/23/2015 – ANNUAL REPORT	View image in PDF format
04/24/2014 – ANNUAL REPORT	View image in PDF format
03/26/2013 – ANNUAL REPORT	View image in PDF format
07/05/2012 – ANNUAL REPORT	View image in PDF format
06/10/2011 – Florida Limited Liability	View image in PDF format

Florida Department of State, Division of Corporations

2020 FLORIDA LIMITED LIABILITY COMPANY ANNUAL REPORT

DOCUMENT# L11000068040

Entity Name: SANDCO LLC

Current Principal Place of Business:

4708 CAPITAL CIRCLE N.W.
TALLAHASSEE, FL 32303-7217

Current Mailing Address:

4708 CAPITAL CIRCLE N.W.
TALLAHASSEE, FL 32303-7217

FEI Number: 45-2536099

Certificate of Status Desired: Yes

Name and Address of Current Registered Agent:

PIERCE, ROBERT A
123 SOUTH CALHOUN STREET
TALLAHASSEE, FL 32301-1517 US

The above named entity submits this statement for the purpose of changing its registered office or registered agent, or both, in the State of Florida.

SIGNATURE:

Electronic Signature of Registered Agent

Date

Authorized Person(s) Detail :

Title MGR
Name GHAZVINI, BEHZAD
Address 4708 CAPITAL CIRCLE N.W.
City-State-Zip: TALLAHASSEE FL 32303-7217

Title MGR
Name GHAZVINI, MEHRAN
Address 4708 CAPITAL CIRCLE N.W.
City-State-Zip: TALLAHASSEE FL 32303-7217

Title MANAGER
Name GHAZVINI, JASON
Address 4708 CAPITAL CIRCLE N.W.
City-State-Zip: TALLAHASSEE FL 32303-7217

I hereby certify that the information indicated on this report or supplemental report is true and accurate and that my electronic signature shall have the same legal effect as if made under oath; that I am a managing member or manager of the limited liability company or the receiver or trustee empowered to execute this report as required by Chapter 605, Florida Statutes; and that my name appears above, or on an attachment with all other like empowered.

SIGNATURE: JASON GHAZVINI

MANAGER

03/02/2020

Electronic Signature of Signing Authorized Person(s) Detail

Date

W-9 Identification Number

Form **W-9**
(Rev. December 2014)
Department of the Treasury
Internal Revenue Service

Request for Taxpayer Identification Number and Certification

Give Form to the
requester. Do not
send to the IRS.

Print or type
see Specific Instructions on page 2.

1 Name (as shown on your income tax return). Name is required on this line; do not leave this line blank.

Sandco, LLC

2 Business name/disregarded entity name, if different from above

3

4 Check appropriate box for federal tax classification; check only one of the following seven boxes:

☐ Individual sole proprietor or
single-member LLC

☐ S Corporation

☐ C Corporation

☐ Partnership

☐ Trust/estate

☒ Limited liability company. Enter the tax classification (C=C corporation, S=S corporation, P=partnership) **P**

Note: For a single-member LLC that is disregarded, do not check LLC; check the appropriate box in the line above for the tax classification of the single-member owner.

☐ Other (see instructions) **P**

4 Exemptions (codes apply only to certain entities, not individuals; see instructions on page 3):

Exempt payee code (if any)

Exemption from FATCA reporting code (if any)

(Applies to accounts maintained outside the U.S.)

5 Address (number, street, and apt. or suite no.)

4708 Capital Circle NW

Requester's name and address (optional)

6 City, state, and ZIP code

Tallahassee, FL

7 List account number(s) here (optional)

Part I Taxpayer Identification Number (TIN)

Enter your TIN in the appropriate box. The TIN provided must match the name given on line 1 to avoid backup withholding. For individuals, this is generally your social security number (SSN). However, for a resident alien, sole proprietor, or disregarded entity, see the Part I Instructions on page 3. For other entities, it is your employer identification number (EIN). If you do not have a number, see *How to get a TIN* on page 3.

Note: If the account is in more than one name, see the instructions for line 1 and the chart on page 4 for guidelines on whose number to enter.

Social security number

-

OR

Employer identification number

-

Part II Certification

Under penalties of perjury, I certify that:

- The number shown on this form is my correct taxpayer identification number (or I am waiting for a number to be issued to me); and
- I am not subject to backup withholding because: (a) I am exempt from backup withholding, or (b) I have not been notified by the Internal Revenue Service (IRS) that I am subject to backup withholding as a result of a failure to report all interest or dividends, or (c) the IRS has notified me that I am no longer subject to backup withholding; and
- I am a U.S. citizen or other U.S. person (defined below); and
- The FATCA code(s) entered on this form (if any) indicating that I am exempt from FATCA reporting is correct.

Certification instructions. You must cross out item 2 above if you have been notified by the IRS that you are currently subject to backup withholding because you have failed to report all interest and dividends on your tax return. For real estate transactions, item 2 does not apply. For mortgage interest paid, acquisition or abandonment of secured property, cancellation of debt, contributions to an individual retirement arrangement (IRA), and generally, payments other than interest and dividends, you are not required to sign the certification, but you must provide your correct TIN. See the instructions on page 3.

Sign
Here

Signature of
U.S. person

Cornie Fletcher

Date **May 15, 2020**

General Instructions

Section references are to the Internal Revenue Code unless otherwise noted.

Future developments. Information about developments affecting Form W-9 (such as legislation enacted after we release it) is at www.irs.gov/form990.

Purpose of Form

An individual or entity (Form W-9 requester) who is required to file an information return with the IRS must obtain your correct taxpayer identification number (TIN), which may be your social security number (SSN), individual taxpayer identification number (ITIN), adoption taxpayer identification number (ATIN), or employer identification number (EIN), to report on an information return the amount paid to you, or other amount reportable on an information return. Examples of information returns include, but are not limited to, the following:

- Form 1099-INT (interest earned or paid)
- Form 1099-DIV (dividends, including those from stocks or mutual funds)
- Form 1099-MISC (various types of income, prizes, awards, or gross proceeds)
- Form 1099-B (stock or mutual fund sales and certain other transactions by brokers)
- Form 1099-S (proceeds from real estate transactions)
- Form 1099-K (merchant card and third party network transactions)

- Form 1098 (home mortgage interest), 1098-E (student loan interest), 1098-T (tuition)
- Form 1099-G (canceled debt)
- Form 1099-A (acquisition or abandonment of secured property)

Use Form W-9 only if you are a U.S. person (including a resident alien), to provide your correct TIN.

If you do not return Form W-9 to the requester with a TIN, you might be subject to backup withholding. See *What is backup withholding?* on page 2.

By signing the filled-out form, you:

- Certify that the TIN you are giving is correct (or you are waiting for a number to be issued).
- Certify that you are not subject to backup withholding, or
- Claim exemption from backup withholding if you are a U.S. exempt payee. If applicable, you are also certifying that as a U.S. person, your allocable share of any partnership income from a U.S. trade or business is not subject to the withholding tax on foreign partners' share of effectively connected income, and
- Certify that FATCA code(s) entered on this form (if any) indicating that you are exempt from the FATCA reporting, is correct. See *What is FATCA reporting?* on page 2 for further information.

**NHC****NIELSON, WOJTOWICZ, NEU & ASSOCIATES**

A NIELSON HOOVER GROUP COMPANY

SMART. UNCOMPROMISING. TIMELY. EFFECTIVE. NIELSON, HOOVER & COMPANY, INC. SURETY SOLUTIONS THAT MAKE A DIFFERENCE.

December 3, 2019

RE: Sandco, LLC

To Whom It May Concern:

This is to advise you that our office provides Bid, Performance, and Payment Bonds for **Sandco, LLC** with **Aspen American Insurance Company**, which carries an AM Best Rating of **A XV** and is listed in the Department of the Treasury's Federal Register. The home office address is 175 Capital Boulevard, Suite 300, Rocky Hill, CT 06067.

Based upon normal and standard underwriting criteria at the time of the request, we should be in a position to provide Bid, Performance and Payment Bonds in the amount of **\$10,000,000** for a single project and **\$25,000,000** aggregately. We obviously reserve the right to review final contractual documents, bond forms and obtain satisfactory evidence of funding prior to final commitment to issue bonds, and we cannot assume liability to any third party, including you, if we do not execute said bonds.

Sandco, LLC is an excellent contractor and we hold them in highest regard. We are extremely confident in our contractor and encourage you to offer them an opportunity to execute any upcoming projects.

This letter is not an assumption of liability, nor is it a bid or performance and payment bond. It is issued only as a bonding reference requested by our respected client. We do not assume liability to any third party, including you, if we do not execute said bonds.

If you should have any questions, please do not hesitate to give me a call.

Sincerely,

Laura D. Mosholder
Producer
LDM/mas

ST. PETERSBURG

1000 Central Avenue, Suite 200, St. Petersburg, FL 33705
P: 727.209.1803 F: 727.209.1335

ASHEVILLE

66 Elizabeth Place, Asheville, NC 28801
P: 828.505.7431

www.nielsonbonds.com



SANDLLC-01

CARLA

CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

4/3/2020

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Earl Bacon Agency, Inc. Post Office Box 12039 Tallahassee, FL 32317	CONTACT NAME:	FAX (A/C, No): (850) 878-2128	
	PHONE (A/C, No, Ext): (850) 878-2121	E-MAIL ADDRESS:	
INSURED Sandco, LLC 4708 Capital Circle NW Tallahassee, FL 32303	INSURER(S) AFFORDING COVERAGE		NAIC #
	INSURER A: The Travelers Indemnity Company of America		25666
	INSURER B: Travelers Property Casualty Company of America		25674
	INSURER C: Builders Mutual Insurance Company		10844
	INSURER D: Ironshore Insurance, LTD		
	INSURER E:		
INSURER F:			

COVERAGES

CERTIFICATE NUMBER:

REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:			CO3N244118	4/1/2020	4/1/2021	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 300,000 MED EXP (Any one person) \$ 10,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000 EMPLOYEE BENEFIT \$ Included COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
A	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY			8103N223240	4/1/2020	4/1/2021	\$ \$ \$ \$ \$
B	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED <input checked="" type="checkbox"/> RETENTION \$ 10,000			CUP3N34872A	4/1/2020	4/1/2021	EACH OCCURRENCE \$ 5,000,000 AGGREGATE \$ 5,000,000 \$
C	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) <input type="checkbox"/> Y/N If yes, describe under DESCRIPTION OF OPERATIONS below	N/A		WCP1064482	4/1/2020	4/1/2021	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ 1,000,000 E.L. DISEASE - EA EMPLOYEE \$ 1,000,000 E.L. DISEASE - POLICY LIMIT \$ 1,000,000
D	Pollution Liability			000705410	9/28/2019	9/28/2020	Policy Aggregate 1,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

CERTIFICATE HOLDER

CANCELLATION

Sample Certificate of Insurance
For Information
Purposes Only

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

**CANOPY COMMUNITY DEVELOPMENT DISTRICT
CONSTRUCTION SERVICES
FOR
WELAUNEE BLVD. SEGMENT 3A AND SEGMENT 2 TURN LANES**

TAB 6

**Safety &
Employee Policy**

- ♦ Safety Policy
- ♦ EEO Policy Statement

Safety Program Administration Manual

Table of Contents

1. Vision
2. Safety Program Management
 - a. Management Leadership and Employee Involvement
 - b. Worksite Analysis
 - c. Hazard Prevention and Control
 - d. Emergency Contact Information – Key Personnel
 - e. Training
3. Safe Practices
 - a. Barricades
 - b. Blood Borne Pathogens
 - c. Competent Persons
 - d. Confined Space
 - e. Electrical
 - f. Emergency Procedures
 - g. Excavation
 - h. Fall Prevention
 - i. Fire Prevention
 - j. Hand and Power Tools
 - k. Hazard Communication
 - l. Housekeeping
 - m. Inspections
 - n. Ladders
 - o. Lock/Out Tag/Out
 - p. Material Handling
 - q. Medical Treatment
 - r. Mobile Equipment Operations
 - s. Motor Vehicle Policy
 - t. OSHA Compliance/Inspection
 - u. Painting
 - v. Personal Protective Equipment
 - w. Public Safety
 - x. Scaffolds
 - y. Workers Compensation Management
4. New Hire Orientation
5. Accident Investigation & Reporting

Safety Vision

Safety and Health in our business must be part of every operation. Without question, it is every employee's responsibility at all levels

It is the intent of Sandco, LLC. to comply with all laws. To do this, we must constantly be aware of conditions in all work areas that can produce injuries. No employee is required to work at a job they know is not safe. Your cooperation in detecting hazards and, in turn, controlling them, is a condition of your employment. Inform your supervisor immediately of any situation beyond your ability or authority to correct.

The personal safety and health of each employee of this company is of primary importance. Prevention of work related injuries and illnesses are of such consequence that it will be given precedence over operating productivity, whenever necessary.

We will maintain a safety and health program conforming to the best practices in the construction industry. To be successful, our program must embody proper attitudes towards injury and illness prevention on the part of supervisors and employees. It also requires cooperation in all safety and health matters, not only between supervisor and employee, but also between each employee and their co-workers. Only through such a cooperative effort can a safety and health program in the best interest of all, be established and preserved.

Our objective is a safety and health program that will reduce the number of injuries and illnesses, not merely in keeping with, but surpassing, the best construction companies in the industry.



Manager's Signature

1/2/2020

Date

Management Leadership & Employee Involvement

The management of Sandco, LLC. Believes that effective protection from the hazards associated with a construction project takes the leadership and commitment from top management. Management leadership provides the motivating force and the resources for organizing and controlling activities within the organization. The management of Sandco, LLC. Regards the safety and health of its employees and subcontractors as a fundamental value of the organization.

Sandco, LLC. Has established this safety and health program as a means to reduce or eliminate the hazards associated with construction, and to protect our employees and subcontractors from injury or incident. To achieve this goal the company will implement measure to demonstrate management's commitment to safety and to actively involve its employees in the safety process.

Visible Leadership

Management has the ultimate responsibility for the safety performance of Sandco, LLC. Operations. However, this responsibility must extend, as authority is delegated, in direct line through supervisors to the employees. Management must see to it that this responsibility is communicated to each of its supervisors and employees.

A good safety and health record for Sandco, LLC. Is clear evidence of good management? Managers and supervisors will be held accountable for accomplishing the following safety and health responsibilities:

- Support and enforce the Sandco, LLC. Safety policies.
- Provide safe work places and work environments.
- Ensure that management within the group has been delegated adequate safety and health responsibilities and authority, for which they are held accountable.
- Establish annual safety and health objectives.
- Include safety and health issues as part of the established agenda for scheduled supervisory staff meetings
- Review and approve all accident investigation reports to ensure corrective actions have been implemented.
- Monitor safety inspection reports to ensure an acceptable level of quality and implementation of corrective measures.

Safety Program Management

ISSUE DATE: 07/04
REVISION: 06/2019

- By personal example, communicate and demonstrate to employees the importance of working safe.
- Be knowledgeable of all General Safety Rules and Safe Work Practices, and enforce them as they apply to the area of supervisory responsibility.
- Enforce the wearing of required personal protective equipment.
- Insist upon good housekeeping practices.
- Ensure that all employees understand and properly follow work procedures that are established for their safety.
- Instruct each new employee on the hazards of the job or task that the employee will be assigned.
- Plan, organize, and conduct effective toolbox safety meetings.

Employee Involvement

Employee involvement provides the means through which workers develop and express their own commitment to safety and health, for both themselves and their fellow workers. The front line employees are the persons most in contact with potential safety and health hazards. They have a vested interest in effective protection programs. Employees are more likely to support and use programs in which they have input.

Each employee has a responsibility toward his own safety, but likewise, he has responsibility to family, co-workers, and to Sandco, LLC.

In the performance of his duties, therefore, he shall be expected to observe safety rules, practices and procedures, as well as instructions related to the efficient performance of his work. The ideal in safe and efficient construction/industrial operation is reached only when all employees are safety conscious and keenly alert both mentally and physically.

Employees are to be held accountable for the following safety and health responsibilities:

- Comply with instruction of supervisors, and abide by all safety rules, practices, and procedures.
- Report all accidents, injuries, and near-miss incidents to direct supervision and cooperate with investigation efforts.

Safety Program Management

ISSUE DATE: 07/04
REVISION: 06/2019

- Submit recommendations for safety and efficiency.
- Know their exact duties in case of fire or emergency situations.
- Maintain their physical work area in a neat and orderly manner, and report hazards immediately to direct supervision.
- Attend periodic toolbox meetings conducted by supervisors and be accountable for applying increased safety knowledge to work habits.

Subcontractor Involvement

Subcontractors are important to the construction process and the involvement of subcontractors and their employees in the safety program is vital to the safety performance of the project.

To maintain safety consistency throughout the project workforce each subcontractor will meet the requirements of the subcontractor safety agreement that is a part of each subcontract document.

Subcontractors will be held accountable for the following safety and health responsibilities:

- Report all incidents and accidents directly to the Sandco, LLC. Supervisor and provide a copy of the investigation report of any injury or property damage incident.
- Know their exact duties in case of fire or emergency situations.
- Maintain their physical work area in a neat and orderly manner, and report hazards immediately to direct supervision.
- Attend periodic toolbox safety meetings conducted by Sandco, LLC. Supervision.

Worksite Analysis

Sandco, LLC. Believes that worksite analysis is a proactive means to ensure that the workplace is free of unsafe conditions. These worksite hazard analyses involve a variety of examinations to identify not only existing hazards, but also conditions and operations in which changes might create hazards. Management and supervision should actively monitor areas of responsibility on a continuous basis and take immediate corrective action to correct unsafe behaviors and conditions. Hazard analysis can be conducted throughout the project, starting in the pre-bid phase to ensure adequate resources are made available to eliminate or protect employees from the hazard.

The Company's plan to identify worksite hazards includes:

- Conduct a survey of safety and health on each project.
- Perform routine job specific hazard inspections.
- Conduct periodic safety inspections of the workplace.

These three major actions form the basis from which good hazard prevention and control will be developed on each project.

Hazards that Escape Controls

After hazards are recognized and controls are put in place, additional tools will be used to ensure that the controls stay in place and other hazards don't appear. These other tools include:

- Employee and subcontractor reports of hazards
- Accident and incident investigations
- Injury and inspection hazard trend analysis

Sandco, LLC. Will make timely and appropriate action where valid concerns exist and respond to the employee or subcontractor making the report of actions taken.

Employee and Subcontractor Reports of Hazards

Employees and subcontractors play a key role in discovering and controlling hazards that may develop – or that already exist – in the workplace – Employee and subcontractor reporting of unsafe conditions, near misses, and injuries is an important element of an effective safety and health system. Sandco, LLC. Encourages employees and subcontractors to report unsafe incidents to their supervisor without fear of retaliation from supervision or fellow workers. When hazards are reported, the company will make timely and appropriate action where valid concerns exists and respond to the employee or subcontractor making the report of actions taken.

Accident/Incident Investigation

Accident/incident investigation is another tool used for uncovering hazards that were missed earlier or that slipped by the planned controls. But it's only useful when the process is positive and focuses on finding the root cause, not someone to blame!

All accidents and incidents should be investigated. "Near-misses" are considered an incident, because, given a slight change in time or position, injury or damage could have occurred.

Six key questions should be answered in the accident investigation and report: who, what, when, where, why, and how. An accident investigation should include thorough interviews with everyone involved.

The primary purpose of the accident/incident investigation is to prevent future occurrences. Therefore, the results of the investigation should be used to initiate corrective action.

Injury and Inspection Hazard Trend Analysis

the final action used under Worksite Analysis is analysis of injury and inspection hazard trends over time, so that patterns with common causes can be identified and prevented. Review of the injury and inspection forms is the most common form of pattern analysis.

- Injury Records Analysis:
- Since there must be enough information for patterns to emerge, multiple short term projects may be analyzed to find useful trends
- When analyzing injury and inspection hazard records, look for similar injuries and hazards. These generally indicate a lack of hazard controls.

Hazards found during worksite analysis should be reviewed to determine what failure in the safety and health system permitted the hazard to occur. The system failure should then be corrected to ensure that similar hazards do not reoccur.

Hazard Prevention and Control

Hazard prevention and control is the system used by Sandco, LLC. to address the hazards that are recognized during any of the forms of worksite analysis. The measures to prevent injury or exposure are implemented as a proactive means to protect employees. An ongoing system has been developed to prevent and control hazards, which include:

- Engineering Controls
- Safe Work Practices
- Administrative Controls
- Personal Protective Equipment (PPE)
- Emergency Preparation
- Medical Programs

Engineering Controls

The first and best strategy used is to control the hazard at its source. Engineering controls do this, unlike other controls that generally focus on the employee exposed to the hazard. The basic concept behind engineering controls is that, to the extent feasible, the work environment and the job itself should be designed to eliminate hazards or reduce exposure to hazards.

Engineering controls can be simple in some cases. They are based on the following principles:

- If feasible, design the facility, equipment, or process to remove the hazard or substitute something that is not hazardous.
- If removal is not feasible, enclose the hazard to prevent exposure in normal operations.
- Where complete enclosure is not feasible, establish barriers or local ventilation to reduce exposure to the hazard in normal operations.

Safe Work Practices

Safe work practices include Sandco, LLC. Safety policies and other operation-specific rules. For example, even when a hazard is enclosed, exposure can occur when maintenance is necessary. Through established safe work practices, employee exposure to hazards can be further reduced.

Administrative Controls

While safe work practices can be considered forms of administrative control; OSHA uses the term administrative controls to mean other measures aimed at reducing employee exposure to hazards. These measures include additional relief workers, exercise breaks and rotation of workers. These types of controls are normally used in conjunction with other controls that more directly prevent or control exposure to the hazard.

Personal Protective Equipment (PPE)

When exposure to hazards cannot be engineered completely out of normal operations or maintenance work, and when safe work practices and other forms of administrative controls cannot provide sufficient additional protection, a supplementary method of control is the use of protective clothing or equipment. PPE may also be appropriate for controlling hazards while engineering and work practice controls are being installed.

Systems to Track Hazard Correction

an essential part of any safety and health system is the correction of hazards that occur despite the overall prevention and control program. For all projects, documentation is important so that management and employees have a record of the correction.

Many companies use the form that documents the original discovery of a hazard to track its correction. Hazard correction information can be noted on an inspection report next to the hazard description. Employee reports of hazards and reports of accident investigation should provide space for notations about hazard correction.

Emergency Preparation

During emergencies, hazards appear that normally are not found in the workplace. These may be the result of natural causes (floods, tornadoes, etc.); events caused by humans but beyond control (train or plane accidents, terrorist activities, etc.), or within a firm's own systems due to unforeseen circumstances or events.

Each jobsite will develop and post an Emergency Plan that includes the following:

- Possible emergencies (See Emergency Procedures Safe Practice)
- Actions to reduce impact on the workplace (See Emergency Procedures Safe Practice)
- Emergency evacuation procedures (See Emergency Procedures Safe Practice)
- Employee information and training (See New Employee Orientation)

Medical Programs

the Company's medical program is an important part of the safety and health system. It can deliver services that prevent hazards that can cause illness and injury, recognizes and treats illness and injury, and limits the severity of work-related injury and illness.

Each jobsite will:

- Post a list of medical facilities that will be used in the case of medical emergencies along with their phone number and location (see following pages for emergency contact lists)
- Maintain an approved First Aid kit appropriate for the size of the jobsite

EMERGENCY CONTACT INFORMATION

EMERGENCY 911

AMBULANCE 911

FIRE 911

**HOSPITAL Tallahassee Memorial Hospital
1300 Miccosukee Road
Tallahassee, Florida 32303
850-431-0911 (emergency room)**

**DOCTOR Patients First Medical Center
1160 Apalachee Parkway
Tallahassee, FL 32301
850-878-8843**

**Patients First Medical Center
505 Appleyard Drive
Tallahassee, FL 32304
850-576-8988**

Or any nearby Patients First Medical Centers

To be incorporated when subcontractors are known as a part of their subcontract for the project

Subcontractor Emergencies

Contacts

Contractor: _____

Name: _____

Phone#: _____

Cell #: _____

Pager: _____

Contractor: _____

Name: _____

Phone#: _____

Cell #: _____

Pager: _____

Contractor: _____

Name: _____

Phone#: _____

Cell #: _____

Pager: _____

Sandco, LLC.

EMERGENCY NOTIFICATION

&

KEY PERSONNEL LIST

In case of Emergency, contact at least of one of the following beginning with
Project Superintendent and Project Manager specific to incident location:

Project Manager:	Mobile No.: 850-	Email Address
Charles Field	251-8186	cfield@sandcofl.com
Mike Conner	545-5952	mconner@sandcofl.com
Project Superintendent:	Mobile No. : 850-	Email Address
Steve Allen	519-2949	
William Norman	251-8203	wnorman@sandcofl.com
Ricky Warren	528-2316	
Buddy Watley	251-8205	
Equipment Manager Roger Paramore	Mobile No. 850-251-8168	rparamore@sandcofl.com
Risk Manager: Al Gibson	Mobile No. 850-326-0305	al@atozerosafety.com
Sr. Project Manager: Bob Myrick	Mobile No. 850-251-8148	bmyrick@sandcofl.com
Executive Administrator Lynn Higgins	Mobile No. 850-251-8289 Office No. 850-205-5211	lhiggins@sandcofl.com
Competent Person Chris Belle	Mobile No. 850-363-3378	cbelle@sandcofl.com

Evacuation Gathering Point

Location: _____

What to do when necessary to evacuate

- Listen to alarm or announcement for type of emergency
- Check for wind direction
- Turn off all power equipment
- Go directly to designated assembly point
- Remain at assembly point until all Personnel have been accounted for

Safety & Health Training

Safety training is the most positive means that we have to formulate an employee's safe work behavior. Knowledge of safe work procedures and the requirements of the company are essential to get employees to work safely. Sandco, LLC.'s focus is on the following safety training programs:

1. New Employee Orientation
2. Weekly Safety Meeting
3. Task Specific Safety Training
4. Equipment Operator Safety Training
5. Supervisor Training

Subcontractors will be responsible for the training of their employees as stated in the Sandco, LLC. Contract agreement.

DOCUMENTATION OF TRAINING

Keeping track of those who have been trained and what they were trained on is important. This documentation provides a record of past training and also the future training needs of individuals. Federal agencies require that records be kept for safety training that includes the date, the presenters name, the subject matter, the signature of trainee, and the means used to ensure understanding.

New Employee Orientation

New employees are more likely to be injured on the job than anyone else, and this is one of the reasons that all new employees must receive safety orientation before starting work. Our orientation process includes the Sandco, LLC. "Safety Orientation" which addresses general safety orientation topics such as:

- General Safe Practices
- First Aid
- Blood borne Pathogens
- PPE
- Material Handling
- Housekeeping
- Fire Protection
- Electrical Safety
- Excavation Safety
- Ladder Safety

Safety Program Management

ISSUE DATE: 07/04
REVISION: 06/2019

- Scaffold Safety
- Crane Safety
- Mobile Equipment
- Lockout Tagout
- Confined Space
- Barricades
- Hazard Communication

In addition to the general orientation, the new employee will be instructed on site-specific hazards and craft specific safety requirements.

Weekly Safety Meetings

Weekly toolbox safety meetings are a means to communicate safety items directly involved with the work being done by the employee. When properly conducted and held timely, they can be used to exchange information, diffuse potential job disruptions, and to provide a written record of the actions taken.

The preparation and delivery of safety meetings is important to the reception our employee gives them. Well prepared and delivered information is better received.

Safety meeting topics should be something relevant to the present work such as:

1. Recent incidents/near misses
2. JSA's
3. MSDS
4. OSHA training topic
5. Refresher safety procedure training

Weekly toolbox safety meetings need to be brief and to the point, to keep the employee's attention.

The final important step in weekly safety meetings or training is to make sure the meeting is documented. Remember if the meeting isn't documented, it didn't happen.

Task Specific Safety Training

Many times we have a need to undertake new job assignments or job assignments change. In these cases we need to do task specific training.

Task specific training should include all involved employees and cover:

1. Correct work procedures (specific to task)
2. Care, use, maintenance and limitations of any required tools and personal protective equipment.
3. Hazards associated with the task including work area and materials being used.
4. Location of emergency equipment (showers, eye wash, first aid), where and who to go to for help and reporting.

OSHA 1926.21 requires that "The employer shall instruct each employee in the recognition and avoidance of unsafe conditions and the regulations applicable to his work environment control or eliminate any hazards or other exposures to illness or injury". In addition to this general statement, OSHA specifies training in a wide variety of areas.

Equipment Operator Safety Training

In the course of our work at various sites, we use a variety of mobile equipment. These pieces of equipment can cause damage when operated incorrectly. It is therefore imperative that the operators of powered equipment be thoroughly trained and knowledgeable of the equipment's use and limitations in order to insure that the individual is a qualified operator. The following qualification guidelines will be followed:

1. Each operator must be able to demonstrate to a designated individual in charge of equipment qualification his/her knowledge of the equipment to be operated. No one may operate any equipment until they have been qualified on that particular piece of equipment.
 - a. Subcontractors will be responsible for the qualification of their equipment operators as stated in the Sandco, LLC. Contract agreement.

Supervisor Training

An area that is all too often overlooked is Supervisor Training. Just because an employee is a good craftsman does not necessarily mean they will make a good supervisor. Supervisors need training just as much as a craftsman to be successful. Supervisory personnel should, in addition to this training, be given training on the following subjects:

1. Job planning
2. Job safety analysis
3. Conducting safety meetings
4. Conducting equipment inspections
5. Accident/incident investigations

Barricades

PURPOSE

This procedure establishes general safe requirements for barricading potentially hazardous areas by restricting or limiting access to the identified hazardous area.

DEFINITIONS

Barricade - A material used to obstruct entry into a work area where potential hazards have been identified.

1. **YELLOW - BLACK** tape for caution or warning
2. **YELLOW - MAGENTA** (purplish-red color) tape for work when radiographic material is present.
3. **RED** tape when entry is prohibited to all employees unless specifically authorized by management.

Barrier - A material used to obstruct entry, which is substantial enough to stop a person's momentum.

Railing - Materials used to make a vertical barrier, top rail, mid rail and toe board, (used at floor openings, temporary platforms, wall openings, etc.)

GENERAL REQUIREMENTS

A. Overhead Work

1. Where work is being done overhead a barricade is required. This barricade should be sufficient to warn employees of danger from above.

B. Excavations

1. **All excavations shall be protected with sufficient barricades and/or barriers.**

2. Excavations 5' in depth or more shall be protected by a barrier which shall be sufficient to stop someone from inadvertently tripping, falling or walking into the excavation.

C. Radiographic Work

D. Yellow-Magenta colored barricade tape shall be used when radiographic work is underway. Radiographic caution signs must be visible from all sides where entry is possible.

E. Floor Openings

F. Floor openings shall be covered with adequate material that cannot be displaced easily, and marked "Do not remove - open hole", or guarded by a standard railing with top-rail, mid-rail and toe board or attended by someone at all times.

G. Hazardous Work Areas

H. A caution barricade must be installed around work areas, which may cause a hazard to someone inadvertently entering a work area.

I. A caution barricade must be installed when a potential hazard has been identified, (i.e., chemical, electrical, explosion, sandblasting, etc.)

J. Barriers must be installed when there is a possibility of falling off elevated work areas. (i.e., roof work, newly installed platforms, excavations 5' deep and over, etc.)

K. When newly installed structures are erected and the stairways are installed but not complete, barricading or barriers shall be installed to keep someone from gaining access to the stairwell or structure without having to physically climb over such barricading or barriers.

L. When parts of our barriers or barricading have to be removed to gain access we must constantly attend the hazardous area until the barrier or barricading is reinstalled.

M. A barricade must be installed around the swing radius of cranes to prevent employee entry into dangerous areas of pinch points and crushing hazards.

N. Responsibility for Barricading

O. Supervisors are responsible for ensuring that required barricading is installed and properly maintained throughout their project.

P. The supervisor's responsibility does not alleviate ultimate responsibility by management to ensure proper and required barricading is being used.

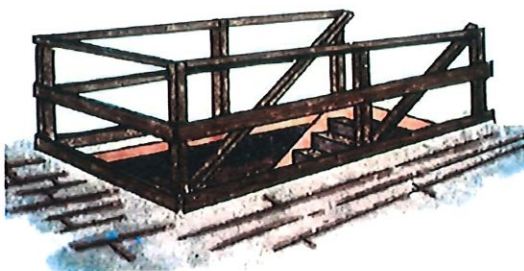
REMOVING BARRICADING

1. When removing barricading material, double check to make sure no hazard will exist from the removal of the barricade.
2. When the job is complete all barricading material shall be removed.



Use Yellow "Caution tape to warn that hazards are present in the area and that caution should be used.

Use Red Barricade tape to prohibit entry into a dangerous area



Erect guardrails, mid-rails and toes board to barricade fall hazards and to prevent objects from falling to a lower level



Use barrier fencing to protect excavations 5 feet or greater in depth.

Blood Borne Pathogens

PURPOSE:

This Safe Practice is to communicate necessary safe guards to prevent occupational exposure to blood and other potentially infectious materials by assuming any exposure could result in the transmission of Blood borne pathogens.

CONTROL METHOD REQUIREMENTS:

1. Always provide an impervious barrier (such as gloves) between employee and potentially infectious body fluids to prevent exposure through skin, eyes, and mucous membranes.
2. All human blood or materials contaminated with body fluids will be treated as if infectious.
3. Wash hands after removing gloves or as soon as possible after having contact with body fluids.
4. All garments, gloves, contaminated materials will be disposed of in proper containers or bags, then marked and labeled "BIOHAZARD". Tags or labels will be affixed so their loss or unintentional removal is prevented.
5. Materials designated, as contaminated waste must be disposed of according to applicable Federal, State and local regulations.
6. Employees performing tasks who have the potential for exposure will participate in a training and education program prior to initiating the task.
7. An individual knowledgeable on the subject matter will conduct training as it relates to control and specific tasks being performed.
8. Training records shall be maintained for three (3) years from training date. They shall include date of training, summary of training, qualified trained person doing the training, and the names of those who attended the training.
9. Any exposure will be documented on O.S.H.A. 300 log in accordance with 29 CFR 1910.20. Records shall be maintained for at least the duration of employment plus 30 years.
 - a. Exposure records will include:
 - b. Name and social security number
 - c. All tests, exams, follow-up procedures
 - d. Physicians written opinion
 - e. Copy of information provided to the physician
 - f. Date of HBV vaccine, if one was provided

Competent Person Safe Practice

Purpose: to ensure that each location has designated Competent persons for each required skill or discipline such that those specific work tasks are completed in a safe manner.

Definition: Competent Person-One who has the knowledge through training or experience and is capable of identifying existing and predictable hazards in the surroundings or working conditions which are unsanitary, hazardous or dangerous to employees, and who has authorization to take prompt corrective measures to eliminate them.

Guidelines to Implementation:

1. Each work location shall review the attached table to determine if current or pending work scope requires a *Competent Person* in a certain type of activity.
2. If a *Competent Person* is required, the site will identify who will be the *Competent Person* and if the person possesses the skill, education and knowledge to perform those responsibilities. Safety Form #9 can be used to document this.
3. An employee can be trained to *Competent Person* status by a qualified trainer within the company for that particular skill or 3rd party training can be obtained.
4. A list of site's *Competent Persons* shall be posted in a prominent location so that all site employees can determine who to contact for information or answers to questions.

Site: _____

Location: _____

Requirements	N/A	Name of Competent Person (Primary)	Name of Competent Person (Alternate)
Fall Protection			
Scaffolding			
Trench & Excavation (including soil analysis)			
Respirator use (including fit testing)			
Cranes & Derricks			
Asbestos			
Ladders			
Hearing Protection			
Welding & Cutting (including Fire Prevention)			
Accident Prevention			
Slings & Rigging			
Electrical & Tool Inspection			
Personnel Hoists			
Concrete forms & shoring			
Demolition Preparation			
Compressed air use			
Underground Construction			
Lead			
Ionizing Radiation			

Confined Space – Safe Practice

Purpose:

To provide consistent guidelines for locations which have entry into confined spaces as part of the scope of work.

Q. Requirements:

1. Permit authorizers shall use the logic flow sheet on the Confined Space permit to determine if the space is classified as a “non-permitted” space or an “OSHA Permit-Required Confined Space”. Then the authorizer shall complete the corresponding part of the permit.
2. Employees shall not enter any tank, vessel, trench, sewer pit, or similar confined spaces without a **CONFINED SPACE ENTRY PERMIT** signed by their supervisor. The line supervisors are responsible for the management of confined space entries. The Confined Space permit must be used for all entries.
3. A person trained as a "hole watch" shall be assigned to standby at the entrance to the confined space at all times while people are working in the space. The hole watch will summon help in case of an emergency.
4. All systems shall be isolated to prevent injury to persons who are working in the confined space. These are:
 1. Lockout and tag all electrical systems.
 2. Close valves and use appropriate lockout/tagout and/or blinds to prevent exposure to injurious substances.
5. Employees shall be instructed to make sure that the atmosphere has been checked for oxygen level, flammable limits and any known toxic conditions. If necessary, the atmosphere will be purged to bring it to the acceptable levels. Consider whether self-contained breathing units or airline respirator systems are necessary to perform the work.
6. Forced ventilation will be provided as deemed necessary.
7. Low voltage lighting and GFCI protection shall be used for electrical cords and tools.
8. Scaffolds and ladders used in confined space must be inspected and be properly secured.
9. Persons, who suspect an atmosphere contamination problem is developing inside a confined space, shall be instructed to evacuate immediately and have the space tested by the Safety Representative.
10. Entry into an "OSHA PERMIT-REQUIRED CONFINED SPACE" will require that trained rescue personnel are assigned to the project and rescue equipment is in place.

An "OSHA PERMIT-REQUIRED CONFINED SPACE" by definition is one that has the potential to develop into a hazardous atmosphere, is known to have a hazardous atmosphere, or has limited access where it would be difficult to retrieve a person in need of help.

11. Employees must be trained on the hazards and procedures of confined spaces before being allowed to work in any confined spaces

Atmospheric Hazards
Oxygen-Deficient Or Enriched

Appropriate Oxygen Level,
Between
19.5% and 23.5%

Deficient Level,
Below
19-5%

DANGER

**CONFINED SPACE
PERMIT ONLY**

PREPARE FOR ENTRY

- Identify hazards of permit space
- De-energize & lock out all energy source
- Drain, clean & ventilate confined space
- Isolate confined space - disconnect fill & drain lines

TEST ATMOSPHERE

- Oxygen level between 19.5 % & 23.5%
- Flammable gases/vapors less than 10% of LEL
- All substances below established PEL

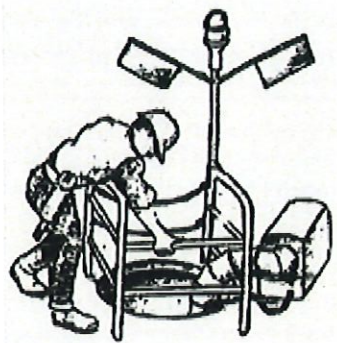
PREPARE PERSONNEL PROTECTIVE DEVICES

- Respirator, protective clothing, life-line & harness

ATTENDANT & RESCUE EQUIPMENT IN PLACE

REVIEW COMMUNICATION PROCEDURES

OBTAIN AUTHORIZED PERMITS



Test for Oxygen levels,
flammables and toxic
atmospheres before confined
space entry

Electrical

PURPOSE:

To protect the safety and health of our employees from electrical hazards on construction sites by instituting electrical safe practices.

REQUIREMENTS:

This safe practice is designed to provide information to our employees on the general safe electrical practices for construction.

II. CONTACT WITH POWER LINES

1. Look for overhead power lines and buried power line indicators. Post warning signs.
2. Contact utilities for buried power line locations.
3. Stay at least 10 feet away from overhead power lines.
4. Unless you know otherwise, assume that overhead lines are energized.
5. De-energize and ground lines when working near them. Other protective measures include guarding or insulating the lines.
6. Use non-conductive wood or fiberglass ladders when working near power lines.

1. GROUND FAULT PROTECTION

1. Use ground-fault circuit interrupters (GFCI's) on all 120-volt, single-phase, 15- and 20-ampere receptacles, *or* have an assured equipment grounding conductor program.
2. Follow manufacturers' recommended testing procedure to insure GFCI is working correctly.
3. Use double insulated tools and equipment, distinctively marked.
4. Use tools and equipment according to the instructions included in their listing, labeling or certification.
5. Visually inspect all electrical equipment before use. Remove from service any equipment with frayed cords, missing ground prongs, cracked tool casings, etc. Apply a warning tag to any defective tool and do not use it until the problem has been corrected.

2. PATH TO GROUND

1. Ground all power supply systems, electrical circuits, and electrical equipment.
2. Frequently inspect electrical systems to insure that the path to ground is continuous.
3. Visually inspect all electrical equipment before use. Take any defective equipment out of

service.

4. Do not remove ground prongs from cord- and plug-connected equipment or extension cords.
5. Use double insulated tools.
6. Ground all exposed metal parts of equipment.

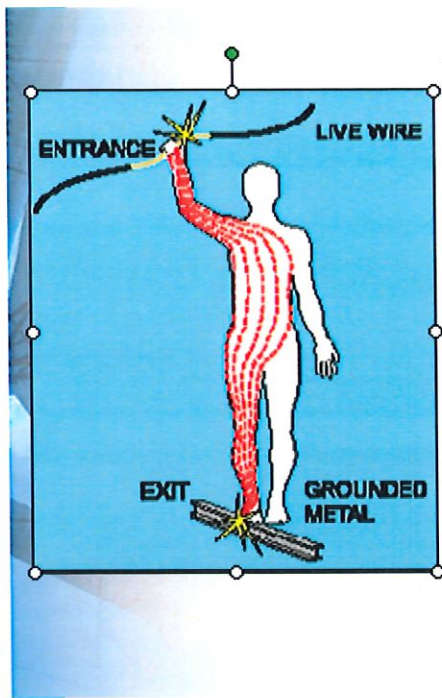
3. EQUIPMENT USE

1. Use only equipment that is approved to meet OSHA standards.
2. Use all equipment according to the manufacturer's instructions.
3. Do not modify cords or use them incorrectly.
4. Be sure equipment that has been shop fabricated or altered is in compliance.

B. ELECTRICAL CORDS

1. Use factory-assembled cord sets.
2. Use only extension cords that are 3-wire type.
3. Use only extension cords that are marked with a designation code for hard or extra-hard usage.
4. Use only cords, connection devices, and fittings that are equipped with strain relief.
5. Remove cords from receptacles by pulling on the plugs, not the cords.

Continually audit cords on-site. Any cords found not to be marked for hard or extra-hard use, or which have been modified, must be taken out of service immediately.



Severity of the shock depends on:

- Path of current through the body
- Amount of current flowing through the body (amps)
- Duration of the shocking current through the body,

• **LOW VOLTAGE DOES NOT MEAN LOW HAZARD**

The Effect of Current

Onset Current Level (mA)	Effect
1	Threshold of sensation
8	Mild sensation
10	Painful
13	Cannot let go
21	Muscular paralysis
20	Severe shock
38	Breathing labored
42	Breathing upset
70	Extreme breathing difficulties
75	Ventricular fibrillation
100	Death

EMERGENCY Procedures – Safe Practice

The following reasons may cause a evacuation of the jobsite -fire, Tornado, Flood, Hurricane or Bomb Threat.

The evacuation signal will be determined by the Project Superintendent and made none to all employees.

Tornado

Employees shall be instructed of what to do in the event of a tornado to prevent personal injury. Often, a tornado strikes without advance warning, therefore it is important that we know in advance of what quick thinking action we need to take. **KEY CONSIDERATIONS ARE:**

TORNADO WATCH

Tornadoes often develop from the advance of hurricanes.

Tune in to local news and weather service for alerts to potential weather which could spawn a tornado.

Consider posting a tornado "watch" under alert conditions. In Albany, Plant Security is responsible for posting a watch. Establish an alarm system if the watch observes an approaching tornado funnel.

TORNADO SIGNAL

A signal or message will be delivered by the Site Superintendent that a tornado has been seen and may approach our area.

TORNADO WARNING

A tornado warning means that one has actually been sighted and may strike in your vicinity.

Post a tornado "watch" to sound the alarm if the funnel approaches the job site. Security has this responsibility.

If the alarm is sounded, all personnel are to go to the established tornado shelter and remain there until the all "clear signal" is given.

TORNADO SHELTERS

Shelters are identified on the attached map. Personnel should proceed to shelter areas and remain there until the "all clear" signal is given.

TORNADO AT SITE

If advance warning was not given and you are under tornado condition, we offer the following suggestions:

If in a car, drive away from the tornado's path at right angles, if possible.

If outdoors, get to a the tornado shelter if possible. Otherwise, lie flat in the nearest ground depression, ditch or culvert with your hands over the back of your head.

POST TORNADO ACTIVITY: AFTER THE "ALL CLEAR" SIGNAL

Treat injured personnel immediately if qualified.

All other personnel should evacuate the area and report to the evacuation assembly areas for personnel accounting.

Management will form Damage Assessment Teams to assist in determining if structures are safe for occupancy. Damage teams should look for utility damage.

Storm warnings are given when winds are expected in the range of 55 to 74 mph. Heavy rain, flooding and lightning activity may accompany the high wind condition. Employees need to be instructed on the hazards of these conditions and what to do in the event they occur.

KEY CONSIDERATIONS ARE:

PRE-STORM

Tie-down all lightweight portable structures.

Secure all loose materials outdoors. Examples include: plywood on roofs, materials in laydown yard, etc.

Tie-down all scaffold boards.

Outdoor materials which could be damaged by water should be moved indoors or be tarped.

Shut down all cranes and lower boom to ground.

Keep personnel indoors until storm passes or "rain out" for the day if safe for workers to travel home. Tornado shelters are identified as plant basements or office areas. Basements should be avoided in the case of severe flooding.

Keep a damage assessment team on site if safe to do so.

Top off the fuel tanks of any vehicles that may be needed.

POST-STORM

Inspect site for downed power lines and contact utility company for repairs.

Inspect the stability of structures.

Inspect stability of scaffolds.

Commence pumping of water, if necessary.

Instruct employees to avoid electrical tools/cords in wet conditions.

Flooding

In the event of potential flooding from swollen rivers, streams or storm drains, there may be a need to evacuate the job site for the protection of personnel. Sites need to remain in constant communication with civil authorities to determine what action may be necessary.

KEY CONSIDERATIONS ARE:

PRE-FLOOD

- A Pre-flood team should be assembled to coordinate all response work.
- Determine if any location needs to be sandbagged. Examples: building doors, storm drains leading from source of flooding.
- Obtain bags and sand and start sandbagging operation. Additional materials may be needed for building beams and other retainment dikes. Manage sandbagging operations to prevent muscular type injuries.
- Consider need and arrange for additional sump pumps after the flood.
- Remove all loose materials to high ground or into structures not expected to flood. This should include office areas and materials. Consider what will be necessary to maintain the integrity of construction office services, such as payroll.
- Relocate gas cylinders, portable fuel tanks, drums, barrels, pails to high storage.
- Relocate small portable buildings (portable toilets, sheds, etc.) to high ground.
- Keep communication with local authorities to determine if and when to evacuate. External communication can be with television or radio. It is important to keep up with road and bridge closings and to keep employees informed of those closings.
- Establish post-flood team to assess site conditions before recalling employees to work
- Team should make final site walk before leaving site.

POST-FLOOD

- Inspect structures for any undermining caused by flood water currents.
- Inspect scaffold bases for undermining caused by flood water currents.

- Check quality of potable water supply. Consider food supply if employees are expected to work on site or may be stranded due to road or bridge closings.
- Commence pumping of water as necessary.
- Instruct employees of the hazard of wet surfaces and use of electrical tools/cords.
- Caution employees about the possibility of hazardous wildlife on site from floodwaters. (Snakes, gator, skunks, spiders, etc.)
- Cleanup crew members should have tetanus shots.
- Other materials that may be include: waders, gloves, boots, socks, rainsuits, boats, shovels, rakes, mobile equipment, flashlights, floodlights.

Hurricane

Hurricanes are tropical storms with winds sustained at 74 mph or greater. The official season for hurricanes is June 1st through November 30th. When a hurricane forms, the job site should track the course of the storm when it is apparent that it could possibly affect the site. The site needs to monitor the National Weather Service and/or local news stations to keep abreast of storm status.

The following action should be implemented when a "HURRICANE WATCH" condition is announced:

- Assign a person(s) the responsibility of tracking the storm condition.
- Assemble a site hurricane damage prevention team.
- Identify structures which will require tie-downs. (Trailers, portable toilets, tanks, tool sheds, etc.)
- Obtain a supply of tie-down and protection materials. (#9 wire, stakes, plywood, poly sheeting, etc.)
- Fill all vehicle fuel tanks.
- Have all site fuel storage tanks filled.
- Normal drinking water source may become contaminated. Arrange for supply of bottled water.
- Reserve a portable electrical generator should the need for temporary power arise. Consider sump pumps.
- Develop a phone list of those employees who may be the first to be called back to work for damage repairs.
- Determine what office equipment, files, etc. need to be secured and covered to prevent damage.
- Determine what critical documents might be boxed and removed from the site.
- Identify construction machinery, equipment and structures that may require special handling.
- Perform initial site cleaning of scrap materials and storage of excess materials.

- Continue normal construction activities in the field.

HURRICANE "WARNING" STATUS

Hurricane "WARNING" announced by weather service means that the hurricane is expected to strike the area within 24 hours. The following action shall be implemented and completed within 12 hours of the announcement:

- Tie-down all portable structures.
- Remove all loose materials from job site.
- Tie-down all scaffold boards.
- Secure all gas cylinders (indoors if possible).
- Board all windows and tape glass where unable to board.
- Cover all office equipment & files with protective sheeting.
- Box and remove critical documents from job site.
- Roll up all welding leads, extension cords and service hoses and secure in building or tie to structure.
- Remove all portable equipment to higher ground in case of flooding.
- Lower booms on all cranes and secure to permanent structure where possible.
- Ensure that all piping in excavations is secured from floating.
- Place sump pumps and electrical generators in areas where expected to be used for water removal.
- Evacuate non-essential personnel to allow their home preparations. Arrange for radio/TV announcements to advise employees of work return status, or, provide a phone number which they may call for return to work.
- Rotate remaining personnel to allow for their home preparations and site preparations.
- Remaining personnel make final site walk-down to ensure that all is secure.
- Site manager advise the client of the secured site condition and request a release to go home.
- Disconnect electrical power to office trailers and to the temporary power panels.
- Evacuate remaining personnel in time to ensure their safe passage to home or through established evacuation routes. Do not allow anyone to remain at job site during the hurricane passage. Provide phone number for return to work instructions.

When the hazard has passed, the site manager and a select supervisory team are to return to the job site and assess the conditions to have personnel return to work. Considerations for the safety of personnel following a hurricane are:

- Inspect site for downed power lines and contact utility company for repairs.
- Inspect stability of structures being erected.

- Inspect stability of scaffolds.
- Check quality of drinking water systems.
- Commence pumping of water as necessary.
- Employees need to be instructed to avoid electrical tools/cords in wet conditions.
- Caution employees about the possibility of hazardous wildlife on site from floodwaters. (Snakes, gators, skunks, spiders, etc.)

BOMB THREAT

In the event of a bomb threat, we must be prepared to take immediate action to determine the validity of the threat. The following are recommended actions to be considered:

- If the threat is received by telephone, the person receiving the call shall hand a note to a co-worker to have the call traced and to advise management of the situation.
- The person receiving the call will then follow instructions on the bomb threat work sheet to obtain as much information from the caller as possible. This is also a delaying tactic in an attempt to have the call traced.
- These two documents need to be reviewed with persons most likely to receive calls and should be maintained at those locations.
- Call the local police authority immediately for assistance.
- Site management shall advise the client and make an immediate determination as to whether a partial or total evacuation of the job site should be conducted. If the caller stated the location and/or time the bomb would go off, this would aid in the decision making for the extent of evacuation.
- If an evacuation is ordered, have all personnel report to the evacuation assembly area and perform a roll call to account for all personnel and site visitors.
- Make an announcement to turn off all radios on site as radio signals could cause a bomb to trigger.
- When the police authorities arrive, they shall take charge and direct all activities. Establish a command post and assign one or two management personnel to act as liaison and to assist the authorities if a bomb search is ordered.
- Supervisors who are familiar with work areas should be assigned to assist police in the search as they are more likely to spot strange or unusual objects in their area.
- Search personnel shall be cautioned not to touch, jar, or move any suspicious items found and to report any suspicious item to the police authority immediately.
- In the event an actual bomb is found, the police shall arrange for removal of the hazard from the job site.
- If the search does not locate a bomb, the site manager shall determine if employees should return to work the remainder of the day or go home. If ordered to return to work, workers may decide to work or go home without pay for the remainder of that day.

BOMB THREAT WORK SHEET

1. HAND THE ATTACHED NOTE TO A CO-WORKER TO HAVE THE CALL TRACED.

2. RECORD TIME THE CALL WAS RECEIVED: _____

3. WRITE DOWN EXACT WORDS OF CALLER:

4. ASK THE CALLER THESE QUESTIONS AND WRITE DOWN THE RESPONSE:

- When is the bomb going to explode?
- What kind of bomb is it?
- What will cause it to go off?
- Where is the bomb?
- What does it look like?
- Why do you want to bomb us?
- Do you have a friend who works here?
- Where are you calling from?
- What did you say your name is?

5. Write down the time the caller hung up. _____

6. While still fresh in your mind, answer the following:

MALE FEMALE YOUNG MIDDLE AGE OLDER

ACCENT:

NONE FRENCH SOUTHERN NEW ENGL

GERMAN ITALIAN ORIENTAL OTHER

VOICE MANNER: CALM ANGRY EXCITED LAUGHTER
CRYING SOFT LOUD

VOICE SPEED: SLOW RAPID NORMAL

VOICE: LISP STUTTER SHORTNESS OF BREATH

CHARACTERISTICS: NASAL RASPY SLURRED

GRAMMAR: EDUCATED AVERAGE POOR VULGAR

7. Was caller's voice familiar? _____ If so, who did it sound like?

8. Did caller seem familiar with the job site or people who work at the site? If so, list the reason:

LIST ANY BACKGROUND NOISES DETECTED:

Excavation Safe Practice

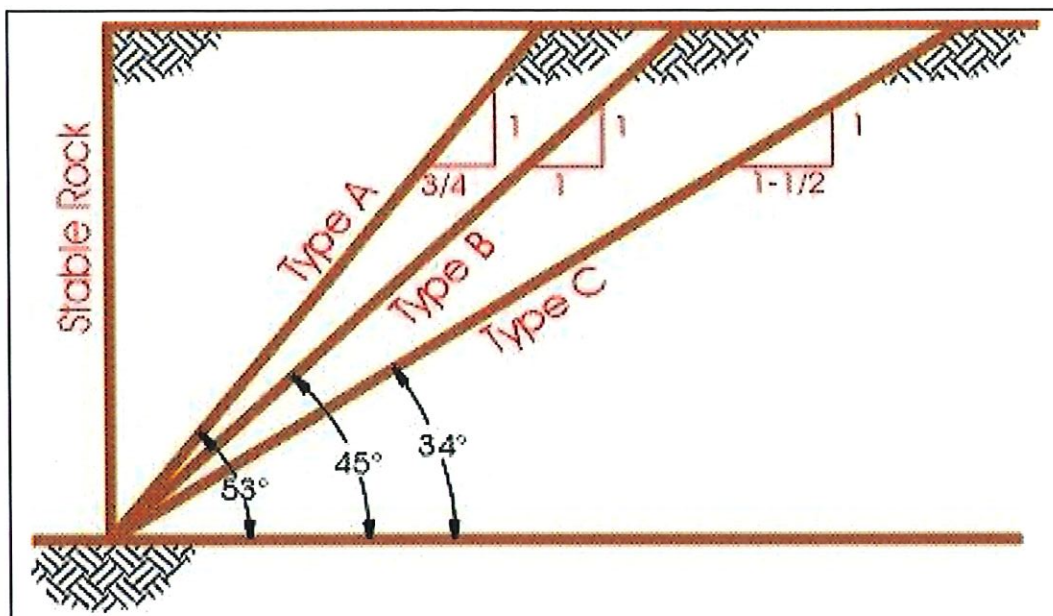
PURPOSE:

This Safe Practice contains the requirements for practices and procedures to establish safe work operations for employees involved in trenching and excavations. The guidelines established are the minimum expected guidelines for trenching and excavations. Sandco, LLC has the right to expect and impose more stringent requirements than those listed below depending upon the existing circumstances. At no time will the requirements herein be reduced to a less stringent application or standard.

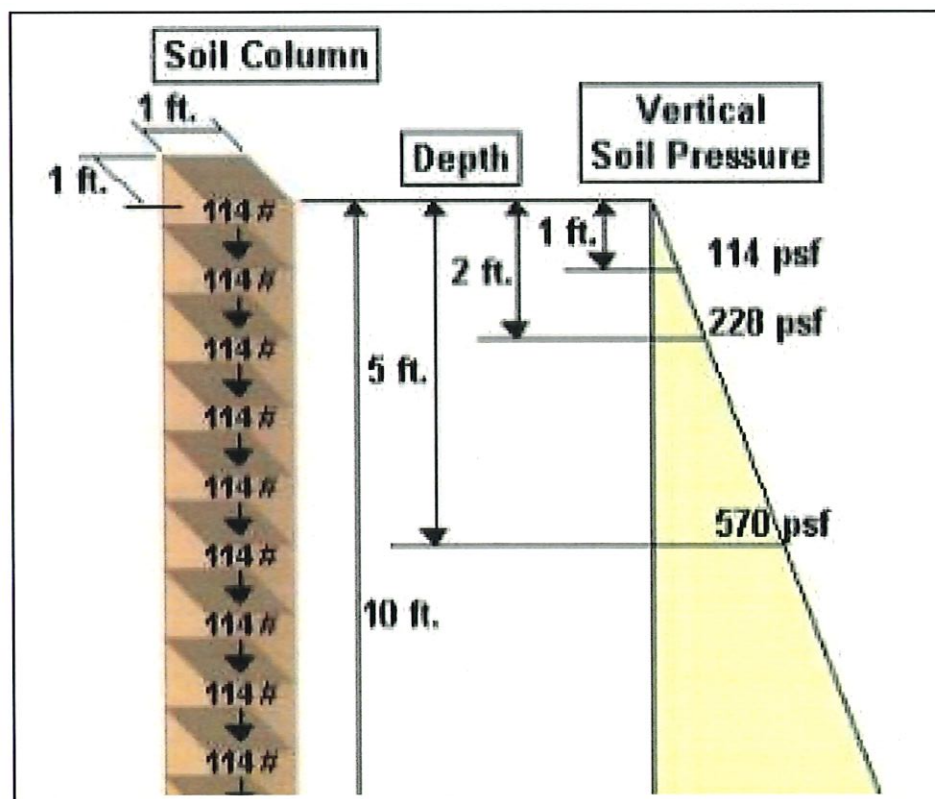
REQUIREMENTS:

1. 29 CFR 1926.650 shall be observed where personnel need to enter excavations or trenches four (4') feet or deeper. A competent person shall make determinations as to the method of sloping, shoring or benching to be used. Observe the following safety considerations.
2. The area shall be surveyed to determine the existence of any underground utilities such as electrical duct banks, pipelines, communication lines, etc. Excavation work shall stop immediately if unexpected lines are encountered.
3. Install ladders in excavations that are four (4') feet or deeper for each twenty-five (25') feet of lateral travel where personnel are required to enter.
4. Employees shall not enter an excavation that is more than four (5') feet deep until a confined space entry permit is issued. The atmosphere shall be tested whenever hazardous conditions exist or could reasonably be expected to develop. Employees shall never enter a trench while equipment is operating adjacent to the excavation or hoisting materials over the workers.
5. Barricades shall be installed around excavations to warn vehicle and pedestrian traffic of the excavation hazard.
6. Excavations shall be shored, sloped or protected by engineered devices based on soil conditions determined by the competent person
7. Excavated material, tools and equipment shall be placed two (2') feet or more from the edge of the excavation. Remove any large rocks, clods or other excavated materials that could fall into the excavation.
8. The excavation shall be inspected daily and frequently when condition may change, by a competent person to ensure that it remains in a safe condition for entry.
9. The excavation shall be re-inspected after heavy rainfall or any other event (earthquake, heavy vibration), which may have weakened the excavation walls or shoring system.

10. Employees shall be instructed to stop work and exit any excavation when they suspect a safety hazard may be developing.



Sloping required for each type soil



Fall Prevention – Safe Practice

PURPOSE:

To prevent fall injuries within the company the following prevention methods and systems will be used.

REQUIREMENTS:

Employees of Sandco, LLC working at elevation of six feet or higher other than on permanent platforms with permanent handrails shall be protected by a fall prevention system or systems.

FALL PREVENTION IS NEEDED WHEN:

1. Working within six feet of an unprotected side or edge
2. Working within six feet of an open hole
3. Working on a scaffold above ten feet that is not protected by a guardrail system on all sides and ends
4. Working adjacent to protruding ends of steel rebar
5. Working in aerial baskets
6. Working off ladders where the possibility of a fall exist

FALL PREVENTION SYSTEMS INCLUDE:

1. Guardrail Systems
 - Top rail at 39" to 45 " high
 - Mid-rails must be midway between the top edge of the guardrail and the working surface
 - Guardrail systems must support at least 200 pounds of force applied within 2 inches of the top edge in any direction
2. Safety Nets Systems
 - Safety nets should be no more than 30 feet below the level you are working.
 - Safety nets shall be inspected once a week
3. Personal Fall Arrest Systems
 - Full body harness
 - Shock absorbing lanyard
 - Snap hooks on lanyards shall have locking latches
 - Anchorage point capable of supporting 5000 pounds
 - Inspect personal fall arrest systems before use
4. Hole Covers
 - Hole covers must be able to support at least twice the weight of employees,

equipment and material that may be imposed on them.

- Covers must be secured when installed so as to prevent displacement
- Covers must be marked "HOLE" or "COVER" "DO NOT REMOVE"

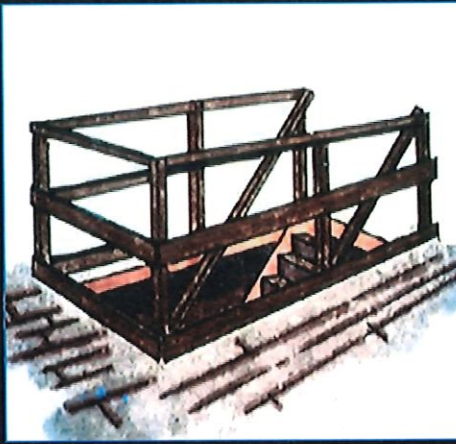
5. Rebar Protection

- Guard all protruding ends of steel rebar with rebar caps or wooden troughs, or
- Bend rebar so exposed ends are no longer upright
- Provide additional means of fall prevention when employees are working at any height above rebar

Fall Protection Systems



Personal Fall
Arrest System
(PFAS)



Guardrails



Safety Net

of force in
any direction

- Mid-rails
- Toe-boards





- All holes 2" diameter or larger must be covered
- Marked **COVER** or **HOLE** or color-coded
- Must be secured to prevent displacement
- Must support 2X the maximum intended load

Fire Prevention – Safe Practice

Purpose:

The purpose of this fire prevention safe practice is to eliminate the causes of fire, prevent loss of life and property by fire and to provide information that will assist employees in recognizing, reporting and controlling fires.

C. Requirements:

HOT WORK OPERATIONS:

A working fire watch or dedicated fire watch shall be assigned as appropriate to the potential fire hazard. Work areas shall be prepared for fire prevention starting hot work. The following action shall be taken:

1. The designated qualified person to ensure proper operation shall inspect Spark/fire producing tools.
2. Combustible materials must be protected with fireproof blankets or be moved 35' from the hot work.
3. Portable containers of flammable gases and liquids must be removed from the hot work area.
4. Gas and oxygen cylinders being used in the hot work operations shall be located remote from falling or flying sparks or burning materials.
5. Wall and floor surfaces must be protected to keep sparks from going through cracks or openings.

6. Ductwork intakes shall be covered to prevent sparks from entering such systems.
7. Combustible dusts are to be cleaned by vacuuming or washing down before hot work commences.
8. Systems containing substances with electrical classification I, II or III shall be protected from ignition sources.

D. FIRE EXTINGUISHERS

1. Site shall be surveyed to determine the number and type of extinguishers necessary to provide adequate fire suppression in case of fire situations.
2. Extinguishers located at fixed locations shall not be removed for purposes other than fire.
3. Fire extinguishers to be used by hot work fire watch personnel shall be appropriate to the type of fire anticipated and sized to extinguish fires in the incipient stage.
4. All mobile equipment shall be equipped with fire extinguishers classified "ABC".
5. Extinguishers that are partially or wholly discharged shall be delivered to the designated person to arrange for recharging. Such extinguishers shall be replaced with fully charged units immediately.
6. Site personnel shall be instructed in the proper use and limitations of fire extinguishers.

E. AUTOMATIC FIRE SPRINKLER SYSTEMS

1. Fire protection systems shall not be shut down without permission from the client's fire marshal or other client-designated person.
2. Additions or alterations to fire sprinkler systems shall not be made without permission from the client's fire marshal or other client designated person.
3. Installation of fire protection systems shall be in compliance with National Fire Codes. Normally, drawings approved by the client's fire insurer are used for such work.
4. Alternate fire protection methods shall be considered and planned in the event of fire when systems have been shut down for repair or alteration.
5. The fire jurisdiction shall be given advance notification of fire protection systems to be shut down.

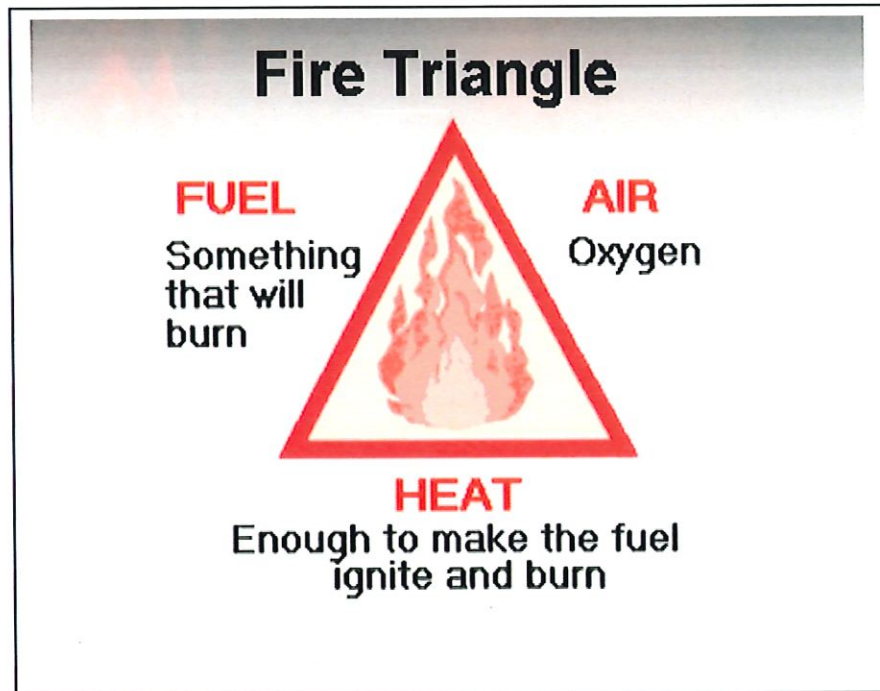
F. FIRE HYDRANTS, FIRE HOSE STATIONS AND SPRINKLER DRAIN VALVES

1. Water supply appliances shall not be blocked from access in the event of a fire emergency.
2. Fire system water supplies shall not be used for any other purpose unless approved by the client fire marshal or other designated client person.
3. Fire hydrants and system divisional/sprinkler post indicator valves shall be protected from damage when operating construction equipment in the area.

FLAMMABLE LIQUIDS/GAS STORAGE

1. Flammable liquids stored indoors shall be in approved flammable storage lockers or

- be stored in approved flammable storage rooms.
2. Flammable liquids stored outside shall be stored in a location, which is clearly marked, and at least 35 ft. from any hot-work activities. Such outside storage should take into account possible spill hazards and be spill-protected.
 3. Flammable compressed gases shall be stored outdoors when not for immediate use.
 4. Oxygen cylinders shall be stored at least twenty feet from flammable gases or be separated by a five-foot high one-hour fire rated wall.
 5. Portable containers and fixed tanks for gasoline or diesel fuels shall be stored outdoors and the area to be maintained free of trash and weeds and other combustible items.





Hand & Power Tools – Safe Practice

PURPOSE

This procedure establishes Sandco, LLC general safety guidelines when hand and portable power tool use is required. The intent of this procedure is to ensure that hand and portable power tools are in a safe condition when issued and while being used by employees.

REQUIREMENTS

GUARDING OF PORTABLE POWER TOOLS

1. All portable power driven circular saws having a blade diameter greater than 2 inches shall be equipped with guards above and below the base plate or shoe. When the tool is withdrawn from the work, the lower guard shall automatically and instantly cover the blade.
2. All hand-held circular powered saws with blade diameter greater than 2 inches shall be equipped with a constant pressure switch or control that will shut off the power when the pressure is released to the switch.
3. All hand held gasoline powered chain saws shall be equipped with a constant pressure throttle control that will shut off the power to the saw chain when the pressure is released.
4. The operating control on hand-held power tools shall be located so as to minimize the possibility of its accidental operation.

5. Portable belt sanding machines shall be provided with guards at each nip point where the sanding belt runs onto a pulley. The unused run of the sanding belt shall be guarded against accidental contact.
6. All portable power tools that come from the manufacturer with guards shall be used with the guards in place, and tools designed to operate with guards shall have guards in place when operated.

GENERAL RULES FOR POWER TOOLS

1. Use extreme caution when cleaning tools, make sure tools is disconnected from power before cleaning or changing blades or bits.
2. Learn the tool or machines applications and limitations, and the specific potential hazards peculiar to the tool or machine. Follow available operating instructions and safety rules.
3. Keep working areas clean and be sure adequate lighting is available.
4. Do not wear loose clothing, bracelets, necklaces or ornaments. Wear face, eye, ear, respiratory, and body protection devices, as indicated for the operation or environment.
5. Do not use cutting tools larger or heavier than the machine is designed to use. Never operate a cutting tool at a greater speed than recommended.
6. Keep hands well away from saw blades and other cutting tools. Use a push stock or push block to hold or guide the work when working close to cutting tools.
7. Whenever possible use properly locked clamps, jig or vise to hold the work.
8. Never stand directly in line with a horizontally rotating cutting tool.
9. Never leave power tools or machines with the power on.
10. Always be sure that hold-downs and anti kickback devices are positioned properly and that the work piece is being fed through the cutting tool in the right direction and at the right speed.
11. Do not use dull, gummy, bent or cracked cutting tools.
12. Be sure keys and adjusting wrenches are removed before turning power on.
13. Use only "accessories" designed for the tool or machine. (Blades, grinding wheels, etc.)
14. Adjust tools and machines for minimum exposure of the cutting edge while performing the operation.

15. Before employees are permitted to operate any woodworking machine, he/she must receive instructions in the hazards of the machine and the safe method of its operation.
16. Never remove guards from tools or machines when working your task.
17. Never carry hand or power tools while climbing. Always use a tag line or approved bag or container to hoist tools from the ground to the job.
18. Bench grinders are not to be operated if there is more than (1/8") one eight-inch gap between the tool rest and the grinding wheel.
19. Always use the required PPE when using tools.

PNEUMATIC POWERED TOOLS AND HOSE

1. Safety retainer pins shall be installed on all connections of air hoses and air tools.
2. Air hose and air hose connections shall be designed for the pressure and service to which they are subjected.
3. Good housekeeping is required where pneumatic tools are used, (keep air hoses out of walkways, stairways, etc.)
4. Always valve off air supply and bleed off air pressure before disconnecting hose connections.

6. POWDER ACTUATED TOOLS

1. Powder actuated fastening tools shall meet the design requirements of ANSI A 10.3 - 1970.
2. Minimum personal protective equipment shall be safety glasses with side shields, face shield, work gloves and hearing protection.
3. The muzzle end of the tool shall have a protective shield or guard at least 3-1/2 inches in diameter, mounted perpendicular to and concentric with the barrel and designed to confine any flying fragments or particles that might create a hazard at the time of the firing.
4. The tool shall be so designed that it cannot be fired unless it is equipped with a standard protective shield or guard, or a special shield, guard fixture or jig.
5. The firing mechanism shall be so designed that the tool cannot fire during loading or preparation to fire, or if the tool should be dropped while loaded.
6. Firing of the tool shall be dependent upon at least two separate and distinct operations of the operator with the final firing movement being separate from the operation of bringing the tool into the firing position.
7. The machine shall be so designed as not to be operable other than against a work surface, and unless the operator is holding the tool against the work surface.
8. Before using the tool, the operator shall inspect it to determine that it is clean and that all moving parts operate freely, and that the barrel is free from obstructions.
9. When a tool develops a defect during use, the operator shall immediately cease to use it, until it is properly repaired.
10. Tools are not to be loaded until just prior to the intended firing time. Neither loaded nor empty tools are to be pointed at any person.

11. Tools shall not be left unattended when loaded or in a place where unauthorized persons could gain access to the tool.
12. In case of a misfire, the operator shall hold the tool in the operating position for at least 30 seconds. He/she shall then try to operate the tool a second time. He/she shall wait another 30 seconds, holding the tool in the operating position, and then he/she shall proceed to remove the explosive load in strict accordance with the manufacturer's instructions.
13. Fasteners shall not be driven into hardened or brittle materials, including but not limited to, cast iron, glazed tile, surface-hardened steel, glass block, live rock, face brick, or hollow tile.
14. Driving fasteners into materials easily penetrated shall be avoided unless such materials are backed by a substance that will prevent the pin or fastener from passing completely through and creating a flying-missile hazard on the other side.
15. Tools shall not be used in an explosive or flammable atmosphere.
16. Only employees who have been trained in the operation of the particular tool in use shall be allowed to operate powder-actuated tools.
17. Firing loads (live or spent) shall not be left lying around the job site.

III.7. NAIL GUNS

1. Nail guns are not to be pointed at any person, loaded or unloaded.
2. Operators shall be trained and familiar with the safe operation of the particular nail gun being used.
3. Nail guns shall only be fired when placed on the work piece.
4. Nail guns are not to be used where the nail can penetrate completely through the work causing a flying missile hazard on the other side.
5. Hands are to be kept at a safe distance when the nail gun is being fired.

8. HAND TOOLS GENERAL RULES

1. Always select and use the right tool for the job.
2. Always wear the required (PPE) Personal Protective Equipment.

3. Keep tools in good condition.
4. Use tools correctly.

Hand Tool Safety

Unsafe Acts

- Wrong Tool
- Positioning
- Guards Removed
- Blade changes while energized



Unsafe Conditions

- Splintered Handles
- Worn Blades
- Loose Wires
- No Ground Plug

Hazard Communication - Safe Practice

The purpose of this program is to ensure the safe use of hazardous chemical substances and to comply with the requirements of OSHA HCS 2012.

INTRODUCTION

In 2012, OSHA revised the Hazard Communication Standard (HCS) to align with the Globally Harmonized System of Classification and Labeling of Chemicals (GHS). As a result, this Hazard Communication Program (HCP) has been revised to comply with the requirements of the OSHA HCS 2012.

It spells out how Sandco will inventory chemicals stored and used, obtain and use Safety Data Sheets, maintain labels on chemical substances and train employees about the hazards of chemicals they are likely to encounter on the job.

Preparation of this program indicates our continuing commitment to safety among our employees in all of our locations.

- Each facility is expected to follow this program and maintain its work areas in accordance with these requirements.
- Employees, their designated representatives, and government officials must be provided copies of this program upon request.
- In addition to the program, other information required as part of our hazard communication effort is available to workers upon request.
- Asking to see this information is an employee's right.
- Using this information is part of our shared commitment to a safe, healthy workplace.

SCOPE

This program is applicable to all Sandco employees who may be exposed to hazardous chemical substances. When work is performed on a non-owned or operated site, the operator's program shall take precedence, however, this document covers Sandco employees and contractors and shall be used on owned premises, or when an operator's program doesn't exist or is less stringent.

RESPONSIBILITIES

A written hazard communication program be developed, implemented and maintained at each workplace. A written hazard communication program shall be developed, implemented and maintained at each workplace that describes how labels and other forms of warning, Safety Data Sheets and employee information will be met.

Safety Manager or Designee

The Safety Manager, or designee, is responsible for administering the hazard communication program. This person is also responsible for:

- Reviewing the potential hazards and safe use of chemicals.
- Maintaining a list of all hazardous chemicals and a master file of SDSs.

- Ensuring that all containers are labeled, tagged or marked properly.
- Providing new-hire and annual training for employees.
- Maintaining training records.
- Identifying hazardous chemicals used in nonroutine tasks and assessing their risks.
- Informing outside contractors who are performing work on Sandco project or property about potential hazards.
- Reviewing the effectiveness of the hazard communication program and making sure that the program satisfies the requirements of all applicable federal, state or local hazard communication requirements.

Employees

- Employees are responsible for following the requirements in the Hazard Communication Program.
- Any employee who transfers any material from one container to another is responsible for labeling the new container with all required information.
- All employees are responsible for learning the requirements of this section and for applying them to their daily work routine.
- Identifying hazards before starting a job.
- Reading container labels and SDSs.
- Notifying the supervisor of torn, damaged or illegible labels or of unlabeled containers.
- Using controls and/or personal protective equipment provided by the Sandco/Advanced Building Corp. to minimize exposure.
- Following Sandco instructions and warnings pertaining to chemical handling and usage
- Properly caring for personal protective equipment, including proper use, routine care and cleaning, storage and replacement.
- Knowing and understanding the consequences associated with not following Sandco/Advanced Building Corp. policy concerning the safe handling and use of chemicals.
- Participating in Sandco training.

PROCEDURE

List of Hazardous Chemicals

The Masonry Inc shall maintain a list of hazardous chemicals on the job site. A list of the hazardous chemicals known to be present using an identity that is referenced on the appropriate Safety Data Sheet shall be maintained.

The Hazardous Chemical List is updated as necessary and at least annually by the Safety Manager or their designee. The Hazardous Chemical List must be available for review upon request.

Safety Data Sheets (SDS)

SDSs must be obtained for each required chemical. Chemical manufacturers are responsible for developing SDSs. Sandco shall have a SDS for each chemical used.

The purchasing of any potentially hazardous chemical products from any supplier that does not provide an appropriate Safety Data Sheet in a timely fashion is prohibited.

SDSs are to be maintained in a readily accessible location to employees. SDSs shall be maintained and readily accessible in each work area. SDSs can be maintained at the primary work site. However, they should be available in case of an emergency. SDS must be made available, upon request, to employees, their designated representatives, the Assistant Secretary & the Director.

The Safety Data Sheet must be kept in the SDS library for as long as the chemical is used by the facility.

Electronic access (telephone, fax, internet, etc.) may be used to acquire and maintain SDS libraries and archives.

The Manager is responsible for seeing that the Chemical Inventory List inventory is maintained, is current and is complete. He/she will review Chemical Inventory List at least annually. When a hazardous material has been permanently removed from the work place, its SDS is to be removed from the Chemical Inventory List.

SDS' for hazardous materials to which Sandco employees have been exposed must be maintained after the employee leaves the employment of Sandco

Methods to be Used to Inform Employees of the Hazards of Non-Routine Tasks

The methods that Sandco will use to inform employees of the hazards of non-routine tasks (i.e., the cleaning of reactor vessels, etc.) and the hazards associated with chemicals contained in unlabeled pipes in their work areas include:

- Conducting a Job Hazard Assessment (JSA).
- Employees will be advised of methods and special precautions, PPE and the hazards associated with chemicals and the hazards associated with chemicals contained in unlabeled pipes in their work areas.
- In the unlikely event that such tasks are required, the supervisor, or designee, will provide a SDS for the involved chemical.

The Use and Care of Labels and Other Forms of Warning

Container labels should contain the following information:

- Product identifier
- Signal word
- Hazard statement
- Pictogram(s)
- Precautionary statement(s), and
- Name, address and telephone number of the chemical manufacturer, importer or other responsible party.

The Manager will ensure that all hazardous chemicals used or stored in the facility are properly labeled.

Damaged labels or labels with incomplete information shall be reported immediately.

Workplace labels or other forms of warning will be legible, in English and prominently displayed on the container or readily available in the work area throughout each work shift.

If employees speak languages other than English, the information in the other language(s) may be added to the material presented as long as the information is presented in English as well.










Sandco will use the GHS labeling system for secondary containers.

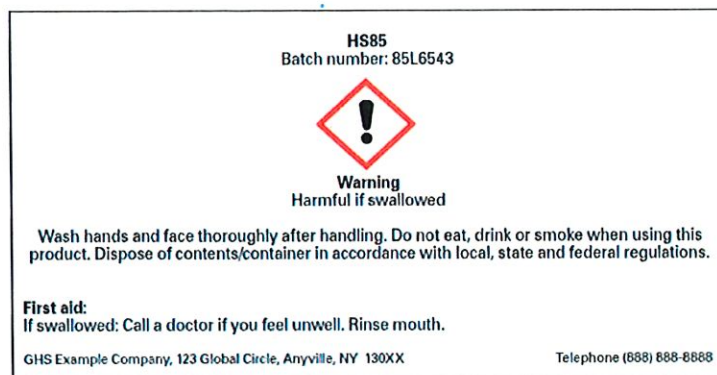
Portable containers into which hazardous chemicals are transferred from labeled containers and that are intended for the immediate use of the employee who performs the transfer do not require a label.

If the portable container will be used by more than one employee or used over the course of more than one shift, the container must be labeled.

Received from vendors that are not properly labeled must be rejected.

Pictograms and Hazards

<p>Health Hazard</p>  <ul style="list-style-type: none"> • Carcinogen • Mutagenicity • Reproductive Toxicity • Respiratory Sensitizer • Target Organ Toxicity • Aspiration Toxicity 	<p>Flame</p>  <ul style="list-style-type: none"> • Flammables • Pyrophorics • Self-Heating • Emits Flammable Gas • Self-Reactives • Organic Peroxides 	<p>Exclamation Mark</p>  <ul style="list-style-type: none"> • Irritant (skin and eye) • Skin Sensitizer • Acute Toxicity (harmful) • Narcotic Effects • Respiratory Tract Irritant • Hazardous to Ozone Layer (Non-Mandatory)
<p>Gas Cylinder</p>  <ul style="list-style-type: none"> • Gases Under Pressure 	<p>Corrosion</p>  <ul style="list-style-type: none"> • Skin Corrosion/ Burns • Eye Damage • Corrosive to Metals 	<p>Exploding Bomb</p>  <ul style="list-style-type: none"> • Explosives • Self-Reactives • Organic Peroxides
<p>Flame Over Circle</p>  <ul style="list-style-type: none"> • Oxidizers 	<p>Environment (Non-Mandatory)</p>  <ul style="list-style-type: none"> • Aquatic Toxicity 	<p>Skull and Crossbones</p>  <ul style="list-style-type: none"> • Acute Toxicity (fatal or toxic)

Example Label**Multi-Employer Job Sites and/or Multi Work Site**

The following specific methods for providing other employer information concerning hazardous chemicals at job sites, methods of providing SDS sheets, methods of precautionary measures to be taken and methods of providing information on labeling systems:

Multi-Work Sites

Where employees must travel between work places during a work shift (multi job sites), the written program may be kept at a primary job site. If there is no primary, then the program should be sent with employees.

Multi-Employer Job Sites

A pre-job briefing shall be conducted with the contractor prior to the initiation of work on the site.

- During this pre-job briefing, contractors shall notify Sandco and present current copies of Safety Data Sheets and label information for every hazardous chemical brought on-site.
- Sandco shall notify and provide required SDS and label information for all hazardous chemicals the contractor may encounter on the job.
- The facilities labeling system and any precautionary measures to be taken by contractor during normal conditions and emergencies shall be addressed.
- By providing such information to other employers, Sandco does not assume any obligations that other employers have for the safety of their employees.

TRAINING

Employees shall be provided with information and training. Employees shall be provided with effective information and training on hazardous chemicals in their work area at the time of their initial assignment and whenever a new physical or health hazard the employees have not previously been trained about is introduced into their work area. Information and training may be designed to cover categories of hazards (e.g., flammability, carcinogenicity) or specific chemicals. Chemical-specific information must always be available through labels and safety data sheets.

Additional training will be provided whenever a new chemical hazard is introduced into the work area. To reinforce the importance of handling chemicals properly when performing new or non-routine tasks supervisors will conduct supplementary training as needed.

Formal training will be conducted by facility employees or individuals who are knowledgeable in the Hazard Communication program.

The Hazard Communication Program documented training shall, as a minimum, include:

- Requirements of the OSHA Hazard Communication Standard 29 CFR 1910.1200 (General Industry) or 29 CFR 1926.59 (Construction Industry).
- Operations in the work area where hazardous chemicals are present.
- Location and availability of the hazard communication program, chemical inventory list and SDSs.
- Methods and observations used to detect the presence or release of a hazardous chemical in the work area, such as monitoring devices, visual appearance or odor of hazardous chemicals when being released.
- Explanation of the labels received on shipped containers.
- Explanation of the workplace labeling system.
- Explanation of the SDS, including order of information and how employees can obtain and use the appropriate hazard information.

The Manager shall ensure records of employee training are maintained.

IMPLEMENTATION REQUIREMENT

Per OSHA Requirements

Effective Completion Date	Requirement(s)	Who
December 1, 2013	Train employees on the new label elements and safety data sheet (SDS) format.	Employers
June 1, 2015* December 1, 2015	Compliance with all modified provisions of this final rule, except: The Distributor shall not ship containers labeled by the chemical manufacturer or importer unless it is a GHS label	Chemical manufacturers, importers, distributors and employers
June 1, 2016	Update alternative workplace labeling and hazard communication program as necessary, and provide additional employee training for newly identified physical or health hazards.	Employers
Transition Period to the effective completion dates noted above	May comply with either 29 CFR 1910.1200 (the final standard), or the current standard, or both	Chemical manufacturers, importers, distributors, and employers

Housekeeping – Safe Practice

Purpose:

To provide for the orderly temporary storage and disposal of scrap materials and hazardous wastes generated on the job. Good housekeeping provides for safety, healthful conditions, fire prevention and work efficiency on the job site. Some examples of incidents resulting from poor housekeeping are:

- **SAFETY** - Puncture wound to the foot caused by stepping on scrap wood materials with protruding nails that someone carelessly threw to the ground. Sprained ankles from stepping on scrap or building materials left in aisles and work surfaces. Trips and falls from service hoses, electrical cords and cables strung across work surfaces.
- **HEALTH & HYGIENE** - Food scraps and empty food containers attract animals, pests and insects that bite, sting and spread disease. Use & Care of portable toilets and hand-washing facilities.
- **FIRE** - Scrap materials piled around the job site are a source of fuel for fires, especially in those areas where hot work is being performed.
- **INEFFICIENCY** - Work materials and tools are mixed in with scrap materials and are sometimes lost. Employees constantly move scrap out of their way to perform their task.
- **ENVIRONMENTAL** - Hydraulic fluids, gear oil, motor oil, transmission fluids, cutting oil, paint and thinner product spills to the ground get into the ground water causing pollution of soil and aquifers.

Guidelines for Implementation:

- The site safety plan should determine strategic locations where portable trash containers should be placed for the disposal of daily trash generation. A system/schedule needs to be in place to have dumpsters emptied on a timely basis when filled. Label containers to identify which waste products are to be placed in the trash containers.
- A routine trash pickup schedule needs to be prepared to empty the portable containers into bulk trash dumpsters. Consider heavy workload periods, which may generate above average waste and arrange for additional cans and dumpsters.
- Trashcans used to dispose of waste food products and empty food containers should be of metal construction to allow for sanitizing and, for health reasons, be equipped with tight fitting lids to avoid attraction of insects and vermin.
- Employees need to be instructed on what materials do not go into the ordinary trash collection containers. Examples: Hazardous waste, tires, aerosol cans, mercury vapor lamps, fluorescent tubes, lead-acid batteries, cardboard (if segregated for recycle), scrap iron, etc.

- The site safety plan should also take into account the number of employees working on the site and establish how many portable toilets & hand-washing facilities are needed. OSHA/MSHA regulations establish how many toilets & urinals are required. A plan also needs to be established such that these facilities are maintained in proper fashion. This is especially critical if these facilities are located on multi-level floors or in excavations.

OSHA 1926.51 requires:

• Number of Employees	• Minimum number of facilities
• 20 or less	• 1
• 20 or more	• 1 toilet seat & 1 urinal per 40 workers
• 200 or more	• 1 toilet seat & 1 urinal per 50 workers

- Additional safety considerations for promoting good housekeeping are to instruct personnel to:
 - Clinch or pull nails from boards before they leave your hand.
 - Keep building materials stored out of the walkways in a neat and orderly fashion.
 - Stop and pick up items that are out of place. Place scrap materials in designated containers immediately.
 - Do not allow scrap materials to accumulate. Empty trash containers on a daily basis.
 - Route services hoses electrical cords and cables overhead whenever possible.
 - Dispose of metal banding material and wire after cutting from crates, pipe bundles, etc.
 - Site should audit itself for compliance with housekeeping issues.

Inspection – Safe Practice

PURPOSE

This Safe Practice outlines the type and frequency of Inspections that Sandco, LLC will perform in addition to the daily or before use "cursory" inspections that are required by OSHA. Scheduled periodic safety inspections shall be conducted to identify any unsafe conditions and/or practices. These inspections shall be uniquely identified on the objects being inspected or documentation kept where applicable. Type of inspections and frequencies are as follows:

<u>REQUIREMENTS:</u>	<u>FREQUENCY:</u>	<u>FORM #</u>
Site Safety Inspection	Weekly	31
Excavations	Daily	16
Cranes/Aerial Lifts	Daily & Monthly	29
Forklifts/Backhoes	Daily & Monthly	22
Vehicles	Monthly	27
Ladders	Monthly	
Fire extinguishers	Monthly	24
Rigging & slings	Quarterly	30
Electrical tools & cords	Quarterly	23
Safety belts, harnesses & lanyards	Quarterly	25

Ladder - Safe Practice

Purpose: Ladder usage shall conform to the following guidelines to prevent fall injuries.

Purchasing department specifications:

- Wooden, fiberglass or other non-conductive material ladders shall be used.
- Ladders shall meet ANSI 14.3, Type IA, 300 lb. heavy industrial specifications.

Note: Wooden job made ladders shall be built per government specifications.

Ladder usage:

The use of ladders for long-term work or heavy work activity is to be discouraged. Examples of acceptable ladder usage are as follows:

- Access to elevations.
- Access for brief inspection.
- Short-term light work where the individual faces the ladder, (not sitting on top or straddling) and stays within the confines of the ladder rails.

Unacceptable Ladder Usage:

Here are examples of unacceptable ladder usage. These are just a few examples.

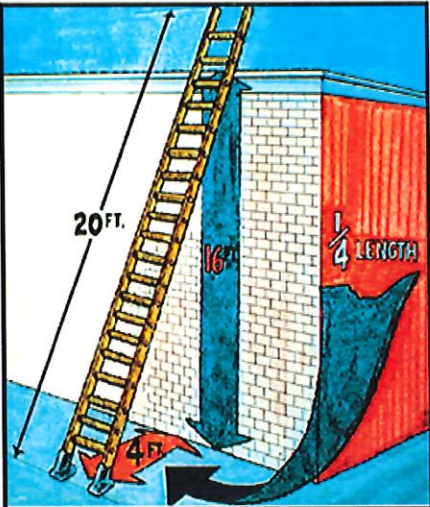
- Standing on top of a ladder or on the step next to the top.
- Extension ladder not tied off or held by another employee.
- Stepladder not opened fully.
- Using ladder as a scaffold or in conjunction with other lifting devices (in a aerial lift).

Employee training:


- New employee orientation includes instruction on the contents of this Safe Practice.
- Annual refresher instruction on ladder safety shall be conducted annually.
- Training shall include when fall protection is required while using a ladder.


Ladder inspection program:

- The user before each use must inspect the ladder.
- A documented ladder inspection shall be conducted on a quarterly frequency.
- Defective ladders shall be removed from service and shall be destroyed immediately or be red-tagged (Danger – do not use) for repair by a ladder manufacturing company.




- **Setup**
 - Angle
 - Supporting Surface
 - Secured from movement
 - Distance
 - Base to Structure
 - Base to Top





Step Ladders

- Make Sure The Spreaders Are Locked In The Fully Open Position
- Keep Your Body Centered On The Ladder
- Don't Exceed The Duty Rating



Lockout/Tagout – Safe Practice

Purpose

This Procedure is established for Sandco, LLC employees to have safety controls and procedures which will ensure that equipment and machines are locked and tagged /out and isolated from all potential hazardous energy sources.

DEFINITIONS:

Affected Employee an employee whose job requires him/her to operate or use a machine or equipment on which servicing or maintenance is being performed under lockout or tag/out, or whose job requires him/her to work in an area in which such servicing or maintenance is being performed.

Authorized Employee a person who locks out or tags out machines or equipment in order to perform servicing or maintenance on that machine or equipment. An affected employee becomes an authorized employee when that employee's duties include performing servicing or maintenance of machines or equipment, which require lockout tag/out.

Energy Source any source of electrical, mechanical, hydraulic, pneumatic, chemical, thermal, or other energy.

Service and/or Maintenance workplace activities such as constructing, installing, setting up, inspecting, modifying, maintaining and/or servicing machines or equipment.

GENERAL REQUIREMENTS

1. All energy isolating devices that control the energy to the machine, system or equipment shall be physically located and switched, disconnected or blinded in a manner as to isolate the machine system or equipment from the energy source(s), by qualified and authorized personnel only.
2. A lock and tag shall be affixed to each energy-isolating device by an authorized supervisor working on the system. (These employees must have the proper training and authorization) The employee who attaches the tag must sign tags.
3. All employees that are involved in work, which requires lock and tag, must have their individual lock and tag (or personal tag in cases where the device cannot be locked) on each isolating device. This lock and tag is for their protection only and will be put on at the beginning of their shift and taken off before the employee leaves the jobsite during the same shift.
4. After each system is locked/tagged, while under the supervision of an authorized person and with the awareness and approval of the owner and before start of work, **Verify the**

System by;

- i. **LOCKOUT** – The disconnect should be in the **OFF** position or **BLIND** in place or a physical separation from the system.
 - ii. **LOCK/TAG** - Each lock/tag will be identified by a **DANGER WARNING** and identifiable by the signature of the affected employee attaching the lock/tag.
 - iii. **CLEAR** - The person locking the system out will ensure that equipment is cleared of persons or things.
 - iv. **TRY** - The operating control or authorized personnel should try switch before work begins to ensure that everything is locked out properly. (The "**Try**" step of equipment should be done only with the knowledge and cooperation of the owner)
5. Each system, which is isolated by the Energy Source Lockout & Tag/out, **should** be protected with a construction control lock that will stay on the duration of the job. (As a minimum this lock should be controlled by a supervisory position and goes on at the start of the job and comes off when the job is completed) This construction control lock should be used if the owner of the system has a lock out tag/out procedure that will allow a construction control lock.
6. Electrical circuit breakers are to be jacked in or out only by an authorized and qualified electrician.
- i. **NOTE:** It is possible for electrical circuitry after being locked out to have stored energy, so it is very important to check with the appropriate test equipment before start of work.
7. Do not work on systems or equipment unless you are satisfied it is safe to do so.
8. We will work to customer's requirements if we feel that it meets the intent of the lock out tag/out requirements.

REMOVAL OF LOCKS AND TAGS REQUIREMENTS

1. The same employee who applies the lockout tag/out device shall remove each lockout or tag/out device from each energy-isolating device. This must occur before the employee physically leaves the job on the same shift the employee applied the lockout device.
2. (Exceptions) When the authorized employee who applied the lockout or tag out device is not available to remove it, that device may be removed under the direction of an authorized supervisor or manager when the following requirements are met.
 - a. Verification that the authorized employee who applied the lockout tag/out device is not at the facility.

- b. Making all reasonable efforts to contact the authorized employee to inform him/her that his/her lockout or tag/out device has been removed.
 - c. Ensuring that the authorized employee has this knowledge before he/she resumes work at that facility.
 - d. Utilize the required Removal Form.
3. In situations which lockout or tag/out devices must be temporarily removed from the energy isolating device and the machine or equipment energized to test or position the machine, equipment or component thereof, the following sequence of actions shall be followed;
- a. Clear the machine or equipment of tools and materials
 - b. Remove employees from the machine or equipment
 - c. Authorized employees remove their lockout or tag/out devices
 - d. Energize and proceed with testing or positioning
 - e. De-energize all systems and reapply lock and tag devices

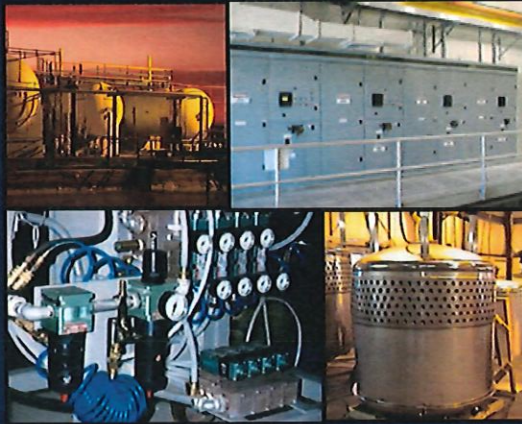
TRAINING REQUIREMENTS

- 1. Employees that are required to work on machines, equipment, piping and process systems are to be trained in the recognition of applicable hazardous energy sources, the type and magnitude of the methods and means necessary for energy source isolation and control. (Documentation of employee training is to be kept on file at the jobsite.)
- 2. Employees shall be instructed in the purpose and use of the Lockout Tag out Procedure.
- 3. All other employees whose work operations are or may be in an area where energy control procedures may be utilized, shall be instructed about the procedure, and about the severe penalties relating to attempts to restart machines or equipment which are locked or tagged out without the proper authorization.



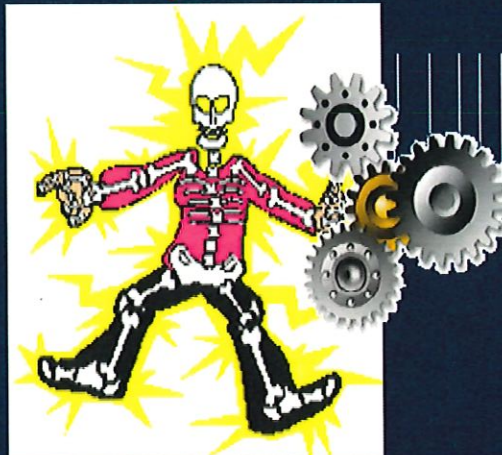
Potential Hazards

- Accidental Release of Energy
 - Electrical
 - Mechanical
 - Pneumatic
 - Hydraulic
 - Chemical
 - Thermal
 - Pressure



Potential Injuries

- Electrocution
- Amputation
- Crushing
- Burns





Sequence for LOTO

- **Notify Authorized And Affected Employees**
- **Shut Down The Equipment**
- **Lock Out All Energy Sources**
- **Lock And Tag Switches With Separate Locks And Tags For Individual Employees**
- **Release Any Stored Energy**

Material Handling & Housekeeping Safe Practice

IV.

V. PURPOSE

The purpose of this policy is establishing Material Handling, Storage & Housekeeping Safe Practices. Good procedures in these areas are an essential part of the accident prevention process. Other benefits are derived from establishing and maintaining good material handling, storage and housekeeping procedures:

1. Accident hazard elimination
2. Fire hazard elimination
3. Improve moral
4. Favorable impression on clients and visitors

VI. MATERIAL HANDLING AND STORAGE REQUIREMENTS

1. All materials sorted in tiers shall be stacked, racked, blocked, interlocked, or otherwise secured to prevent sliding, falling or collapse.
2. Aisles and passageways shall be kept clear to provide for the free and safe movement of material handling equipment or employees. Such areas shall be kept in good repair.
3. Bagged materials shall be stacked by stepping back the layers and cross-keying the bags at least every ten (10) bags high.
4. Materials shall not be stored on scaffolds or runways in excess of supplies needed for immediate operations.
5. Used lumber shall have all nails withdrawn before stacking.
6. Lumber shall be stacked on level and solidly supported sills.
7. Lumber shall be so stacked as to be stable and self-supporting.
8. Structural steel, poles, pipe, bar stock, and other cylindrical materials, unless racked, shall be stacked and blocked so as to prevent spreading or tilting.
9. All flammable shall be labeled appropriately according to Hazcom Procedures.
10. Gas and flammable shall be kept in approved containers and stored in a designated storage area.
11. Proper lifting posture shall be used when lifting materials. Maximum recommended

- weight to be lifted by one person is fifty (50) pounds. Utilize mechanical means when possible.
12. Materials 10 feet and longer that are moved manually shall be moved by 2 persons.

***VII. HOUSEKEEPING
REQUIREMENTS***

Orderly arrangement of material and equipment are prime requisites of safety. Every employee is required to keep his work area in a neat and orderly condition and to cooperate with other employees in making this possible throughout the jobsite.

1. Keep all work areas clean and safe at all times.
2. All nails will be bent or removed from lumber immediately.
3. Clean up spilled grease, oil, ice, snow or other slipping hazards immediately.
4. Deposit trash, refuse, and debris in proper trash containers. Please help keep the area clean.
5. Clear unobstructed walkways shall be maintained in all areas.
6. Extension cords, welding leads, supplies, and tools should be positioned so as not to create tripping hazards.

A. DISPOSAL OF WASTE MATERIALS REQUIREMENTS

1. Whenever any materials are dropped more than twenty (20') to any point outside the exterior walls of the building, an enclosed chute of wood, or equivalent material, shall be used.
 2. When debris is dropped through holes in the floor without the use of chutes, the area onto which the material is dropped shall be completely enclosed with barricades not less than forty-two (42") inches high and not less than six (6') feet back from the projected edge of the opening above.
- B.***
3. Signs warning of the hazard of falling materials shall be placed at each level. Removal shall not be permitted in this lower area until debris handling ceases above.
 4. All scrap lumber, waste material, rubbish shall be removed from the immediate work area as work progresses.
 5. Disposal of waste materials or debris by burning shall comply with local fire regulations.

6. All solvent waste, oily rags and flammable liquids shall be kept in fire resistant covered containers until removed for the worksite.

Medical Treatment – Safe Practice

PURPOSE

This Safe Practice contains the requirements to establish first aid at Sandco, LLC jobsites.

REQUIREMENTS

Each construction jobsite shall provide for emergency medical treatment of injured personnel. Provisions for prompt medical treatment shall be determined in advance of the project start and shall include as a minimum the following considerations:

1. Availability of medical personnel for advice and consultation on matters of occupational health.
2. Posted telephone numbers of physicians, hospitals and ambulance services.
3. Establish a means of communication to summon emergency medical aid.
4. Provide a first-aid kit sufficient to service the size of the workforce, which has been reviewed and approved by the company's consulting physician. First-aid items shall be individually sealed and stored in weatherproof containers.
5. In the absence of an infirmary, clinic, hospital or physician that is reasonably accessible in terms of time and distance, a supervisor trained in first-aid and CPR should be available on site. The trained person shall have documented credentials on site and the training shall be from the U. S. Bureau of Mines, the American Red Cross, or their equivalent.
6. Where exposures to injurious corrosive substances exist, emergency eye flushing facilities shall be provided.
7. An ANSI approved basket litter shall be provided for structures higher than 48 feet or for structures 48 feet below ground level without conventional means of access and egress.

Mobile Equipment Operation Safe Practice

Purpose: To prevent injury or property damage relating to motor vehicle operation

Guidelines for Implementation

Only trained and authorized personnel shall be allowed to operate mobile equipment. This is normally equipment operated on site as opposed to public vehicles. Some examples are:

FORKLIFTS	FRONT END LOADERS	BACKHOES/TRACKHOES
BOBCATS	PICKERS/CRANES	TRACTORS
GRADERS	ELECTRIC MAINT. CARTSS	SCISSOR LIFTS
AERIAL LIFTS	SITE FLATBED TRUCKS	SITE DUMP TRUCKS

The Equipment Manager or designated person will develop a list of authorized operators of such equipment and shall provide line supervision with a matrix, which identifies those personnel. Only employees with current drivers' licenses shall be allowed to operate trucks on public highways. CDL licenses are required for certain types of large trucks or semi-tractor/trailers. State law shall be followed in each instance.

Responsibilities are:

LINE SUPERVISION

- Arrange for personnel to be qualified for specific equipment and maintain an adequate supply of authorized operators.
- Monitor operation of mobile equipment to ensure that only authorized and qualified personnel are operating the equipment.

OPERATING PERSONNEL

- To not operate mobile equipment unless they have been qualified and authorized.
- To follow safe operation of mobile equipment as instructed by supervision.

INSPECTION

- Site shall designate mobile equipment inspection responsibilities using matrix found in Safe Practice on Inspections & Audits as well as complying with Corporate Policy.
- Persons responsible for inspection of mobile equipment shall complete inspections as schedule and forward the inspection form to the safety department files.
- Inspectors shall lockout unsafe equipment and arrange for immediate correction of deficiencies noted on inspection.

VIII.

Motor Vehicle Safe Practice

Purpose:

To ensure that all motor vehicles owned, rented or leased on behalf of Sandco, LLC are operated in a safe manner. A motor vehicle shall be defined as an automobile, pickup truck, dump truck, or any other vehicle that normally may be operated upon public highways. Motor vehicles confined to the project premises will be subject to the same restrictions as outlined below.

Objective:

The objective is to minimize the risk of injury or damage to Sandco, LLC employees, property, motor vehicles and/or injury or property damage to the general public not associated with Sandco, LLC.

Scope:

The restrictions outlined below will apply to all motor vehicles that are owned, rented, leased or borrowed to use to transact business on Sandco, LLC behalf.

Prior to operating any motor vehicle under Sandco, LLC care, custody and control, a Motor Vehicle Record (MVR) will be performed on each individual. In addition, a MVR will be obtained at least annually for all Sandco, LLC drivers. This will be accomplished by photocopying an individual's Drivers License and sending it to Sandco, LLC Risk Management Department. Risk Management will request a MVR on that individual. Based upon the information received from the MVR, a decision will be made regarding whether that individual will be granted the privilege to operate a Sandco, LLC vehicle.

If an individual has any of the following infractions on their MVR as outlined below, they will **not** be permitted to operate a Sandco, LLC vehicle. The individual, and their Superior as appropriate, will be notified first by telephone then with a follow-up letter by ordinary mail. A copy of the notification letter will be kept in the individual's personnel file.

- 1.) License is suspended, revoked or expired for any reason whatsoever.
- 2.) Any DUI (driving under the influence) convictions in the past three years. This driving exclusion will apply whether the individuals license was revoked or not. If a person is suspected by a law officer of driving under the influence, but has not yet been convicted, they will not be permitted to operate a Sandco, LLC vehicle until a final verdict is made by the presiding city, county, state or federal court having jurisdiction.
- 3.) Any hit and run accident regardless of the extent of bodily injury or property damage.
- 4.) Any accident, Sandco, LLC related, not reported to Sandco, LLC Risk Management Department within three (3) working days of the incident. It will be the responsibility of the individual involved in the accident to supply a police report to Risk Management within seven (7) working days.
- 5.) Any individual with **more** than six (6) points on their license. Regardless of the

infraction(s) for which they received the points.

6.) Any individuals who have not submitted copies of their drivers license for the purpose of obtaining their MVR.

For the purpose of monitoring the driving records of our employees, a MVR will be performed at least annually on all employees. At certain times, a MVR may be requested at a frequency greater than annually. Any failure to cooperate with the administration of a MVR will immediately terminate the individuals right to operate a Sandco, LLC vehicle until such time as they cooperate with the administration of the MVR on their driving record.

There are times when an employee must/may take a Sandco, LLC motor vehicle home overnight or for the weekend. Sandco, LLC does not condone, nor approve of:

- a.) Transporting any non-Sandco, LLC business related person.
- b.) Using the vehicle for personal transportation considered private in nature.
- c.) Any other use not considered for the express benefit of, or strictly related to, Sandco, LLC Engineers & Constructors, Inc.

Sandco, LLC does not condone any reckless operation of a Sandco, LLC vehicle. This includes all speeding, rolling stops at Stop signs, or any other activity considered unsafe by the motor vehicle laws of the governing state(s). Any tickets received for any driving infractions whatsoever will be paid by the offending employee and will not be considered reimbursable by Sandco, LLC, Inc.

The Project Manager, Site Manager or Senior Sandco, LLC representative, as appropriate, shall be responsible for assigning authority to operate Sandco, LLC vehicles. They shall ensure that all operators have a valid current driver's license, with a current MVR check performed and approved by Risk Management, before they are permitted to operate a Sandco, LLC vehicle.

IX.

X.

XI.

XII.

XIII.

OSHA Compliance/Inspection – Safe Practice

PURPOSE

This Safe Practice contains guidelines concerning OSHA inspections, and record keeping. This policy establishes the expected conduct of Sandco, LLC employees during an inspection. Supervisors are expected to know the requirements of the applicable OSHA standards, and comply with those standards, unless exceeded by Sandco, LLC requirements.

DEFINITIONS

This portion of the Safe Practice is provided to establish standard definitions for usage in this document. The listed definitions should be considered the basic definitions needed in order to understand this policy. The OSHA standards provide many other definitions that will be used in this policy. The SANDCO, LLC' training manual, and lessons, will cover those definitions more in depth than is needed here, and should be referenced as needed.

- **Compliance Safety and Health Officer (CSHO):** An individual appointed by OSHA to inspect industries and businesses for compliance with the OSHA standards.
- **OSHA Poster:** A document provided by OSHA outlining the provisions of the Occupational Safety and Health Act of 1970. Other informational posters are required to be posted at each site. Contact the Company Safety Director to insure your site has correct posters for State and Local requirements.
- **Site Manager:** The Project Manager, Superintendent, General Foreman, or Foreman, responsible for site operations.
- **OSHA:** Occupational Safety and Health Administration.
- **OSHA Form #301:** A form used to document an accident or incident involving a doctor case. In most cases the State's Report of Injury may be used as a substitute
- **OSHA Form #300:** A form used to document a recordable lost time injury.
- **Recordable Injury:** An injury required to be documented by the OSHA standards.
- **Lost Time Injury:** An injury prevents an employee from returning to work, or changes his/her ability to perform their job.
- **Report of Injury:** Refers to the required documentation of an accident by the Insurance Company.

RECORD KEEPING: The OSHA Form 300 is maintained at the Sandco, LLC main office, located at 4708 Capital Circle NW. Recording of injuries will comply with the instructions

on the back of the OSHA Form 300. The completed and certified OSHA Form 300 for the previous year will be displayed along with the OSHA Poster for the entire months of February, March and April.

REPORT OF INJURY: Site Managers will insure that the Report of Injury required at their location is completed and forwarded to the main office and then along to the Insurance Company within the time frame established by State law.

REPORTING OF FATALITY OR THREE OR MORE EMPLOYEES ADMITTED TO THE HOSPITAL: Work related incidents resulting in the death of an employee or the hospitalization of three or more employees requires that the employer verbally report such incidents within 8 hours after the employer learns of it to the nearest OSHA office. Whether or not an incident is immediately reportable, if it results in the death of an employee or the in-patient hospitalization of 3 or more employees within 30 days of the incident, OSHA requires that the employer report the fatality/multiple hospitalization within 8 hours after learning of it.

Jacksonville Area Office
Ribault Building, Suite 227
1851 Executive Center Drive
Jacksonville, Florida 32207
(904) 232-2895
(904) 232-1294 FAX

INSPECTIONS: Site Managers are required to cooperate fully with any CSHO conducting an inspection of their site. Site Managers, once a CSHO has presented credentials, and explained their reason for inspection, will call the Company President and the Company Safety representative. If available the company safety representative should proceed to the site to participate in the inspection process. Provided below is an explanation of the inspection process.

INSPECTION PROCESS

- 1.) OPENING CONFERENCE
- 2.) WALKAROUND
- 3.) CLOSING CONFERENCE

OPENING CONFERENCE

- 1.) The CSHO present credentials to the owner or agent in charge.
- 2.) The CSHO will explain the purpose of the inspection.
- 3.) The CSHO will have employee participation in the inspection, if applicable.
- 4.) The CSHO will outline in general terms the scope of the inspection.
- 5.) The CSHO will ascertain whether there are other employees of other contractors onsite. Employer representatives of other contractors will be included in the scope of the inspection.
- 6.) The CSHO will verify the correct legal name of the company, identify any trade secrets area, and determine interstate commerce.
- 7.) The CSHO will determine if there are any high hazard areas that require personal protective equipment. Site Managers will provide any PPE that the CSHO may need for the inspection walk around.
- 8.) The CSHO may review OSHA 300 and 301 for up to the last 5 years and calculate a lost work day injury rate for that employer. Total employee hours worked at that establishment are needed for the last two years.
- 9.) The CSHO may verify that the employer has a Hazard Communication Program that meets the requirements of 1910.1200. This will involve: verification of the written program, the required list of hazardous chemicals, existence and availability of MSDS's, in-plant and shipped containers labeling program, employee interviews, and observations of use during the walk around stage.
- 10.) The CSHO will verify Access to Employee Exposure and Medical Records in accordance with 1910.20
- 11.) The CSHO will examine any other records, which fall into the scope of the inspection. These may include, but are not limited to:
 - Required certification records and programs
 - Medical surveillance and monitoring records
 - Safety committee minutes
 - Safety committee inspection records

- Insurance company inspection records
 - Consultant inspection records
- 12.) The CSHO will verify that the following are posted:
- OSHA poster
 - OSHA 300 during February, March and April
 - Current citations if any
 - Any Petitions for Modification of Abatement dates

WALKAROUND INSPECTION

- 1.) The main purpose of the walk-around is to identify potential safety and health hazards in the workplace.
- The CSHO will ascertain the degree to which the employer is aware of potential hazards present in the workplace and the methods used to control them.
 - The CSHO will determine employee knowledge of any hazards, which exist.
 - The CSHO will determine the extent to which the employer's program covers the precautions to be taken by employees actually or potentially exposed to hazards.
 - The CSHO will evaluate the use, selection, and maintenance of personal protective equipment.
 - The CSHO will evaluate the overall quality and extent of the educational and training program and the degree of the employee participation in it.
- 2.) The CSHO's will record all facts pertinent to an apparent violation on their work sheets. Apparent violations will be brought to the attention of the employer and employee representatives at the time they are documented.
- 3.) The CSHO's will take photographs or videos of the violation. Site Managers will take pictures, or videotape, of the violation also.

- 4.) The CSHO's will question employees privately during the course of the inspection.

CLOSING CONFERENCE

- 1.) The CSHO will give the employer the publication, "Employer Rights and Responsibilities Following an OSHA Inspection".
- 2.) The CSHO will explain:
 - Employer Rights
 - Contest Procedures
 - Informal Conference
 - Complying with citations
 - Penalties
 - Follow Up Inspections
 - Failure To Abate Citations
 - False Information
 - Employee Discrimination Protection
 - Consultative Services
- 3.) The CSHO will discuss all apparent violations at the closing or at a later time. The Site Manager will document these violation and report them.
- 4.) The CSHO will ask for abatement time for violation. The Site Manager will notify the CSHO of a reasonable period of time, in which, the violation can be corrected.
- 5.) Closing conferences may or may not be held with other employers or employee representatives.

CITATION TYPES

- 1.) SERIOUS

- 2.) OTHER THAN SERIOUS
- 3.) WILLFUL
- 4.) REPEATED
- 5.) FAILURE TO ABATE

DETERMINATION OF VIOLATION TYPE

- 1.) **SERIOUS VIOLATIONS:** The CSHO must go through four steps to determine if a violation should be classified as "Serious".

"A serious violation will be deemed to exist in a place of employment if there is a substantial probability that death or serious physical harm could result from a condition which exists, or from one or more practices, means, methods, operations, or processes which have been adopted or are in use, in such place of employment unless the employer did not, and could not with the exercise of reasonable diligence, know of the presence of the violation." (from Section 17(k) of the Act - P.L. 91-596)

- a.) Establish the type of accident or health hazard exposure, which the violated standard or the general duty clause is designed to prevent.
- b.) Establish the type of injury or illness, which could reasonably be expected to result from, the type of accident or health hazard exposure identified in Step 1.
- c.) Establish that the types of injury or illness identified in Step 2 could include death or a form of serious physical harm. Use the following definition of "serious physical harm."
 - 1.) Impairment of the body in which part of the body is made functionally useless or is substantially reduced in efficiency on or off the job. Such impairment may be permanent or temporary, chronic, or acute. Injuries involving such impairment would usually require treatment by a medical doctor.
 - 2.) Illness that could shorten life or significantly reduce physical or mental efficiency by inhibiting the normal function or a part of the body. Some of the examples of such illnesses include cancer, silicosis, asbestosis,

byssinosis, and hearing impairment, central nervous system impairment.

- d.) Establish that the employer knew, or with the exercise of reasonable diligence, could have known of the presence of the hazardous condition.
- 2. OTHER - THAN - SERIOUS VIOLATIONS: Cited where a hazardous condition would most likely result in an accident or illness which would probably not cause death or seriously physical harm, but would have a direct and immediate relationship to the safety and health of employees.
- 3. WILLFUL VIOLATIONS: These violations may exist where evidence shows that the employer committed an intentional and knowing violation of the Act, or showed plain indifference to the law.
- 4. REPEAT VIOLATIONS: A Repeat violation may be issued for a cited hazardous condition that is substantially similar to a previously cited condition that has become a final order.
 - 1.) The "Repeat" is generally based on the previous violation of the identical standard. The violations must be substantially similar for citation.
 - 2.) The "Repeat" may be based on different standards, if similar circumstances or conditions can be demonstrated in both cases.
 - 3.) The "Repeat" must be issued within three (3) years of the final order of the previous citation, or within three (3) years of the final abatement date of that citation.
 - 4.) A Failure to Abate may be issued when an item of equipment or condition previously cited was never abated and is noted during a later inspection. If the violation was not continuous and had been abated and then recurred; the subsequent reoccurrence is a repeated violation.
 - 5.) DE MINIMIS

De minimis violations are violations of standards, which have no direct or immediate relationship to safety and health. Whenever de minimis conditions are found during an inspection, they will be documented in the same way as any other violation but will not be included on the citation.

PENALTY ADJUSTMENT FACTORS

SIZE

<u>Employees</u>	<u>Percent Reduction</u>
1-25	60
26-100	40
101-250	20
251 or more	None

GOOD FAITH

Percent Reduction

Effective written program which Includes:	25
----------------------------------------------	----

Management commitment and employee involvement; work site analysis; hazard prevention and control; and safety and health training

All applicable programs required under OSHA standards

Effective program showing minor Deficiencies	15
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Otherwise	0
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HISTORY

Percent Reduction

Employers who have not been Cited for serious, willful or repeated violations in past 3 years	10
-----------------------------------------------------------------------------------------------------	----

Otherwise	0
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Potential Penalties

- 1.) \$70,000 WILLFUL, REPEAT
- 2.) \$7,000 SERIOUS
- 3.) \$210,000 FAILURE TO ABATE
- 4.) \$5,000 REPORTING FATALITY
- 5.) \$3,000 POSTING OF CITATION

6.) \$1,000 OSHA POSTER,

- OSHA 300 LOG
- POSTING 300 SUMMARY

POST INSPECTION REPORT

After the OSHA inspection is completed, a report must be completed and sent to the President and the Safety Representative. The report must include as a minimum the following elements:

- 1.) The originals of any correspondence that OSHA may leave after the post inspection conference. Keep a photocopy for your files.
- 2.) Prints of any pictures you may have taken with the OSHA inspector. The pictures should show the exact picture that OSHA took. If they take a picture, it could mean Sandco, LLC will be cited for that infraction. If at all possible, get copies of OSHA's prints even if it means taking it to a 1-hour developer and we pay for the prints. It is vital we have pictures of the same thing OSHA is taking pictures of.
- 3.) The names of any and all employees who accompanied the Inspector during his/her tour. If the senior site manager for Sandco, LLC did not accompany the inspector, what was their reason for not escorting the Inspector?
- 4.) The names of any and all employees who the OSHA inspector interviewed, took pictures of, or worked in any area OSHA will be citing your project for.
- 5.) Any items that may be cited that may not be Sandco, LLC responsibility or Sandco, LLC employees.
- 6.) Any arguments or questions you may have regarding the OSHA inspection.
- 7.) Areas of improvement so that the deficient items will not be found on your project again.
- 8.) Any other information you deem appropriate to the inspection.

Painting Safe Practice

PURPOSE

This policy contains the requirements for safe work practices and procedures for painting and sandblasting. Personnel involved in painting and sandblasting operations shall be instructed on the potential hazards of these operations if not conducted properly. Consideration shall be given for their own personal safety, the safety of others, the prevention of fires, property damage caused by overspray and the methods to be used to protect the environment.

SCOPE

This policy applies to all painting and sandblasting operations performed by Watkins or Watkins' subcontractors. These guidelines are the minimum guidelines for the protection of Watkins' employees, customers, subcontractors, or anyone else that Watkins may be responsible for their safety or well being. These guidelines are:

PAINTING OPERATIONS

- a.) Review the MSDS to determine what precautions should be taken to properly handle, store and apply the paint product. Be alert for lead-base paints and question the need to apply such materials. It is recommended that non-lead containing products be used.
- b.) Ensure that adequate ventilation is available and provide mechanical ventilation when working in confined spaces or in atmospheres with poor natural ventilation.
- c.) Position mechanical ventilation where the discharge will not reenter buildings/vessels or discharge onto other property or automobiles.
- d.) Store combustible/flammable products away from potential ignition sources. Dispensing flammable liquids at the site must be from an approved safety can. Dispensing from 55 gallon drums requires the use of self-closing valves, spark arresting bung vents and bonding from drum to container being filled.
- e.) Post "No Smoking" signs twenty (20') feet from the spray painting area and keep all hot work the same distance away to prevent fire or explosion.
- f.) Wind direction and velocity must be reviewed to determine what measures will be necessary to protect structures, equipment and vehicles in the area. It may be necessary to tarp the spray area or discontinue the painting until conditions are favorable.
- g.) Waste paints, thinners and solvents are hazardous waste and must be accumulated for proper disposal. This is normally the responsibility of our client and we need to follow their program for compliance. Hazardous waste is considered the responsibility of the owner. If the owner denies this responsibility, contact the Tallahassee office for

guidance.

h.) Daily cleaning and good housekeeping shall be performed in paint storage and use areas.

I.) Lift the safety relief valve on portable compressors at least once per week to ensure that the valve is functioning properly.

Personal Protective Equipment – Safe Practice

PURPOSE

This policy contains the requirements for practices and procedures to establish safe work operations and habits in the execution of their work. Personal protective equipment is to be used wherever hazards cannot be totally eliminated by engineering means due to the scope or peculiar hazards involved.

Personal protective equipment (PPE) shall be provided where conditions warrant their use. Employees have the responsibility to wear this equipment as instructed by their supervisor and/or by training instructions. Supervision has the responsibility to ensure that employees are in compliance with our PPE safety policy.

Employees shall also maintain their safety equipment in sanitary condition and good repair. Any defective equipment must be returned to the company for repair or replacement. The PPE included is listed below. This list is not intended to be all inclusive of the PPE you may be required to wear for your particular type of work.

REQUIREMENTS:

HEAD PROTECTION:

1. Only ANSI Z89.1-1969 hard hats shall be worn.
2. Hard hats shall be worn at all times in designated areas.
3. Do not alter the hard hat in any way. Do not store objects inside the liner/suspension of the hard hat.

EYE AND FACE PROTECTION:

1. ANSI Z87.1 safety glasses with hard plastic sideshields are required to be worn where there is hazard of eye injury.
2. Chemical goggles, or mono-goggles, shall be worn when handling chemicals or when working in dusty areas.
3. Welding goggles with appropriate shaded lenses, (see attachment) shall be worn for oxy/acetylene cutting. Safety glasses shall be worn under welding hoods, and face shields.

4. Welding hoods are to be used with appropriate shaded lenses, when arc welding. Hoods shall be attached to hard hats.
5. Face shield visors attached to hard hats shall be worn when performing work such as grinding, chipping, concrete saw cutting, handling corrosive chemicals and using powder actuated tools. Safety glasses shall be worn under face shields.

HEARING PROTECTION:

1. Ear plugs or muffs shall be worn where noise exposures exceed 90 decibels on an eight-hour time-weighted average, or in any area where our client(s) has(have) posted a hearing protection notice.
2. Employees must keep their hearing protectors in clean sanitary condition.

HAND PROTECTION:

1. Plastic or vinyl coated gloves shall be worn when handling mild chemicals, paint, harsh detergents or petroleum products.
2. Cotton or leather work gloves shall be worn when handling construction materials.
3. Heavy leather or equivalent gloves shall be worn for cutting and welding work.
4. Gloves shall not be worn while using a wire wheel bench buffer or when working near moving machinery parts.

SKIN PROTECTION:

1. Rainwear or other impervious material shall be worn where there is the hazard of hot or corrosive liquids being splashed onto the body. Wear the trouser legs on the outside of the boots to prevent liquids from entering your boots.
2. Disposable paper clothing may be worn to keep irritant dust products off employees' skin and personal clothing.

FOOT PROTECTION:

1. Metatarsal guards shall be provided to wear over personal work shoes at those projects where required unless the employee has built in Metatarsal protection in their shoes.
2. Rubber boots with steel toes shall be worn at those projects where steel toed shoes are required and where the hazard of hot or corrosive liquids is present.

RESPIRATORY PROTECTION:

1. Employees required to wear respirators shall be trained in the proper selection and use of

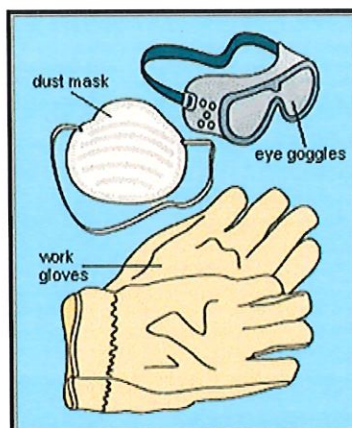
dust masks, cartridge respirators, PAPRs (Powered Air Purifying Respirators), airline respirators and self-contained breathing units. Pulmonary function tests and physicals shall be administered prior to any employee wearing a respirator.

2. Employees shall maintain their respirators in good repair and in a sanitary condition.

PPE Use And Care

Personal Protective Equipment Requirements

- Regular Inspection
- Proper Care
- Proper Use
- Do Not Alter Or Modify PPE



Eye Protection

Match the hazard to the appropriate eye protection.

- Impact
- Chemicals
- Dust
- Light & Radiation



Public Safety – Safe Practice

Purpose: To provide for the safety of the public on projects where construction works is being performed in occupied buildings and adjacent to public thoroughfares.

Guidelines for Implementation:

- Underground utilities have been identified and utility companies are advised at least 48 hours in advance of excavation work.
- Overhead floor loading capacity is verified to ensure capability of supporting loads to be imposed by materials storage and/or equipment operation.
- Soil verified to support outriggers of cranes while under load to avoid tipping accident.
- Location of air intakes for vacuum or ventilation systems on adjacent buildings identified to determine method to prevent contamination from airborne contaminants such as vehicle exhaust fumes, paint/thinner vapors, dust, sparks, hot grinding particles, etc.
- Building owners/occupants are advised of projects where heavy vibration will be generated. This includes blasting operations, pile driving and drilling operations. Consider taking pictures of adjacent buildings and structures to document existing damage and/or defects.
- Perimeter fencing to be erected when necessary with the appropriate signage.
- Where sidewalks are disrupted, provisions are made to install a new walkway complete with handicap access; guardrails and a walking surface free of slip, trip, and fall or bump hazards. Also, lighting may need to be provided
- Overhead protection is provided at walkways where the potential of falling objects exists. Enclosures may generate the need for additional lighting. Such structures may need to be designed per local or state code.
- Systems and/or equipment considerations to minimize noise generation.
- Corridors, stairways and doors will not be blocked to maintain emergency egress.
- Fire lanes are kept unobstructed. It may be necessary to work with the fire department to establish temporary fire lanes.
- Supervision ensures that construction employees maintain good housekeeping and control the movement of materials and equipment in public thoroughfares.

- Supervision ensures that workers maintain barricades and signage as required.
- Construction personnel are instructed to stop work when unauthorized persons stray into the construction area. Such persons shall be escorted immediately to non-work areas.
- Pedestrian and vehicle traffic is cleared before swinging crane loads over public thoroughfares.
- Warnings are given before swinging crane loads over pedestrians or occupied buildings.
- Fugitive dust and overspray from painting operations to be controlled.
- Construction personnel are instructed to remove keys from all vehicles and equipment to prevent theft, vandalism or unauthorized use after hours. All equipment shall be properly secured to prevent movement.
- Develop site safety plan and provide training to all personnel.
- Work site is audited at the start of the workday to ensure that all safeguards are still in place.
- Work site is audited periodically during the day by the public safety supervisor as work progresses to ensure that all safeguards are effective and to determine the need for change in the safety plan.
- Work site is audited at the end of the workday to ensure that all safeguards are still in place and that tools and materials have been secured. A checklist may be developed to provide a documented consistent audit.

Scaffold – Safe Practice

PURPOSE: To provide employees with the basic safe practices required insuring a level of competence in the erection and dismantling of scaffolds on our job sites.

REQUIREMENTS: The following minimum requirements apply to all scaffolding and other elevated work platforms:

1. All scaffolding equipment must be of ANSI approved type.
2. No scaffold should be erected, added to, altered, or dismantled except under the immediate supervision of a competent person possessing adequate experience in scaffold work.
3. Do not work, or allow others to work on scaffold, when sick or suffering from dizziness, unsteadiness or other physical problems, which could affect their ability to work safe.
4. Scaffolding equipment must be inspected before each use. Never use equipment that is damaged, excessively rusted, dented, bent or corroded.
5. If equipment has been altered or modified in any manner, DO NOT USE!
6. Erecting scaffold involves good planning and a methodical approach to the project. Make a plan; stage your equipment so interference with the building process is minimized.
7. Begin with a firm foundation. The foundation must be adequate to support the intended load. Many times job conditions are such that the supporting surface is inadequate.
8. All scaffolding must be level and plumb on a firm, substantial base. The use of base plates and level jacks help guarantee a solid, sure foundation.
9. Any work platform used at a height of six (6') feet or more must be a solid, full-width surface surrounded by a 4-inch toe board, mid-rail and a 42-inch standard guardrail. Vertical supports shall be every eight (8') feet. Alternative fall protection means will be utilized where proper guardrails cannot be installed.
10. All planking must be secured against sliding through the use of nailed cleats or other positive means. The planks shall extend over their end supports not less than 6 inches and not more than 12 inches.
11. Wood plank should be inspected for several qualities. Not all grades of lumber can be used as scaffold plank, so it is necessary that wood plank used for scaffolding be

specifically graded for scaffold use. Check for a GRADE STAMP.

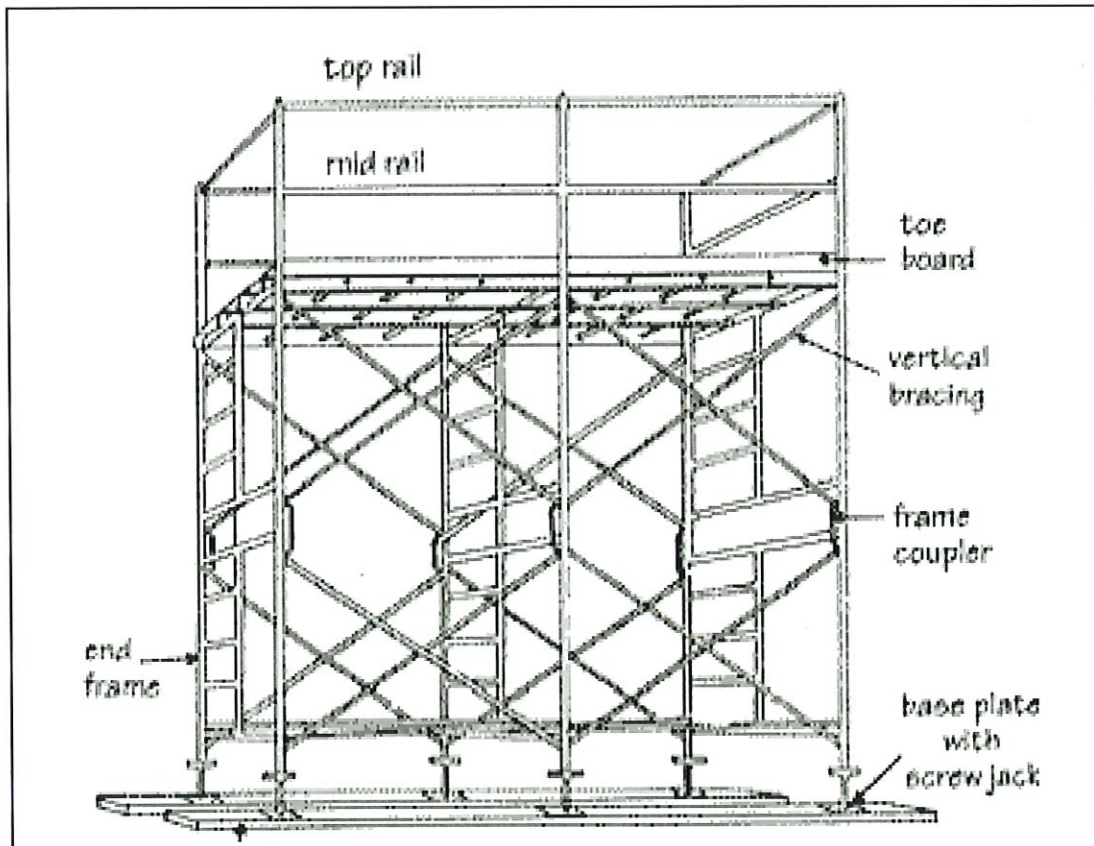
12. Check to make sure the plank is sound and free of defects such as:
 - a. Saw cuts
 - b. Holes
 - c. Splits
 - d. Cut off ends
13. Tag all defective equipment "OUT OF SERVICE."
14. As a safeguard against movement or tipping, built-up scaffolds are to be secured to the structure at least every 30 feet horizontally and every 26 feet vertically.
15. Access must be provided by a ladder or other acceptable means, and not by climbing on scaffold cross-bracing structure.
16. DO NOT USE AN INCOMPLETE SCAFFOLD. Scaffolds shall not be left in an unstable condition or with loose material on them.
17. Adequate barriers, such as warning tape, or warning lights must be used to prevent vehicle or pedestrian traffic from striking an elevated platform.
18. Anyone working on a scaffold that is six (6) feet or more from the ground must be tied off to a secure anchorage point with a safety belt or other type of safety harness.
19. Scaffolding must be constructed to safely support a weight four times the maximum intended load. For example, a scaffold normally expected to hold a 200-pound person and 20 pounds of material should be designed to support 880 pounds without failure. KEEP IN MIND THAT THE SAFETY FACTOR DESIGNED INTO THE SCAFFOLD EQUIPMENT CAN EASILY BE OFFSET BY THE CARELESSNESS OF ONE ERECTOR.
20. Upon completion of the scaffold, verify that the entire scaffold meets all applicable OSHA and local regulations.
21. A registered engineer must design any scaffold built in excess of 125' in height.

DISMANTLE:

Many of the guidelines and rules for the erection of scaffolding also apply to scaffold dismantling. There are additional guidelines, which should be carefully followed to insure that the scaffold will come down in a controlled, safe, logical manner. These guidelines are:

1. It is important to understand how a scaffold was erected, how loads were transferred, and the best sequence for dismantling the scaffold, BEFORE beginning the dismantling process.

2. Verify the structural integrity of the standing scaffold. Many times a scaffold will be modified by the user, sometimes to the point of instability and great danger. The scaffold should be returned to the point of structural integrity before proceeding with the dismantling work.
3. Maintain control of equipment at all times during the dismantling process. NEVER, NEVER throw or drop equipment to the ground.
4. Do not remove ties until the scaffold has been dismantled to the level of the tie.
5. Tag damaged equipment and have it set aside for disposal.
6. NEVER LEAVE A SCAFFOLD IN AN UNSTABLE CONDITION unless the scaffold is properly tagged "Warning-Do Not Use".



Components of a safe scaffold

XIV. Worker's Compensation Claims

XV. Management Safe Practice

Purpose: To provide injured employees with the best possible medical care and to minimize the cost of injuries when medical treatment is necessary.

Guidelines for Implementation:

1. Each project will identify the Doctors' offices or clinics closest to their location, which have been established to treat work-related or occupational injuries. These Doctors' offices need to have their addresses and phone numbers posted in a conspicuous location as required by state law. This list must be preserved in a safe file for as long as four years after the end of the project.
2. Alternate Work Activities should be identified as soon as possible. Research has shown that employees who return to work quicker also recover quicker and this helps to minimize costs.
3. Each location, which will be treating injured employees, should understand the proper billing addresses, contacts for employee status, post-accident drug testing and the available alternate-duty if necessary.
4. Injured employees must be sent to company medical providers and not allowed to personal or other providers, unless state law allows otherwise. This permits the company to maintain control of medical care.
5. Notice of Injury or 1st Report of Injury must be sent to the Insurance Carrier within 24 hrs of the employee reporting the injury. If this is not done, fines levied against the company can occur. The Risk Management Dept. will complete these forms for the state in which the injury occurred. The 1st Report should contain ONLY a brief description of accident. Detailed Investigation reports should be sent to the Insurance Company separately.
6. Site Management should receive training on proper claims management as established by your location.
7. A member of supervision, with knowledge of site claims management principles, should accompany the injured employee to the Medical Provider's location and meet with the Medical Provider as the employee is treated. This Supervisor will inform the Provider of circumstances around the injury and what alternate work activities are available.
8. Should the employee not be able to return to work, a designated Claim Owner, which is a Premier supervisor or manager, should keep in contact at least once a month. Contact every two weeks is preferred. This Claim Owner should always have a positive attitude, answer any questions the employee may have or seek answers if not known, determine the worker's satisfaction with Worker's Compensation matters and medical treatment. This contact can be maintained by a wide variety of means such as personal visits, phone calls, letters, Get-Well cards, etc.

9. Monthly contact with injured employees should be shared with other members of supervision & other interested parties.
10. From time to time it may be necessary to contact other people involving a claim.
 - a. Company/Insurance Company Attorneys: Typical contact with this group is normally through the Risk Management Dept. however there may be times that information is needed for this group to perform its function.
 - b. Employee Attorneys: Contact with this group should be kept to a minimum, with the exception of inquiring to the employee's well-being and satisfaction. DO NOT provide any information to this group. Information will be provided by the Risk Management Dept. & our legal representation.
 - c. Treating Physician: Maintain contact with the treating physician in all claims on a monthly basis and as per each scheduled appointment
11. All contact involving claims must be documented and filed with the claim paperwork for future reference should a claim become involved in litigation.
12. All accident investigations, pictures, witness statements, witness names and addresses and phone numbers must be retained for a period of not less than four (4) years from date of accident. This is to defend any third-party lawsuits where the employee sues the property Owner and Sandco, LLC must indemnify and defend the Owner. Any files, photos or other documents shall not be destroyed without express consent of the Risk Management Dept.

SAFETY COMMITTEE

SAFETY COMMITTEE ORGANIZATION

A safety committee has been established to recommend improvements to our workplace safety program and to identify corrective measures needed to eliminate or control recognized safety and health hazards. The safety committee consists of the following supervisory and non-supervisory members of our organization.

Safety Program Coordinator: Risk Manager Matt Turner
Various Members of Supervision

Administrative Coordinator: Lynn Higgins

RESPONSIBILITIES

The safety committee shall determine the schedule for evaluating the effectiveness of control measures used to protect employees from safety and health hazards in the workplace.

The safety committee will be responsible for assisting management in reviewing and updating workplace safety rules based on accident investigation findings, any inspection findings, and employee reports of unsafe conditions or work practices, and accepting and addressing anonymous complaints and suggestions from employees.

The safety committee will be responsible for assisting management in updating the workplace safety program by evaluating employee injury and accident records, identifying trends and patterns and formulating corrective measures to prevent recurrence.

The safety committee will be responsible for assisting management in evaluating employee accident and illness prevention programs, and promoting safety and health awareness and co-worker participation through continuous improvements to the workplace safety program.

Safety committee members will participate in safety training and be responsible for assisting management in monitoring workplace safety education and training to ensure that it is in place, that it is effective, and that it is documented.

MEETINGS

Safety committee meetings are held quarterly and more often if needed. The safety program coordinator will post the minutes of each meeting within one week after each meeting.

SAFETY AND HEALTH TRAINING

SAFETY AND HEALTH ORIENTATION

Workplace safety and health orientations begin on the first day of initial employment or job transfer. Each employee has access to a copy of this safety handbook, through his or her supervisor, for review and future reference. Supervisors will ask questions of employees and answer employees' questions to ensure knowledge and understanding of safety rules, policies and job-specific procedures described in our workplace safety program manual.

All employees will be instructed by their supervisors that compliance with the safety rules described in the workplace safety manual is required.

It is not practical to describe in detail all Safe Work Practices necessary for the safe operation of the Company. These safe work practices, therefore, must be somewhat general and cover minimum standards.

- ◆ The minimum standards set forth in Safe Work Practices shall be strictly enforced.
- ◆ Negligence, carelessness or UNSAFE WORK PRACTICES will not be tolerated.
- ◆ Violation of these Safe Work Practices shall be deemed just cause for disciplinary action

COOPERATION

Cooperation, based on understanding and friendliness among all employees, results in safer working conditions. All employees are expected to work in a cooperative and friendly manner with one another, with government officials, contract officials, subcontractors and the public. Employees are expected to attend to the safety of every person at the job location.

EMPLOYEE'S RESPONSIBILITY

Self preservation demands that each employee assume responsibility for his own safety. This responsibility increases with experience and the employee shall be required to KNOW AND CORRECTLY OPERATE any vehicle or equipment he is asked to use on each job.

1. Each employee is expected to know and abide by these safe work practices and to be familiar with the tools and equipment required in his work
2. IGNORANCE IS NOT AN EXCUSE FOR THE VIOLATION OF SAFE WORK PRACTICES
3. Each employee has the additional responsibility of assisting in the safeguarding of his fellow employees
4. Each employee shall challenge any carelessness or unsafe work practices of a fellow employee and if he believes it necessary in the interest of safety, shall report the incident to this foreman
5. An employee shall not be allowed or required to take any undue risk in the performance of his duties that he considers unsafe to himself or his fellow employees
6. An employee shall not use intoxicants while on duty, report for duty while under the influence of intoxicants or allow himself to be relieved by another employee known to be under the influence of intoxicants.

SUPERVISOR'S RESPONSIBILITY

The Supervisor and foremen shall be thoroughly familiar with all Safe Work Practices and Standards of Construction applying to work under his supervision. He shall be responsible for the safety of employees working under his direction and for the safety of the general public in connection with the work in which his men are engaged.

1. If two or more employees are engaged in work at any location and are not under direct supervision, one employee shall be designated as locally in charge of the work.
2. The Supervisor shall enforce the Safe Work Practices and insist upon the proper use and maintenance of all protective equipment. When in doubt as to the necessity of using safety equipment, he shall require its use.
3. The foreman shall explain to a newly assigned employee the particular hazards of the work he is to perform
4. The foreman shall as far as possible prevent unauthorized persons from approaching places where work is being done.

PROPERTY DAMAGE AND PROTECTION OF THE PUBLIC

When damage to property occurs resulting from our firm's operations, the supervisor in charge shall be notified.

1. Employees working on streets shall make every effort to keep them clear of obstructions. If any obstruction is necessary, the public shall be properly warned.
2. Unattended holes shall be covered or adequately barricaded.
3. When doing any work on a street or highway, proper precautions shall be taken to direct traffic and guard the employee whose work prevents him from properly watching traffic conditions.

JOB-SPECIFIC TRAINING

1. Supervisors will initially train employees on how to perform assigned job tasks safely.
2. Supervisors will carefully review with each employee the specific safety rules, policies and procedures that are applicable and that are described in the workplace safety manual
3. Supervisors will give employees verbal instructions and specific directions on how to do the work safely.
4. Supervisors will observe employees performing the work. If necessary, the supervisor will provide a demonstration using safe work practices or remedial instruction to correct training deficiencies before an

- employee is permitted to do the work without supervision.
5. All employees will receive safe operating instructions on seldom-used or new equipment before using the equipment.
 6. Supervisors will review safe work practices with employees before permitting the performance of new, non-routine or specialized procedures.

PERIODIC RETRAINING OF EMPLOYEES

1. All employees will be retrained periodically on safety rules, policies and procedures and when changes are made to the workplace safety manual
2. Individual employees will be retrained after the occurrence of a work-related injury caused by an unsafe act or work practice, and when a supervisor observes employees displaying unsafe acts, practices or behaviors.

JOB-SITE SAFETY PLANNING

JOB PLANNING

The most important factor in safety is careful planning. Before work is begun, time should be taken to size up the job.

- ◆ Look for hazards involved, particularly "hidden hazards." In re-job briefing each employee is encouraged to call attention to unusual conditions that may exist relative to safety.
- ◆ Employees engaged in hazardous work should not be distracted from the job at hand. They should not hurry unduly.

JOB BRIEFING

Before a job is begun, the foreman in charge shall call his crew together, explain the job to be done and outline the work procedure to be followed.

- ◆ The hazards involved shall be pointed out to the members of the crew.
- ◆ Each employee shall understand the general purpose of the job and his particular assignment. Each employee should understand the foreman's work procedure and shall be aware of any hazards that are pointed out.
- ◆ Should any change be made in the original work plan, the foreman shall inform all members of the crew involved as to the changes. In particular, he shall point out any additional hazards that might arise as a result of such change.

VIOLATION OF SAFETY RULES

VIOLATIONS OF SAFETY RULES

1. When an employee is observed in violation, the person making the observation MUST call it to the employee's attention immediately in order to prevent possible injury.
2. The foreman MUST discuss violations fully with employee. He must also remind employee of the potential penalties that may be imposed for future violations. The supervisor will provide to the HR Administrator a written summary of the discussion, his opinion and the action taken with the employee. A written notation of the violation will be kept in the employee's personnel file.
3. It shall be the responsibility of the Safety Committee to review the summaries of safety violations and issue opinions on actions taken by the supervisors.
4. A full report on ALL accidents shall be made by the immediate foreman within 2 hours of occurrence to the Risk Manager, regardless of injury or property damage.

PENALTIES

Penalties for violations of safety rules shall be determined by the immediate supervisor. Consideration should be given

to the seriousness of the violation and its potential for injury to any person as well as any history of previous violations from the employee in question. Violation Penalties will include:

- ◆ Written Reprimand (first offense only)
- ◆ One-day suspension without pay
- ◆ Two-day suspension without pay
- ◆ One-week suspension without pay
- ◆ Termination of employment (for repeated violations or violation of a serious nature)

Penalties for violation may or may not be progressive in nature depending on the severity of the violation. Employees with reported violations shall not be eligible to receive the quarterly Safety Bonus

INTERPRETATION

Should any question arise as to the interpretation of any Safety Rule or Safe Work Practice on the job site, interpretation shall rest with the Risk Manager. In the event of any further question, final interpretation shall rest with the Safety Committee.

GENERAL SAFE PRACTICES

1. Report unsafe conditions, near misses and injuries to your supervisor immediately.
2. Long trousers are required to be worn.
3. Shirts with sleeves are required and shall be buttoned and tucked into the trousers. Tank tops are not allowed.
4. Substantial leather work boots are required. Some sites may require steel-toed safety boots to be worn.
5. No loose clothing, rings, dangling earrings, necklaces or bracelets shall be worn while working around moving machinery
6. Do not run on site or jump from elevations.
7. Do not open pails or drums with a torch as some containers could have explosive mixtures in them.
8. Fighting and horseplay is prohibited.
9. Obey all posted signs.
10. Smoking in non-designated areas is prohibited.
11. Do not use gasoline for cleaning purposes.
12. Gasoline and other flammable liquids must be stored and used from safety dispenser cans.
13. Do not use compressed air or compressed gases for dusting personal clothing or your body parts.
14. Practice good housekeeping. Keep your work area free of scrap materials and tripping hazards.
15. Where possible, keep cords and service hoses routed overhead or under and around equipment to keep traffic aisles and work surfaces clear of trip hazards.
16. Portable water coolers shall be used for drinking water only and shall be kept in sanitary condition.
17. Do not remove guards or other safety devices from tools or equipment.
18. Clinch or pull nails from boards before they leave your hand.
19. Personal protective equipment shall be worn as directed.
20. Alcohol or non-prescription drugs shall not be used or brought onto the jobsite or the parking lot.
21. Safety Harnesses and lanyards shall be used when working six feet or higher on unguarded surfaces.
22. Each employee working within fifteen feet of travel way is provided and must wear an orange vest. When traffic control is needed, trained flagmen are used and are provided and must wear orange vest and orange hat

DRUG AND ALCOHOL POLICY

We are a **DRUG FREE** work place. To ensure that Sandco, LLC Inc. remains a Drug Free Workplace, a program of drug testing is in effect. Let it be clearly understood that it is a condition of employment for everyone that they avoid entirely the use, possession, sale or any association whatsoever with illegal drugs and/or the abuse of alcohol. Employees who are found on the job to be under the influence of illegal drugs or alcohol or who violate this policy in other ways will be disciplined, up to and including discharge and possible forfeiture of workers' compensation medical and indemnity benefits. It is important that all of us work together to deal with substance abuse to make our company a

safer and more rewarding place to work.

FIRST AID

1. First Aid supplies are located on site and trained first-aid personnel are available to provide first-aid treatment.
2. All accidents and injuries, regardless of how minor, must be reported to your supervisor immediately.
3. Accidents resulting in injury that are not reported on the day of the incident, before leaving work, will be reviewed and may be considered to be non-work related.
4. Injured personnel shall report to the site first aid station for treatment and to assist in the completion of an accident investigation report.
5. If you have an injury or illness (personal or work related), you must notify your supervisor
6. Do not go to the doctor for a work related injury unless authorized by the company except for emergencies.
7. Prior to returning to work after a disabling injury or illness, you must present medical clearance from your attending physician to your supervisor.
8. If you have Red Cross or other first aid or medical training, advise your supervisor and the First Aid department of these skills.
9. Never move a seriously injured person unless it is necessary to prevent further injury.

BLOODBORNE PATHOGENS

Blood borne pathogens (BP's) simply means disease transmitted to others by contact with body fluids. The two work-related BP diseases being regulated by OSHA are Hepatitis B and HIV, which is better known as the AIDS virus. We have the potential for exposure to these viruses in the workplace. The intent of this article is to give all personnel an awareness of these hazards for your personal protection on the jobsite. Those persons with jobs where exposure to these viruses is a matter of routine (safety, drug screening & first aid treatment personnel) shall have more advanced training.

1. BP's may be present in blood, urine, saliva, and mucous and other body fluids.
2. Our work exposure is usually due to handling personnel who have been injured.
3. You may be exposed when performing mouth-to-mouth resuscitation.
4. You may be exposed when coming into contact with an injured person's blood when giving first aid treatment or leaning up after an injury.
5. Do not perform first-aid duties unless specifically instructed and trained in the methods to be used for personal protection and proper disposal of BP contaminated articles.
6. Report to the first-aid room if you believe that you have been exposed to BP fluids. Wash contaminated skin areas with soap and water immediately after exposure. Flush your eyes, nose and mouth with water if splashed with any BP fluids.
7. Report any BP contamination to the safety department to arrange for proper cleanup and decontamination of that area.
8. If you are aware of the BP hazards and perform first-aid treatment when you are not listed as a first-aid attendant, you are not covered by OSHA regulations. You will be considered as operating independently as a "Good Samaritan". Be advised that should you act independently; consider your personal protection by wearing gloves and other personal protective clothing to avoid skin contact.

PERSONAL PROTECTIVE EQUIPMENT

We will provide personal protective safety equipment when the conditions warrant their use. Employees have the responsibility to wear this equipment as instructed by their supervisor and/or by training instructions.

Employees shall also maintain their safety equipment in sanitary condition and good repair. Any defective equipment must be returned to the company for repair or replacement. These are:

HEAD PROTECTION

- ◆ Only hard hats approved by the company shall be worn.
- ◆ Hard hats shall be worn where overhead hazards are present

- ◆ Do not alter the hard hat in any way.
- ◆ Do not store objects inside the liner or suspension system of the hard hat.

EYE AND FACE PROTECTION

- ◆ Safety glasses (ANSI Z87.1) with side shields are required to be worn when a task is being performed that creates an eye hazard.
- ◆ Chemical goggles shall be worn when handling chemicals or when working in dusty areas.
- ◆ Welding or cutting goggles shall be worn for oxy/acetylene cutting.
- ◆ Welding hoods with appropriate shaded lenses are to be used when arc welding. Hoods shall be attached to hard hats and safety glasses shall be worn under the welding hood.
- ◆ Face shield visors attached to hard hats shall be worn when performing work such as grinding, chipping, concrete saw cutting, and handling corrosive chemicals and using powder actuated tools.

HEARING PROTECTORS

Earplugs or muffs shall be worn where noise exposures exceed 90 decibels or when in excess of time allowances for noise levels higher than 90 decibels and in any area where our client has posted a hearing protection notice. Employees must keep their hearing protectors in a clean sanitary condition.

HAND PROTECTION

- ◆ Wear plastic coated gloves when handling mild chemicals, paint, detergents or petroleum products.
- ◆ Use a neoprene gauntlet glove for handling corrosive or toxic chemical products.
- ◆ Use your personal work gloves when handling construction materials.
- ◆ Use leather welding gloves for cutting and welding.
- ◆ Never wear a glove while using a wire wheel bench buffer or near moving machinery parts. The glove may be snagged and pull your hand or fingers into the pinch point.

BODY PROTECTION

- ◆ Appropriate clothing shall be worn where there is the hazard of hot or corrosive liquids being splashed onto the body. Wear the trouser legs on the outside of the boots to prevent liquids from entering your boots.
- ◆ Disposable paper clothing may be worn to keep irritant dust products off your skin and personal clothing.

FOOT PROTECTION

- ◆ Sturdy work shoes are required to be worn at some sites. Metatarsal guards shall be worn when operating compactors and jackhammers. No tennis shoes.

RESPIRATORY PROTECTION

- ◆ Employees must be evaluated to determine their physical ability to wear respirators.
- ◆ Employees required to wear respirators shall be trained in the proper selection and use of dust masks, cartridge respirators, PAPR's, airline respirators and self-contained breathing units. Employees shall maintain their personal respirators in a sanitary condition and in good repair.
- ◆ **Persons with facial hair will be required to shave if facial hair interferes with the fitting of a respirator.**

CLOTHING

- ◆ Clothing should be of cotton or cotton blend material to prevent severe burns and should fully cover legs, abdomen, and upper arms.
- ◆ Inappropriate clothing such as, shorts, tank tops, sleeveless shirts, sandals or tennis shoes shall not be worn on project sites or while operation trucks and equipment.
- ◆ No employee may be at work or on a job location without wearing a shirt, long pants, and work boots.

FALL PROTECTION

When exposed to a fall hazard of six feet or greater, employees will be protected by one of the following fall prevention methods.

- Personal Fall protection devices
- Guard rails or barriers
- Hole covers that are secured and clearly marked, "Open Hole, Do Not Remove"

MATERIAL HANDLING & LIFTING PROCEDURES

All material must be stacked properly and be secured to prevent sliding, falling or collapse. Aisles, stairs and passageways must be kept clear to provide for the safe movement of employees and equipment and to provide access in the event of an emergency.

GENERAL

1. Use proper lifting techniques when handling materials:
2. Get down close to the load.
3. Position your back for what is most comfortable for you.
4. Lift gradually, using your legs. Do not twist or jerk.
5. Do not manually lift more than 50 pounds. Get assistance for heavy or bulky materials.
6. Materials must never be thrown or dropped from an Elevation of ten (10) feet or more. Trash chutes are required for dropping trash in excess of ten (10) feet.
7. The drop area must be barricaded to protect personnel from being struck by falling materials.
8. Test the weight of the load before lifting by pushing the load along its resting surface.
9. If the load is too heavy or bulky, use lifting and carrying aids such as hand trucks, dollies, pallet jacks and carts, or get assistance from a co-worker.
10. Never lift anything if your hands are greasy or wet.
11. Wear protective gloves when lifting objects with sharp corners or jagged edges.

WHEN LIFTING

1. Face the load
2. Position your feet 6"-12" apart with one foot slightly in from of the other
3. Bend at the knees, not at the back.
4. Keep your back straight
5. Get a firm grip on the object using your hands and fingers? Use handles when they are present.
6. Hold the object as close to your body as possible.
7. Perform lifting movements smoothly and gradually; do not jerk the load.
8. If you must change direction while lifting or carrying the load, pivot your feet and turn your entire body. Do not twist at the waist.
9. Set down objects in the same manner as you picked them up, except in reverse.
10. Do not lift object from the floor to a level above your waist in one motion. Set the load down on a table or bench and then adjust your grip before lifting it higher.

DRIVING & VEHICLE SAFETY

SAFETY REQUIREMENTS

1. Routine inspection of each vehicle before driving or operating begins: lights, brakes, tires, oil leaks, etc.
2. Trucks and equipment shall be operated at factory recommended requirements.
3. All controls and valves shall be labeled with operating instructions.
4. Fire extinguishers must be secured and visible or labeled as to location.
5. Water cooler must be labeled "Drinking Water".
6. The foremen or other employee in charge shall be responsible for properly placing road signs, safety cones, and flags when working near streets, roads or highways in accordance with D.O.T. regulations.
7. When working on or near roadways, flagmen wearing orange vests shall be used to warn approaching vehicles of dangerous conditions ahead. D.O.T. regulations shall be followed to protect employees, company vehicles and the public. Foremen should be sure the necessary safety equipment and extra workers are available before engaging in any maintenance of traffic operations.
8. The driver of a vehicle shall use his four-way flashers or revolving beacon light, if applicable, when vehicle is moving slowly or stopped on the road. This shall be done in accordance with D.O.T. regulations.

FUELING VEHICLES

1. Turn the vehicle off before fueling.
2. Do not smoke while fueling a vehicle.
3. Wash hands with soap and water if you spill gasoline on your hands.

DRIVING RULES

1. Employees operating motor vehicles shall be properly licensed, capable operators. Operators shall not permit unauthorized persons to drive or operate Company vehicles or equipment.
2. Unauthorized persons should not be permitted to ride in Company vehicles unless the supervisor grants permission.
3. Shut all doors and fasten your seatbelt before moving the vehicle
4. Obey all traffic patterns and signs at all times.
5. Maintain a three-point contact using both hands and one foot or both feet and one hand when climbing into and out of vehicles.
6. Do not leave keys in an unattended vehicle
7. Employees shall not operate any unsafe vehicle or equipment. Unsafe conditions shall be reported promptly to the supervisor and the supervisor shall see that such conditions are corrected.
8. Trucks shall not be driven with tailboards hanging loose or dangling, or with tool compartment doors open.
9. PROCEED WITH CAUTION WHEN BACKING! When visibility is obscured and sufficient personnel are available, a flagman shall be placed to the rear of vehicle being backed. The flagman shall be positioned in such a manner to see the area to the rear of the vehicle and be seen by the operator. IF NO FLAGMAN IS AVAILABLE, the operator shall walk to the rear of the vehicle and check for clearance.
10. Any unusual loads or any necessary overloads shall be handled in compliance with state and local laws and ordinances.
11. When loading or unloading an unattended vehicle, the vehicle brakes should be set or the wheels blocked securely.
12. An unattended Company vehicle shall not be parked closer than eight (8) feet to any railroad track.
13. Visual inspection should also be done before operating or towing a vehicle. Give the unit and trailer a thorough inspection. Check for slack tires, loose guards, bolts, etc.
14. When using a trailer hitch, be sure the hitch is latched and the locking pin is in place.
15. Safety chains shall be connected and proper clearance provided to keep the chains from being damaged from dragging on the road.
16. After hitching up, check to be sure that light wire connections are secure. When unhooking, be sure to disconnect the connector to prevent pulling the wiring loose when driving away. After connecting the wires, check for correct

operation of lights on trailer before pulling onto roadway.

HEAVY EQUIPMENT OPERATORS

GENERAL

1. No passengers are permitted on heavy equipment.
2. Keep windows and windshields clean.
3. Do not use heavy equipment if its horn or backup alarm does not sound.
4. Turn off the engine before leaving heavy equipment unattended.
5. Do not jump off or onto any heavy equipment.
6. Keep heavy equipment in gear when going down grade. Do not use neutral.
7. Display the "Slow Moving Vehicle" sign when operating heavy equipment on roads.
8. Do not operate backhoes, excavators and other heavy equipment within two (2) feet from the edge of any excavation

BACKHOE/EXCAVATOR OPERATION

1. Do not use bucket or other attachments for a staging or temporary platform for workers.
2. Do not operate backhoe over or across underground utilities that are marked by paint, flagged or staked.
3. Set swing brake of the bucket arm when moving the vehicle to and from the digging site.
4. Stay in the compartment during operation of the backhoe or excavator. Do not reach in or attempt to operate controls from outside the backhoe or excavator.
5. Wear the seat belt when operating any backhoe or excavator.

HOUSEKEEPING - STORAGE AND DISPOSAL

Good housekeeping is an important part of our safety program. Disorder of materials and scrap is a source of fires and injuries. It is the responsibility of each employee to maintain good housekeeping in the work area. Key considerations are to:

1. Stored materials must not block fire extinguishers or exits from a building.
2. Pipe, conduit and bar stock should be stored in racks or stacked and blocked to prevent movement.
3. Keep building materials stored out of the walkways in a neat and orderly fashion.
4. Stop and pick up items that are out of place.
5. Place scrap materials in containers as work progresses. Do not allow scrap materials to accumulate. Empty trash containers on a daily basis.
6. Return all surplus materials to inventory. Don't be wasteful.
7. Do not leave tools and materials where they will create a hazard for others. Put them in the gang box or return them to the tool room.
8. Wipe up spilled liquids immediately. If you can't handle the problem, contact your supervisor as spilled liquids can create slip and/or fire hazards.
9. Toilets, wash-room facilities and drinking fountains are provided for your convenience. Please help keep them clean and sanitary.

FIRE PROTECTION

IN THE EVENT OF A FIRE

1. Assure the safety of all personnel
2. Use the appropriate fire-fighting equipment until assistance arrives.
3. Learn the classifications of fire-fighting equipment:

- ◆ **Class A** - Ordinary combustible materials such as wood, coal, paper or fabrics where wetting and cooling are the method of extinguishing.
 - ◆ **Class B** - Flammable petroleum products or other flammable liquids where oxygen must be excluded for extinguishment.
 - ◆ **Class C** - Fires in or near energized electrical equipment where, a "non-conducting" extinguishing agent must be used.
4. Familiarize yourself with the location of all fire-fighting equipment in proximity of your work area.
 5. Only approved solvents shall be used for cleaning and degreasing. Cleaning with gasoline is prohibited.
 6. Keep your work area neat. A clean work area reduces fire and accident hazards.
 7. Where fire hazards exist, such as cutting, burning and welding, have a working fire watch. Some conditions will require that a full-time fire watch be assigned to the job. The fire watch must remain at the jobsite at least **THIRTY (30) MINUTES** after the cutting, burning or welding work is completed.
 8. When you must weld or burn near combustible materials, move them, or cover them with fire-resistant material or wet them.
 9. Flammable liquids must be handled only in approved, properly labeled safety cans.
 10. Do not perform hot work near a pit, sewer, drain, manhole, trench, and tank or inside enclosed areas until atmosphere tests have been completed to ensure that there is not a flammable condition.
 11. Open fires are prohibited unless specifically authorized by your superintendent.

ELECTRICAL

All temporary electrical panels on the jobsite will be protected by a ground-fault interrupter system.

1. All electrical tools and equipment must be equipped with a grounding conductor, unless double insulated. If the ground prong is broken off of cords or tools, they shall be removed from service immediately pending repair or replacement. Damaged or defective tools must be returned to the tool room.
2. All electrical tools and cords shall be inspected and color coded to serve as evidence of inspection. Make sure that the tools you use are color-coded to correspond to the current quarter's color.
3. Only competent personnel are authorized to repair electrical tools and cords. Tampering with tools or equipment may result in an employee's termination.
4. GFCI's shall be used when working with electrical tools in wet areas or when working on grounded surfaces such as steel tanks and steel floor grating.
5. You must not work on any equipment or in proximity to energized circuits of any voltage unless it is de-energized and locked out and tagged.
6. Electrical cords and welding leads must be covered or routed overhead to prevent tripping hazards.
7. Do not splice electrical extension cords.
8. Temporary lighting must have guards over the bulbs.
9. Energized wiring in junction boxes, circuit breaker panels and similar places must be covered at all times.

HAND AND PORTABLE POWER TOOLS

Only tools in safe working condition will be issued from the tool room. You must comply with the manufacturer's instructions for proper use of the tool. In addition, observe the following safe practices:

GENERAL

- ◆ Inspect your tools daily to ensure that they are in proper working order. Return damaged or defective tools to the tool room immediately.
- ◆ Power saws, grinders and other power tools must have proper guards in place at all times. Removing guards or altering them may be grounds for termination.
- ◆ Power tools should be hoisted or lowered by a hand line, never by the cord or hose.
- ◆ When using the tools listed below, or working near others using such tools, you must use the personal protective equipment specified. If you have questions about additional protective equipment or safety rules,

consult your supervisor.

Jackhammers Compactors	Eye, Hearing and Foot Protection
Chipping Hammers Impact Wrenches	Eye and Hearing Protection
Cutting Torches Arc Welders	Eye and Hand Protection
Powder-Actuated Tools Grinders	Eye and Hearing Protection

ELECTRICAL TOOLS

- ◆ All electric cords and cables must be covered or routed overhead to protect them from damage and to eliminate trip hazards.

PNEUMATIC TOOLS

- ◆ An excess flow valve must be installed at the manifold outlet of each supply line for hand-held tools.
- ◆ All pneumatic hose connections must be fastened securely with a locking pin in place.
- ◆ Safety clips or retainers must be installed on all pneumatic tools to prevent the accidental expulsion of the appliances from the tool barrel.

FUEL POWERED

- ◆ All fuel-powered tools and motors must be shut down while being refueled.
- ◆ Smoking is prohibited during refueling operations. Any other sources of ignition, such as welding or burning, must be stopped during refueling.
- ◆ Exhaust fumes must be ventilated or exhausted to the outdoors to prevent the buildup of carbon monoxide in tanks and buildings.

POWDER ACTUATED TOOLS

The manufacturer's representatives will conduct training classes and issue licenses for the use of powder actuated tools. Only employees who have been trained and certified shall operate these tools.

TRENCHES & EXCAVATIONS

All excavation operations, and the work performed in them, must conform to established standards to prevent cave-in of soil banks.

1. Excavations five feet or deeper, where personnel are to enter, must be protected by a sloping, benching, or shoring system or by other approved methods.
2. Materials and excavated earth must be kept at least 2 feet from the edge of the excavation.
3. Excavations shall be inspected daily to ensure that it is safe for employees to enter.
4. Where vehicles or equipment operate near excavations or trenches, the sides of the excavation must be shored or braced to withstand the forces of the exerted load which may be caused by the equipment or ground shift due to vibrations.
5. Materials used for shoring must be in good condition and meet OSHA specifications.
6. Safe access must be provided into all excavations by means of ladders, stairs or ramps.
7. Trenches 4 feet or more in depth must have ladders every 25 feet or less. The ladder must extend at least 3 feet above grade level.

8. Excavations subject to the accumulation of hazardous substances shall be tested before entry.

LADDERS

All manufactured ladders used on the job shall be of the heavy-duty industrial type. Aluminum ladders are not allowed for work with electrical exposure.

1. Read and follow the manufacturer's instructions label affixed to the ladder if you are unsure how to use the ladder.
2. Allow only one person at a time.
3. Maintain a three-point contact by keeping both hands and one foot or both feet and one hand on the ladder at all times when climbing up or down the ladder.
4. Job-made ladders must be constructed to conform with the established standards.
5. Broken or damaged ladders must not be used and shall be removed from service and destroyed immediately.
6. Straight or extension ladders must be tied off at the top.
7. Ladders must not be placed against movable objects.
8. The base of straight ladders must be set back a safe distance from vertical or approximately one-fourth of the working height of the ladder. The base of the ladder must be cleated, held or otherwise secured to prevent being displaced.
9. Ladders used for access to a floor or platform must extend at least 3 feet above the landing. The ladder must be tied-off or secured at the top to prevent tipping or sliding.
10. Areas around the top and base of ladders must be free of trip hazards such as loose materials, trash and electric cords.
11. Ladders that protrude into passageways or doorways, (where they could be struck by doors being opened, or by moving equipment, or materials being handled), must be protected by barricades or guards.
12. You must face the ladder at all times when ascending or descending.
13. Make sure your shoes are free from mud, oils or other substance that could cause a slip or fall.
14. Do not carry materials up a ladder. Use a hand line.
15. Never over-reach. Move the ladder instead.
16. Stepladders must be fully opened to permit the spreader to be locked and secured at all times.
17. Standing on the top two steps of a stepladder is prohibited.
18. Never paint wooden ladders.

SCAFFOLDS

Each scaffold must be inspected and approved by responsible personnel prior to initial use and after alteration or moving. A tag shall be placed on the scaffold indicating its status.

GENERAL

1. All scaffolding must be erected and maintained to
2. conform to established standards
3. Guard-rails, mid-rails, and toe-boards must be installed on all open sides of scaffolds more than 10 feet in height.
4. Scaffold planks must be at least 2x10 nominal lumber, scaffold grade or equivalent.
5. Scaffold planks must be cleated or otherwise secured and extended over the end supports at least 6 inches – but not more than 12 inches.
6. All scaffolds must be at least two planks wide; working from a single plank is absolutely prohibited.
7. Scaffold planks must be visually inspected before each use. Damaged scaffold planks must be destroyed immediately.
8. Access ladders must be provided for each scaffold. Climbing on the end frames is prohibited unless there design incorporates an approved ladder into the frame.
9. Adequate mud sills or other rigid footing, capable of withstanding the maximum intended load, must be provided.

- Concrete blocks, bricks or other materials capable of shifting or breaking shall not be used in place of mud sills.
10. Scaffolds must be tied to the building or structure at intervals not to exceed 26 feet vertically or 30 feet horizontally.
 11. Do not overload the scaffolds. Materials should be brought up as needed. Scaffolds should not be loaded in excess of one-fourth of their rated capacity.
 12. Concrete blocks, barrels, boxes, or other unstable objects must not be used as work platforms or to support scaffolds.

ROLLING SCAFFOLD

1. The height of rolling scaffolds must not exceed four times the minimum scaffold base. (Calif. is 3x m/base)
2. The work platforms must be planked tight for the full width of the scaffold and must be secured in place.
3. Caster brakes must be locked when scaffold is in use.
4. Get help when moving rolling scaffolds. Make certain that the route is clear. Watch for holes, depressions and overhead obstructions.
5. Secure or remove all materials before moving the scaffold.
6. No one is allowed to ride the scaffold while moving unless the minimum width is at least one-half the height.

MOBILE EQUIPMENT

1. Only trained and authorized personnel shall operate vehicles, forklifts and other heavy equipment.
2. The parking brake must be set whenever a vehicle is parked. Equipment parked on an incline must have the wheels chocked.
3. Where provided, seat belts must be worn.
4. Do not ride in the bed of a truck containing materials which are not properly secured to prevent movement.
5. It is prohibited to ride on loads, fenders, running boards, tailgates or with your legs or arms dangling over the sides.
6. Drivers must not move vehicles until riders comply with all safety precautions. Drivers will be held responsible for the rider's compliance.
7. Do not back up any vehicle or equipment when the view to the rear is obstructed unless: The vehicle is equipped with an operating back-up alarm which is audible above the surrounding noise.
8. An observer signals that it is safe to proceed.
9. Equipment must be shut-down before performing repairs, maintenance or fueling.
10. A face shield or mono goggles must be worn when recharging or jump starting batteries.
11. Accessible areas within the swing radius of all equipment must be barricaded to prevent employees from being crushed.
12. Riding the hook or load is prohibited and is grounds for the immediate termination of violators.
13. A fire extinguisher shall be located in the cab.
14. Safety latches are required on all load hooks.
15. Equipment shall not be operated within 10 feet of energized power lines.
16. A designated employee must observe clearance of the equipment and give timely warning for all operations where the operator's vision is obscured. Any overhead power-line must be considered energized unless a responsible client or utility company representative ensures that it is not energized.
17. Do not walk or stand under suspended loads.

CUTTING AND WELDING OPERATIONS

Cutting and welding operations have a high potential for personnel injuries and fire. Observe the following key points.

CUTTING AND WELDING

1. Before starting to cut or weld, you must inspect your work area to ensure that sparks or molten metal won't fall on combustible materials or onto people below.
2. Ensure that suitable fire-extinguishing equipment is available in your work area and that a fire watch has been

assigned to your job.

3. The fire watch must remain the hot work site for a minimum of 30 minutes after work is completed.
4. You are responsible for maintaining your burning or welding equipment in safe operating condition.
5. Keep all welding leads and hoses off floors, walkways, and stairways. You are responsible for seeing that your equipment complies with safe practices at all times.
6. Do not weld or burn on barrels, tanks, piping or other systems which may have contained either combustible or unknown products without first obtaining approval from a responsible authority.
7. You must wear safety glasses under your welding hood for chipping slag or other weld-cleaning activities.
8. When arc-welding near other workmen, they must be protected from the arc rays by noncombustible screens or they must wear adequate eye protection.
9. Do not use matches to light torches. Spark igniters must be used. Torches must not be used to light smoking materials.
10. Proper gloves and protective clothing must be worn.
11. All regulators must be equipped with flame arrestors or back-flow prevention during use.
12. When welding or burning, wear suitable eye protection with the designated filter lens for the cutting or burning.

Filter lens shade numbers for protection against radiant energy.

Welding	Shade Number
Shielded metal-arc welding 1/16, 3/32, 1/8, 5/32 inch diameter electrodes.....	10
Gas-shielded arc welding (nonferrous) 1/16, 3/32, 1/8, 5/32 inch diameter electrodes.....	11
Gas-shielded arc welding (ferrous) 1/16, 3/32, 1/8, 5/32 inch diameter electrodes.....	12
Shielded metal-arc welding 3/16, 7/32, 1/4 inch diameter electrodes.....	12
5/16, 3/8 diameter electrodes.....	14
Atomic hydrogen welding.....	10-14
Carbon arc-welding.....	14
Soldering.....	2
Torch Brazing.....	3 or 4
Light cutting up to 1 inch.....	3 or 4
Medium cutting 1 to 6 inch.....	4 or 5
Heavy cutting over 6 inch.....	5 or 6
Gas welding (light), up to 1/8 inch.....	4 or 5
Gas welding (medium), 1/8 to 1/2 inch.....	5 or 6
Gas welding (heavy), over 1/2 inch.....	6 or 8

STORAGE AND HANDLING OF CYLINDERS

1. Protective caps must be kept on all cylinders not in actual use.
2. All cylinders must be stored, secured and transported, in the vertical position.
3. Oxygen and acetylene (or other fuel gas) cylinders in storage must be separated from each other by 20 feet or by a 5 foot barrier which has one hour fire rating.
4. Cylinders must not be taken into confined spaces.

VENTILATION

1. Welding, burning and heating performed in confined spaces may require mechanical or exhaust ventilation to reduce the concentrations of smoke and fumes to acceptable levels.
2. If adequate ventilation cannot be provided, employees must be provided with and use air-supplied breathing apparatus. Employees will have to be certified to use these systems.
3. When welding, cutting or heating metals such as zinc, lead, cadmium or chromium-bearing metals, even in open air, you must wear filter-type respirators. Employees will have to be certified on respirator use.

LOCKOUT-TAGOUT

All equipment which is operated electrically, hydraulically or pneumatically shall have the motive power shut down and locked out prior to work in the vicinity of moving parts.

Hazardous systems (chemicals, hot liquids, steam, etc.) shall be isolated and locked out to prevent contact with those injurious substances when working in or adjacent to such exposures.

1. The site's lockout / tag out policy shall be used.
2. All locks installed on a locked out system shall be tagged with the identity of the lock owner.
3. Always attempt to start the equipment after locking out to ensure that the system is de-energized.
4. Only remove locks that you have installed. Removal of anybody's lock, other than your own, may result in employment termination.

CONFINED SPACE ENTRY

1. Confined spaces may contain accumulations of harmful vapors and gases. A confined space entry permit shall be required prior to entry into confined spaces. Do not enter any confined space until you have the permit and you are sure that all systems have been isolated and locked out.
2. Before entering any confined space, have a confined space attendant posted outside the entry point. The attendant must keep in constant communication with people in the confined space and be prepared to summon emergency rescue personnel should the need arise. Only trained personnel will be assigned as a confined space attendant.
3. Do not enter a confined space unless you have been instructed to do so and your name is listed on the permit.

BARRICADES

We must barricade our work areas to warn others of the hazards presented by construction activities as well as lay-down areas in the near vicinity of our client's personnel or the general public. The following methods of barricading are to be used:

YELLOW CAUTION TAPE

Stretch tape around the perimeter of the work area and/or the lay-down area during the work day and at night to alert people of the construction area.

The Yellow caution tape means: It's O.K. to enter this area, but there are hazards and you must exercise caution to the construction activities in progress and/or the presence of tools and materials on the ground.

RED DANGER TAPE

Use this tape to warn people that there is an extreme hazard inside the barricaded area. Only those persons who are working in the area are allowed to pass this barricade. Examples are: Holes or floor openings, overhead hoisting, powder-actuated tool usage, etc.

If you are assigned to work in an area barricaded with red danger tape and you have no idea why it is there, find out what the hazard is before you enter. The hazard isn't always obvious.

HORSES WITH FLASHERS

To be used at night to alert others to the hazards of open trenches, manholes, etc.

WOODEN OR METAL FENCING

Use in areas where long-term work is to be performed. Supplement by adding the appropriate colored tape.

NOTE: FLOOR OPENINGS MUST BE FULLY PLANKED AND BE MARKED "HOLE COVER" OR BE HARD BARRICADED BY THE INSTALLATION OF GUARDRAILS. WALL OPENINGS MUST BE COVERED, HAVE GUARDRAILS INSTALLED, OR BE PROTECTED BY PERIMETER CABLES.

ACCESS TO MEDICAL EXPOSURE RECORDS

Employees have the right to examine any medical or exposure records related to their work environment or to their personal health. The employee or an agent of the employee has the right to obtain copies of these documents. Samples of medical or exposure records are:

- ◆ Records of atmosphere testing for contaminants.
- ◆ Records of personal physicals: Pulmonary function testing, lead blood level testing, X-rays, Audiometric (hearing) testing, etc.

OFFICE WORKER SAFETY

Most office injuries may seem to be minor in nature with the more common type being those painful little paper cuts that take days to heal, and those where we mash our fingers when closing drawers on desks and file cabinets. However, we need to be aware that office workers suffer as many as 40,000 disabling injuries each year with 200 fatalities as reported by the U.S. Dept. of Labor. Listed below are some injury types and key points to be considered in maintaining an office operation free of injuries.

SLIPS, TRIPS & FALLS:

- ◆ Do not run in halls or down stairs.
- ◆ Use the handrail when ascending or descending stairs and take one step at a time.
- ◆ Do not read documents while you are walking.
- ◆ Keep aisles and office floors clear of materials that cause stumbling and tripping hazards.
- ◆ When it is necessary to run extension cords across open floor areas, tape them down to prevent someone from tripping.
- ◆ Pick up paper clips, pens and pencils that have been dropped and clean up spills immediately.
- ◆ Do not stand on makeshift objects. Use a ladder or step stool.
- ◆ Do not lean back when sitting on straight chairs. Check the spring tension on swivel desk chairs before leaning backwards.

STRAINS AND SPRAINS:

- ◆ Do not attempt to lift objects that are too heavy. Use mechanical means or get someone to help you.
- ◆ Use proper lifting techniques to avoid back problems. Lift with your legs and keep your back as straight as possible.

STRUCK BY OR STRUCK AGAINST:

- ◆ Do not stand in front of closed doors which may strike you if opened suddenly.
- ◆ Open only one file drawer at a time to prevent the file cabinet from tipping. Do not overload the top file drawer on two drawer cabinets as this is the more common tipping hazard.
- ◆ Close utility knives and scissors and store sharp objects after use. Be especially careful when walking and carrying sharp objects.
- ◆ Keep file drawers, desk drawers and closet doors closed when not in use.
- ◆ Inspect office furniture and fixtures for sharp edges, loose hinges, casters, bolts or screws.

CAUGHT IN OR BETWEEN:

- ◆ Use handles when closing files, desk drawers, safes, etc. to avoid mashing your fingers.
- ◆ Keep your fingers clear when using the paper cutter. Lock the shear handle in its down storage position after use.

ELECTRICAL HAZARDS:

- ◆ All electrical office equipment must have the three- prong- grounding plug or be of the double insulated type equipment.
- ◆ Do not attempt to make electrical repairs. This must be done by qualified electrician.
- ◆ Do not overload circuits by installing multiple plug adapters. Report the need for additional outlets.

Know your office evacuation plan and the location of exits in case of an emergency. Know the location of fire extinguishers and how to use them properly. Remember if you see something unsafe: **REPORT IT!!**

HAZARD COMMUNICATION

Hazard communication is the employee "right to know" law concerning working with or around chemical substances which are known to be hazardous. Such substances may be flammable, toxic and/or corrosive to skin tissue. To prevent injury, our hazard communication program is to:

1. Obtain a Material Safety Data Sheet (MSDS) for those substances found on site which are known to be hazardous.
2. Train employees as to the proper handling, storage and usage of chemicals and what personal protective equipment is required to be worn to safely use those substances.
3. Advise employees where a copy of an MSDS may be obtained and their right to read or obtain a copy of any MSDS for the jobsite.
4. Advise employees of the company's written hazard communication program.
5. Inform employees of the chemical labeling system and the need to label containers where chemicals have been transferred from the original container.

ASBESTOS/LEAD EXPOSURES

Asbestos Containing Materials (ACM) shall not be used for new installations or repair work. Some materials, which may contain asbestos are: Insulation, floor tiles, roofing materials, fireproofing materials, transited pipe and sheeting and gasket materials. Do not remove or disturb these materials until it has been determined that they do not contain asbestos fibers. Any removal of ACM's shall be performed by licensed asbestos abatement contractors except at those sites that are authorized to self-perform this type of work

Do not use lead-based paints unless specifically instructed by your supervisor. Always read the Material Safety Data Sheet to determine if lead is present in paint products that you use.

Exposures to lead in construction are usually from activity involving sandblasting painted surfaces and cutting, grinding or welding on painted surfaces. Do not perform these activities until it has been determined that the painted product is lead-free.

If lead is found to be present, procedures must be followed to prevent exposure to employees and contamination to the environment. Only trained employees shall be allowed to remove lead-based paint materials. Site management shall determine what methods need to be used to safely remove the lead paint.

Employee Acknowledgment

I have received the Sandco, LLC Employee Safety Handbook. I have reviewed and understand the policies and procedures contained in this booklet. I further understand this Employee Safety Handbook is a compilation. It does not contain all safety-related rules, regulation and safety practices.

I understand that failure on my part to follow safety regulation or failure of the Drug Test will lead to my termination. In addition, I understand my continued employment is conditional upon cooperating with and passing any and all drug or alcohol test administered by Sandco, LLC Inc and/or their agents.

I believe in a safe workplace and I will endeavor to do my part to ensure that it is kept safe.

Employee Name: (print) _____

Employee Signature _____

Date: _____

Purpose: It is important that all incidents be investigated completely within a short period of time after occurring. Often it is a matter of luck that separates a near miss from a fatality. A complete investigation will determine the root cause or causes, determine the overall cost of an accident, determine compliance with OSHA or company standards, help gather information for worker's compensation claims management and future litigation and help to develop action plans to prevent any type of recurrence. Also it shows that the company takes accidents seriously.

Employees shall be instructed to report all accidents to their supervisor immediately. The supervisor will then initiate an accident investigation to gather facts. Individuals involved in the accident will be interviewed as well as any witnesses. Any data that is collected can be beneficial later on. Additional data can include: photographs, witness statements, personnel file documents, training documents, physical evidence such as safety equipment worn, tools used, etc.

In gathering the facts, use a questioning approach. Ask, "what happened", "where did it happen", "when did it happen", "how did it happen", "who was involved", "who witnessed the accident". These questions will usually drive out the base cause(s) of accidents. Remember, we are not attempting to place blame on an individual. We are trying to find fault in the system that produced the accident.

When all the facts are assembled, determine what the primary cause of the accident was and identify any system failures that were involved and make recommendations for correction to prevent a recurrence of the accident. Advise all employees of the result of the investigation and what system changes need to be implemented to prevent recurrence.

ACCIDENT REPORTS:

- If an accident occurs with minor consequences, where there was not an injury, complete form "Near Miss/Unsafe Condition Log", form # 01.
- If the accident did produce an injury, even a minor 1st aid case, complete the "Minor Incident Log", form # 01, include a description of 1st aid provided.
- If the injury results in medical treatment by a physician, the Employer's First Report of Occupational Injury/Illness must be forwarded within 24 hours to the Insurance Carrier. This document will be completed by the Sandco, LLC. Office or Risk Manager
- Use the appropriate insurance forms for reporting damage to vehicles and any other insured equipment. These reports will be completed by the Sandco, LLC Office or Risk Manager.

EQUAL EMPLOYMENT OPPORTUNITY POLICY STATEMENT

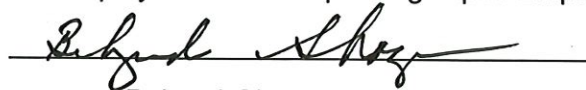
It is the policy of Sandco, LLC not to discriminate against any employee or applicant for employment because of race, color, religion, sex, sexual orientation, gender identity, national origin, age, marital status, genetic information, disability or because he or she is a protected veteran. It is also the policy of Sandco, LLC to take affirmative action to employ and to advance in employment, all persons regardless of race, color, religion, sex, sexual orientation, gender identity, national origin, age, marital status, genetic information, disability or protected veteran status, and to base all employment decisions only on valid job requirements. This policy shall apply to all employment actions, including but not limited to recruitment, hiring, upgrading, promotion, transfer, demotion, layoff, recall, termination, rates of pay or other forms of compensation and selection for training, including apprenticeship, at all levels of employment.

Employees and applicants of Sandco, LLC will not be subject to harassment on the basis of race, color, religion, sex, sexual orientation, gender identity, national origin, age, marital status, genetic information, disability or because he or she is a protected veteran. Additionally, retaliation, including intimidation, threats, or coercion, because an employee or applicant has objected to discrimination, engaged or may engage in filing a complaint, assisted in a review, investigation, or hearing or have otherwise sought to obtain their legal rights under any Federal, State, or local EEO law is prohibited.

As Manager of Sandco, LLC, I am committed to the principles of Affirmative Action and Equal Employment Opportunity. In order to ensure dissemination and implementation of Equal Employment Opportunity and affirmative action throughout all levels of the company, I have selected Lynn Higgins, EEO Officer, as the Equal Employment Opportunity (EEO) Manager for Sandco, LLC. One of the EEO Manager's duties will be to establish and maintain internal audit and reporting systems to allow for effective measurement of Sandco, LLC's programs.

In furtherance of Sandco, LLC's policy regarding Affirmative Action and Equal Employment Opportunity, Sandco, LLC has developed a written Affirmative Action Program which sets forth the policies, practices and procedures that Sandco, LLC is committed to in order to ensure that its policy of nondiscrimination and affirmative action is accomplished. This Affirmative Action Program is available in the Human Resources office for inspection by any employee or applicant for employment upon request, during normal business hours. Interested persons should contact Lynn Higgins, EEO Officer, for assistance.

We request the support of all employees in accomplishing Equal Employment Opportunity.



Behzad Ghazvini, Manager

SANDCO, LLC

4708 Capital Circle NE

Tallahassee, FL 32303

January 11, 2020



**CANOPY COMMUNITY DEVELOPMENT DISTRICT
CONSTRUCTION SERVICES
FOR
WELAUNEE BLVD. SEGMENT 3A AND SEGMENT 2 TURN LANES**

TAB 7

Financial Capability

- ♦ 2019 Audited Financial Statement

SANDCO, LLC
TALLAHASSEE, FLORIDA
FINANCIAL STATEMENTS
DECEMBER 31, 2019

SANDCO, LLC
TALLAHASSEE, FLORIDA
FINANCIAL STATEMENTS
DECEMBER 31, 2019

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INDEPENDENT AUDITORS' REPORT

To the Members
Sandco, LLC
Tallahassee, Florida

We have audited the accompanying financial statements of Sandco, LLC (a Florida limited liability company), which comprise the balance sheet as of December 31, 2019, and the related statements of operations and changes in members' equity, and cash flows for the year then ended, and the related notes to the financial statements.

Management's Responsibility for the Financial Statements

Management is responsible for the preparation and fair presentation of these financial statements in accordance with accounting principles generally accepted in the United States of America; this includes the design, implementation, and maintenance of internal control relevant to the preparation and fair presentation of financial statements that are free from material misstatement, whether due to fraud or error.

Auditors' Responsibility

Our responsibility is to express an opinion on these financial statements based on our audit. We conducted our audit in accordance with auditing standards generally accepted in the United States of America. Those standards require that we plan and perform the audit to obtain reasonable assurance about whether the financial statements are free from material misstatement.

An audit involves performing procedures to obtain audit evidence about the amounts and disclosures in the financial statements. The procedures selected depend on the auditors' judgment, including the assessment of the risks of material misstatement of the financial statements, whether due to fraud or error. In making those risk assessments, the auditor considers internal control relevant to the entity's preparation and fair presentation of the financial statements in order to design audit procedures that are appropriate in the circumstances, but not for the purpose of expressing an opinion on the effectiveness of the entity's internal control. Accordingly, we express no such opinion. An audit also includes evaluating the appropriateness of accounting policies used and the reasonableness of significant accounting estimates made by management, as well as evaluating the overall presentation of the financial statements.

We believe that the audit evidence we have obtained is sufficient and appropriate to provide a basis for our audit opinion.

To the Members
Sandco, LLC

Opinion

In our opinion, the financial statements referred to above present fairly, in all material respects, the financial position of Sandco, LLC as of December 31, 2019, and the results of its operations and its cash flows for the year then ended in accordance with accounting principles generally accepted in the United States of America.

Report on Supplementary Information

Our audit was conducted for the purpose of forming an opinion on the financial statements as a whole. The Schedules of Earnings from Contracts, Contracts Completed, Contracts in Progress and General and Administrative Expenses are presented for purposes of additional analysis and are not a required part of the financial statements. Such information is the responsibility of management and was derived from and relates directly to the underlying accounting and other records used to prepare the financial statements. The information has been subjected to the auditing procedures applied in the audit of the financial statements and certain additional procedures, including comparing and reconciling such information directly to the underlying accounting and other records used to prepare the financial statements or to the financial statements themselves, and other additional procedures in accordance with auditing standards generally accepted in the United States of America. In our opinion, the information is fairly stated in all material respects in relation to the financial statements as a whole.



Tampa, Florida
February 28, 2020

SANDCO, LLC
BALANCE SHEET
DECEMBER 31, 2019

ASSETS

Current Assets:

Cash	\$ 1,923,098
Contract receivables	1,665,450
Contract receivables - related party	346,166
Costs and estimated earnings in excess of billings on uncompleted contracts	687,733
Other current assets	135,834
Total current assets	<u>4,758,281</u>

Property and Equipment, net	9,181,724
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Other Receivables - Related Party	<u>144,207</u>
------------------------------------------	----------------

Total Assets	<u><u>\$ 14,084,212</u></u>
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LIABILITIES AND MEMBERS' EQUITY

Current Liabilities:

Current maturities of long-term debt	\$ 1,644,923
Current maturities of capital lease obligations	26,052
Accounts payable, including retainage of \$74,489	1,069,678
Accrued expenses	115,635
Billings in excess of costs and estimated earnings on uncompleted contracts	418,379
Total current liabilities	<u>3,274,667</u>

Long-Term Debt, Less Current Maturities	<u>3,013,893</u>
------------------------------------------------	------------------

Total liabilities	6,288,560
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Members' Equity	<u>7,795,652</u>
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Total Liabilities and Members' Equity	<u><u>\$ 14,084,212</u></u>
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The accompanying notes are an integral
part of these financial statements.

SANDCO, LLC
STATEMENT OF OPERATIONS AND CHANGES IN MEMBERS' EQUITY
YEAR ENDED DECEMBER 31, 2019

Contract Revenues Earned	\$ 11,846,285
Cost of Revenues Earned	<u>11,330,320</u>
Gross profit	515,965
General and Administrative Expenses	<u>1,237,504</u>
Loss from Operations	<u>(721,539)</u>
Other Income (Expense):	
Interest expense	(2,263)
Other income	2,455
Loss on disposition of property and equipment	<u>(426,418)</u>
Total other expense, net	<u>(426,226)</u>
Net Loss	(1,147,765)
Members' Equity Balance, January 1, 2018	7,734,777
Contributions	3,223,272
Distributions	<u>(2,014,632)</u>
Members' Equity Balance, December 31, 2019	<u><u>\$ 7,795,652</u></u>

The accompanying notes are an integral
part of these financial statements.

SANDCO, LLC
STATEMENT OF CASH FLOWS
YEAR ENDED DECEMBER 31, 2019

Cash Flows From Operating Activities:

Net loss	\$ (1,147,765)
Adjustments to reconcile net loss	
to net cash provided by operating activities:	
Depreciation and amortization	1,610,185
Loss on disposition of property and equipment	426,418
Bad debt	20,195
Changes in operating assets and liabilities -	
Contract receivables	(142,968)
Contract receivables - related party	741,081
Costs and estimated earnings in excess	
of billings on uncompleted contracts	156,082
Other current assets	(51,612)
Other receivables - related party	246,576
Accounts payable	(521,677)
Accrued expenses	85,057
Billings in excess of costs and estimated	
earnings on uncompleted contracts	(154,197)
Net cash provided by operating activities	<u>1,267,375</u>

Cash Flows From Investing Activities:

Purchases of property and equipment	(10,153)
Proceeds from sale of property and equipment	1,332,437
Related party note receivable	75,721
Net cash provided by investing activities	<u>1,398,005</u>

Cash Flows From Financing Activities:

Distributions to members	(1,925,454)
Contributions from members	3,223,272
Repayment of long-term debt	(2,748,281)
Repayment of capital lease obligations	(62,529)
Net cash used in financing activities	<u>(1,512,992)</u>

Net Increase in Cash 1,152,388

Cash at January 1, 2018 770,710

Cash at December 31, 2018 \$ 1,923,098

Supplemental Disclosures of Cash Flow Information:

Cash paid during the year for interest	<u>\$ 235,198</u>
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Supplemental Disclosure of Noncash Investing and Financing Activities:

Long-term debt incurred for purchase of property and equipment	<u>\$ 151,678</u>
Capital lease obligations refinanced to long-term debt	<u>\$ 856,648</u>
Refinance of long-term debt	<u>\$ 1,746,617</u>
Related party receivable reclassified as members' distribution	<u>\$ 89,178</u>

The accompanying notes are an integral
part of these financial statements.

SANDCO, LLC
NOTES TO FINANCIAL STATEMENTS
DECEMBER 31, 2019

NOTE 1 - SUMMARY OF SIGNIFICANT ACCOUNTING POLICIES

Nature of Operations:

Sandco, LLC (the "Company") was formed on June 10, 2011 to perform road construction and site work preparation services. All projects are located in the North Florida area. Work is generally performed under unit cost or lump sum contracts which vary in length but typically average one year.

Accounting Estimates:

The preparation of the financial statements in conformity with accounting principles generally accepted in the United States of America requires management to make estimates and assumptions that affect the reported amounts of assets and liabilities and the disclosure of contingent assets and liabilities at the date of the financial statements and reported amounts of revenue and expenses during the reporting period. Actual results could differ from those estimates. Management periodically evaluates estimates used in the preparation of the financial statements for continued reasonableness. Appropriate adjustments, if any, to the estimates used are made prospectively based upon such periodic evaluation. It is reasonably possible that changes may occur in the near term that would affect management's estimates with respect to the percentage of contract completion method, allowance for doubtful accounts and accrued expenses.

Revisions in estimated contract profits are made in the year in which circumstances requiring the revision become known.

Contract Revenue and Cost Recognition:

The construction services performed under each contract represent a single performance obligation that is satisfied over time. Revenues from construction contracts are recognized over time using the cost-to-cost input method, measured by the percentage of costs incurred to date to estimated total costs for each contract. This method is used because management considers costs incurred to date to be the best available measure of progress on these contracts. Because of the inherent uncertainties in estimating costs, it is at least reasonably possible that the Company's estimates of costs and revenues will change in the near term.

Contract costs include all subcontract, direct material and labor costs and those indirect costs related to contract performance, such as indirect labor, insurance, supplies, tools, repairs and depreciation. Costs of inefficiencies or wasted resources (material or labor) are excluded when measuring progress and are expensed as incurred. General and administrative costs are charged to expense as incurred. Provisions for estimated losses on uncompleted contracts are made in the period in which such losses are determined. Changes in job performance, job conditions and estimated profitability, including those arising from contract penalty provisions and final contract settlements, may result in revisions to costs and income and are recognized in the period in which the revisions are determined. Changes in estimated job profitability resulting from variable consideration (such as incentives for completing a contract early or on time, penalties for not completing a contract on time, claims for which the Company has enforceable rights, or contract modifications/change orders in which the scope of modification has been approved, but the price has not been determined or approved) are accounted for as changes in estimates in the current period, but limited to an amount that will not result in a significant reversal of revenue in future periods.

SANDCO, LLC
NOTES TO FINANCIAL STATEMENTS
DECEMBER 31, 2019

NOTE 1 - SUMMARY OF SIGNIFICANT ACCOUNTING POLICIES (Continued)

Contract Revenue and Cost Recognition (Continued):

The contract asset, "Costs and estimated earnings in excess of billings on uncompleted contracts," represents revenues recognized in excess of amounts billed. The contract liability, "Billings in excess of costs and estimated earnings on uncompleted contracts," represents billings in excess of revenues recognized.

Balance Sheet Classifications:

The Company includes in current assets and liabilities retentions receivable and payable under construction contracts that may extend beyond one year. A one-year time period is used as classifying all other current assets and liabilities.

Contract Receivables:

The Company bills customers for work performed on contracts at intervals established within individual construction contracts. Normal contract receivables are due 30 days after the issuance of the invoice. Retainages are due within 30 days upon completion of contracts. All contract receivables are considered to be collectible within twelve months. An allowance for uncollectible accounts is established on specific contracts when management believes collectability is doubtful. Balances that remain outstanding after the Company has used reasonable collection efforts are written off. Management determined an allowance was not necessary for the year ended December 31, 2019.

Property and Equipment:

Property and equipment are stated at cost and depreciated over the estimated useful lives of the individual assets utilizing the straight-line method. Estimated useful lives are generally as follows:

Construction equipment	5 - 15 years
Furniture and fixtures	7 - 15 years
Vehicles	4 - 15 years
Computer equipment and software	3 - 5 years
Leasehold improvements	10 - 15 years

Major expenditures for property and equipment, and those which substantially increase useful lives, are capitalized. Maintenance, repairs and minor renewals not included as contract costs are expensed as incurred. When assets are retired, or otherwise disposed of, their costs and related accumulated depreciation are removed from the accounts and any resulting gain or loss is included in income for the year.

SANDCO, LLC
NOTES TO FINANCIAL STATEMENTS
DECEMBER 31, 2019

NOTE 1 - SUMMARY OF SIGNIFICANT ACCOUNTING POLICIES (Continued)

Income Taxes:

The Company, with the consent of its members, have elected to be treated as a partnership under the provisions of the Internal Revenue Code. Under this method, the members are responsible for reporting the Company's federal net income on their individual tax returns. Accordingly, no provision for income taxes on current period income has been made in these financial statements.

If it is probable that an uncertain tax position will result in a material liability and the amount of the liability can be estimated, then the estimated liability is accrued. If the Company were to incur any income tax liability in the future, interest on any income tax liability would be reported as interest expense, and penalties on any income tax would be reported as income taxes. As of December 31, 2019, management believes there were no uncertain tax positions.

Recent Accounting Standards:

In May 2014, the Financial Accounting Standards Board ("FASB") issued Accounting Standards Update No. 2014-09, *Revenue from Contracts with Customers (Topic 606)* ("ASC 606"). ASC 606 supersedes the revenue recognition requirements in FASB Accounting Standards Codification Topic 605, *Revenue Recognition*, and requires the recognition of revenue when promised goods or services are transferred to customers in an amount that reflects the consideration to which an entity expects to be entitled in exchange for those goods or services. The Company adopted ASC 606 on January 1, 2019, using the modified retrospective transition method applied to all contracts that were not completed at that date. Adoption of the new guidance resulted in changes to the Company's accounting policies for revenue and cost recognition. The difference to revenue and cost recognition-related account balances at December 31, 2018, under ASC 606 was determined to be immaterial. Accordingly, no adjustment to beginning retained earnings was necessary.

Subsequent Events:

Management has evaluated subsequent events through February 28, 2020, which is the date the financial statements were available to be issued.

SANDCO, LLC
NOTES TO FINANCIAL STATEMENTS
DECEMBER 31, 2019

NOTE 2 - CONTRACT RECEIVABLES

Contract receivables consist of the following:

Completed contracts	\$ 50,246
Contracts in progress	<u>1,352,567</u>
	<u>1,402,813</u>
Retainage:	
Contracts in progress	<u>608,803</u>
Total contract receivables	2,011,616
Less contract receivables - related party	<u>346,166</u>
	<u><u>\$ 1,665,450</u></u>

As of December 31, 2018, the net balance of contract receivables was \$1,542,677 and the balance of contract receivables - related party was \$1,176,425.

NOTE 3 - COSTS AND ESTIMATED EARNINGS ON UNCOMPLETED CONTRACTS

Costs, estimated earnings, and billings on uncompleted contracts are summarized as follows:

Cost incurred on uncompleted contracts	\$ 22,103,341
Estimated earnings	<u>7,736,754</u>
	29,840,095
Less billings to date	<u>29,570,741</u>
	<u><u>\$ 269,354</u></u>

SANDCO, LLC
NOTES TO FINANCIAL STATEMENTS
DECEMBER 31, 2019

NOTE 3 - COSTS AND ESTIMATED EARNINGS ON UNCOMPLETED CONTRACTS (Continued)

Included in the accompanying balance sheet under the following captions:

Costs and estimated earnings in excess of billings on uncompleted contracts	\$ 687,733
Billings in excess of costs and estimated earnings on uncompleted contracts	<u>(418,379)</u>
	<u><u>\$ 269,354</u></u>

As of December 31, 2018, the balance in costs and estimated earnings in excess of billings on uncompleted contracts (a contract asset) was \$843,815 and the balance in billings in excess of costs and estimated earnings on uncompleted contracts (a contract liability) was \$572,576.

NOTE 4 - BACKLOG

Backlog represents the amount of revenue the Company expects to realize from work to be performed on contracts in progress at year end and from contractual agreements on which work has not yet begun. The following schedule summarizes changes in backlog on contracts for the year ended December 31, 2019.

Backlog balance at beginning of year	\$ 6,725,127
New contracts during the year	21,078,163
Contract adjustments on contracts in progress	<u>(700,146)</u>
	27,103,144
Less contract revenue earned during the year	<u>11,846,285</u>
Backlog balance at end of year	<u><u>\$ 15,256,859</u></u>

SANDCO, LLC
NOTES TO FINANCIAL STATEMENTS
DECEMBER 31, 2019

NOTE 5 - PROPERTY AND EQUIPMENT

Property and equipment consist of the following:

Construction equipment	\$ 11,692,407
Furniture and fixtures	9,588
Vehicles	1,270,501
Computer equipment and software	304,442
Leasehold improvements	60,259
	<u>13,337,197</u>
Less accumulated depreciation	<u>4,155,473</u>
Property and equipment, net	<u><u>\$ 9,181,724</u></u>

Depreciation and amortization expense was \$1,610,185 for the year ended December 31, 2019 and is included in cost of revenues earned and general and administrative expenses.

NOTE 6 - LONG-TERM DEBT

Long-term debt is summarized as follows:

Notes payable to a finance companies, bearing interest up to 6.56%, maturities through December 2025, secured by equipment and vehicles	\$ 4,658,816
Less current maturities	<u>1,644,923</u>
Long-term debt, less current maturities	<u><u>\$ 3,013,893</u></u>

Scheduled maturities of long-term debt are as follows:

2020	\$ 1,644,923
2021	1,120,432
2022	840,331
2023	628,689
2024	398,871
Thereafter	<u>25,570</u>
	<u><u>\$ 4,658,816</u></u>

SANDCO, LLC
NOTES TO FINANCIAL STATEMENTS
DECEMBER 31, 2019

NOTE 7 - CAPITAL LEASE OBLIGATIONS

The Company leases certain equipment under an agreement that is classified as a capital lease. The cost of equipment under this capital lease was \$125,234 and accumulated amortization was \$20,872 at December 31, 2019. Amortization expense is included in depreciation expense and was \$12,523 for the year ended December 31, 2019.

During the year ended December 31, 2019, the lease requires future minimum lease payments of \$26,054 which includes \$854 of interest.

NOTE 8 - RELATED PARTY TRANSACTIONS

The members of the Company are principals in several corporations, partnerships, and limited liability companies. Various transactions occur between the Company and these related entities.

The Company rents office space from a related entity under a month to month agreement. Rent expense was waived for the year ended December 31, 2019.

The Company has an agreement for accounting services with a related entity. Costs related to this agreement were \$45,600 and are included in general and administrative expenses for the year ended December 31, 2019. Accounts payable related to this agreement was \$3,800 at December 31, 2019.

The Company purchased materials and services in the amount of \$699,760 from a related entity during the year ended December 31, 2019 which are included in cost of revenues earned. Accounts payable related to these materials and services was \$18,157 at December 31, 2019.

The Company has additional accounts payable of \$2,540 due to two related entities as of December 31, 2019.

The Company has other receivables of \$144,207 due from several related entities as of December 31, 2019, with no stated repayment terms.

Various related entities contracted with the Company during the year ended December 31, 2019 resulting in contract revenue of \$5,737,928 and contract costs of \$5,688,923. Contract receivables at December 31, 2019 relating to these transactions were \$346,166.

SANDCO, LLC
NOTES TO FINANCIAL STATEMENTS
DECEMBER 31, 2019

NOTE 9 - EMPLOYEE BENEFIT PLAN

The Company sponsors a 401(k) retirement plan for its employees (the "Plan"). The Company matches participant elective deferrals up to 4% of compensation. Additionally, the Company may make discretionary qualified nonelective contributions. Eligible employees must be at least 18 years old and have one year of service. The Company made contributions of \$24,649 for the year ended December 31, 2019.

NOTE 10 - CONTINGENCIES

Concentration of Revenue - Major Customers:

The Company's customer base consists of entities in a variety of industries. During the year ended December 31, 2019, the Company derived 58% of its total contract revenue from three customers, two of which are related parties. Amounts due from three customers comprised 84% of contract receivables at December 31, 2019 one of which is a related party.

Concentration of Credit Risk:

The Company's cash balances held at financial institutions are insured by the Federal Deposit Insurance Corporation (FDIC) up to certain limits. At December 31, 2019, the Company had cash balances of \$58,707 held by financial institutions in excess of insured limits.

Warranty Obligations:

Certain parts of the Company's construction contracts contain warranty provisions on material and workmanship. The Company's management feels that any warranty work that should arise would be nominal and not have a material effect on the accompanying financial statements.

SUPPLEMENTARY INFORMATION

SANDCO, LLC
SCHEDULE OF EARNINGS FROM CONTRACTS
YEAR ENDED DECEMBER 31, 2019

	Revenues Earned	Cost of Revenues Earned	Gross Profit
Contracts completed during the year	\$ 2,522,863	\$ 2,260,961	\$ 261,902
Contracts in progress at year-end	9,187,173	9,031,114	156,059
Prior year closed jobs	<u>136,249</u>	<u>38,245</u>	<u>98,004</u>
	<u><u>\$ 11,846,285</u></u>	<u><u>\$ 11,330,320</u></u>	<u><u>\$ 515,965</u></u>

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SANDCO, LLC
SCHEDULE OF CONTRACTS COMPLETED
YEAR ENDED DECEMBER 31, 2019

Job	Contract Totals		
	Revenues Earned	Cost of Revenues	Gross Profit (Loss)
COT Transmission Line	\$ 2,552,485	\$ 1,342,906	\$ 1,209,579
Rickards High School	2,131,849	1,872,899	258,950
TMH Medical Improvements	2,042,484	1,523,608	518,876
Red Hills Village Retirement	1,691,964	1,456,610	235,354
Southwood 32 Phase 3	1,440,641	1,151,449	289,192
WT Moore Elementary Site Improvement	1,347,552	1,247,092	100,460
Westminster Oaks	1,149,406	852,379	297,027
Harbor Chase at Capital City	1,043,939	1,000,738	43,201
E Georgia	929,301	1,051,355	(122,054)
Ultimate Image Auto Dealership	341,794	332,978	8,816
Parking Lot at Mahan Square	180,969	169,907	11,062
Gaines Street at Stone Valley	168,949	136,527	32,422
	<u>\$ 15,021,333</u>	<u>\$ 12,138,448</u>	<u>\$ 2,882,885</u>

Before January 1, 2018			Year Ended December 31, 2019		
Revenues Earned	Cost of Revenues	Gross Profit	Revenues Earned	Cost of Revenues	Gross Profit (Loss)
\$ 2,149,226	\$ 1,125,882	\$ 1,023,344	\$ 403,259	\$ 217,024	\$ 186,235
1,883,128	1,715,053	168,075	248,721	157,846	90,875
1,899,394	1,445,685	453,709	143,090	77,923	65,167
1,662,054	1,433,561	228,493	29,910	23,049	6,861
1,408,551	1,112,065	296,486	32,090	39,384	(7,294)
1,269,726	1,227,075	42,651	77,826	20,017	57,809
1,097,581	787,902	309,679	51,825	64,477	(12,652)
804,065	709,498	94,567	239,874	291,240	(51,366)
41,533	39,041	2,492	887,768	1,012,314	(124,546)
283,212	281,725	1,487	58,582	51,253	7,329
-	-	-	180,969	169,907	11,062
-	-	-	168,949	136,527	32,422
<u>\$ 12,498,470</u>	<u>\$ 9,877,487</u>	<u>\$ 2,620,983</u>	<u>\$ 2,522,863</u>	<u>\$ 2,260,961</u>	<u>\$ 261,902</u>

SANDCO, LLC
SCHEDULE OF CONTRACTS IN PROGRESS
YEAR ENDED DECEMBER 31, 2019

Job	Contract Totals		From Inception to	
	Contract Value	Estimated Gross Profit (Loss)	Revenues Earned	Cost of Revenues
Welaunee Canopy Phase I	\$ 14,684,601	\$ 5,679,901	\$ 14,417,639	\$ 8,840,997
Canopy Units 4&5	10,097,357	2,384,954	667,951	510,184
Brookside Village	3,437,015	296,280	3,159,162	2,886,834
Chastain Subdivision - Phase I	2,900,538	454,443	4,268	3,599
Pruitt Health	2,436,306	206,862	2,246,977	2,056,191
Fletcher Oaks	1,987,685	464,038	826,792	633,772
Southwood LDR5 - Phase II	1,680,135	398,461	1,600,923	1,221,248
Southwood LDR5	1,445,267	208,542	1,442,906	1,234,705
Woodland Place	1,444,008	576,064	1,265,966	760,929
Family Entertainment Center	1,077,013	42,352	943,546	906,442
Cascades Development	1,051,289	(20,530)	1,044,613	1,065,013
Amenity Center at Canopy	1,033,732	221,349	534,208	419,820
Arbor Trace 2 Canopy, Phase 3	653,747	140,863	652,472	511,884
Canopy Pond #2	642,498	(105,828)	611,728	712,488
Canopy Unit 1 PH6 Turtlehead	415,263	80,313	375,939	303,231
TMH Building Courtyard	110,500	22,100	45,005	36,004
	<u>\$ 45,096,954</u>	<u>\$ 11,050,164</u>	<u>\$ 29,840,095</u>	<u>\$ 22,103,341</u>

December 31, 2019			December 31, 2019		Year Ended December 31, 2019		
Gross Profit (Loss)	Billed to Date	Estimated Cost to Complete	Costs & Estimated Earnings in Excess of Billings	Billings in Excess of Costs & Estimated Earnings	Revenues Earned	Cost of Revenues	Gross Profit (Loss)
\$ 5,576,642	\$ 14,027,043	\$ 163,703	\$ 390,596	\$ -	\$ 497,369	\$ 866,165	\$ (368,796)
157,767	895,123	7,202,219	-	227,172	667,951	510,184	157,767
272,328	3,113,815	253,901	45,347	-	948,411	1,224,270	(275,859)
669	-	2,442,496	4,268	-	4,268	3,599	669
190,786	2,301,988	173,253	-	55,011	471,986	650,023	(178,037)
193,020	868,431	889,875	-	41,639	826,792	633,772	193,020
379,675	1,624,685	60,426	-	23,762	1,600,923	1,221,248	379,675
208,201	1,368,738	2,020	74,168	-	198,617	96,326	102,291
505,037	1,312,109	107,015	-	46,143	(72,271)	1,415	(73,686)
37,104	888,292	128,219	55,254	-	943,546	906,442	37,104
(20,400)	1,046,789	6,806	-	2,176	1,044,613	1,065,013	(20,400)
114,388	520,588	392,563	13,620	-	534,208	419,820	114,388
140,588	586,222	1,000	66,250	-	652,472	511,884	140,588
(100,760)	573,498	35,838	38,230	-	476,785	605,465	(128,680)
72,708	380,170	31,719	-	4,231	346,498	279,484	67,014
9,001	63,250	52,396	-	18,245	45,005	36,004	9,001
<u>\$ 7,736,754</u>	<u>\$ 29,570,741</u>	<u>\$ 11,943,449</u>	<u>\$ 687,733</u>	<u>\$ 418,379</u>	<u>\$ 9,187,173</u>	<u>\$ 9,031,114</u>	<u>\$ 156,059</u>

SANDCO, LLC
SCHEDULE OF GENERAL AND ADMINISTRATIVE EXPENSES
YEAR ENDED DECEMBER 31, 2019

Salaries and benefits	\$ 846,771
Bad debt	20,195
Contributions	13,106
Depreciation and amortization	8,260
Insurance	91,211
Miscellaneous	76,833
Office and occupancy expense	53,900
Professional and consulting fees	<u>127,228</u>
	<u>\$ 1,237,504</u>

SECTION C

RESOLUTION 2020-07

A RESOLUTION OF THE BOARD OF SUPERVISORS OF CANOPY COMMUNITY DEVELOPMENT DISTRICT REGARDING THE AWARD OF A CONSTRUCTION CONTRACT; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Canopy Community Development District (the “District”) is a local unit of special-purpose government established pursuant to Chapter 190, *Florida Statutes*, to plan, construct, install, acquire, finance, manage and operate public improvements and community facilities within and without its boundaries; and

WHEREAS, the District has previously entered into that certain *Interlocal Agreement* with the City of Tallahassee (the “City”) and the Leon County-City of Tallahassee Blueprint Intergovernmental Agency (the “Agency”), dated March 13, 2019 (the “Interlocal Agreement”), which provides for reimbursement to the District for certain costs of constructing Phase 2 and Phase 3 of Welaunee Boulevard; and

WHEREAS, pursuant to that certain *Construction Funding Agreement* between the District and Ox Bottom Mortgage Holdings, LLC (the “Developer”), dated August 6, 2019 (the “Construction Funding Agreement”), the Developer has agreed to provide the funding necessary to complete the construction obligations under the Interlocal Agreement and the District has agreed to, within forty-five days of receipt of the anticipated reimbursement under the Interlocal Agreement, reimburse the Developer until full reimbursement is made or until all funds received from the City are exhausted; and

WHEREAS, the District has solicited bids from contractors interested in providing construction services related to the District’s Welaunee Boulevard Segment 3A and Segment 2 Turn Lanes project (the “Project”); and

WHEREAS, the District’s Board of Supervisors (the “Board”) has received and evaluated bids from two (2) contractors interested in providing construction services relative to the Project; and

WHEREAS, the Board, after considering bids from all contractors, has awarded the following points:

_____ points to C.W. Roberts Contracting, Inc.
_____ points to Sandco, LLC; and

WHEREAS, both bids exceed the reimbursement amounts available under the Interlocal Agreement; and

WHEREAS, the Board has determined that it is in the best interests of the District and its residents and landowners to award the contract for construction services for the Project to _____, contingent upon the District's ability to successfully secure additional funding from the City, the Agency, and/or the Developer.

**NOW THEREFORE, BE IT RESOLVED BY THE BOARD OF
SUPERVISORS OF THE CANOPY COMMUNITY
DEVELOPMENT DISTRICT:**

SECTION 1. All of the representations, findings and determinations contained within the recitals stated above are recognized as true and accurate and are expressly incorporated into this Resolution.

SECTION 2. The Board hereby determines that the bid submitted by _____ for the Project, is the bid which best serves the interests of the District and accordingly the District's Board desires to award the contract for the construction services for the Project to such contractor, contingent upon the District's ability to successfully secure additional funding from the City, the Agency, and/or the Developer.

SECTION 3. The Chairman and District Staff are hereby authorized to give notice of this award to the bidder to the extent required by law and, provided successful funding for the costs of the Project can be secured, to proceed with the execution of a contract with the selected proposer.

SECTION 4. If any provision of this Resolution is held to be illegal or invalid, the other provisions shall remain in full force and effect.

SECTION 5. This Resolution shall become effective upon its passage and shall remain in effect unless rescinded or repealed.

PASSED AND ADOPTED this 26th day of May, 2020.

ATTEST:

**CANOPY COMMUNITY
DEVELOPMENT DISTRICT**

Secretary/Assistant Secretary

Chairman, Board of Supervisors

SECTION V

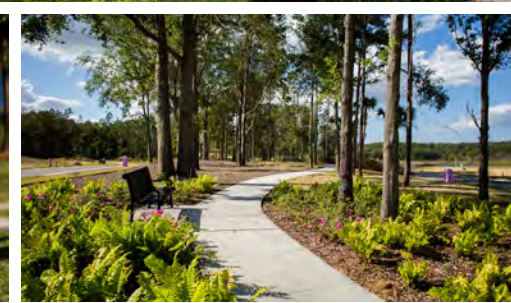
SECTION A

REQUEST FOR QUALIFICATIONS

PROFESSIONAL ENGINEERING SERVICES

Canopy Community Development District

APRIL 30, 2020



SUBMITTED BY

Dewberry Engineers Inc.
101 North Monroe Street, Suite 710
Tallahassee, Florida 32301-1500

SUBMITTED TO

Governmental Management Services - Central Florida LLC
219 E. Livingston Street
Orlando, Florida 32801



Dewberry Engineers Inc.
101 North Monroe Street, Suite 710
Tallahassee, FL 32301-1549

850.523.0062
www.dewberry.com

April 30, 2020

Canopy Community Development District
Attn: Darrin Mossing, District Manager
c/o Governmental Management Services - Central Florida, LLC
219 E. Livingston Street
Orlando, Florida 32801

RE: Request for Qualifications for Professional Engineering Services for the Canopy Community Development District

Dear Mr. Mossing,

Our firm has put together a local and experienced team to deliver each task under this contract efficiently and effectively. Dewberry has served as the District Engineer for over 25 Community Development Districts (CDDs) in Florida, which allows us to provide the Canopy CDD with the unique experience, familiarity, and understanding of the type of services that will be requested.

Dewberry's Florida operation is backed by the resources and stability of a national firm and specializes in site/civil, environmental, utility infrastructure, transportation engineering, surveying, and land development services. Dewberry has 15 office locations and over 300 employees in Florida, allowing us to bring expertise, qualifications, and resources to clients throughout the State. Dewberry's depth of professional resources and expertise touches every aspect of the CDD's ongoing needs. From 200 acres to close to 10,000 acres, we offer the CDD a solid team built on past experience to efficiently address the associated scope of work, as well as, the added depth of services involving engineering, environmental, surveying, and construction management for a full-service approach.

We have extensive knowledge and understanding of the Canopy CDD from our long-term service to the City of Tallahassee and Leon County and are able to provide the specific assignments noted in your RFQ.

It would be our privilege to serve as the District Engineer. We appreciate this opportunity to provide information about our capabilities and welcome the possibility to personally expand upon them.

Sincerely

A handwritten signature in blue ink, appearing to read "Ayodeji Ajose-Adeogun", with a stylized flourish extending to the right.

Ayodeji Ajose-Adeogun, PE, LEED® Green Associate
Senior Project Manager
850.354.5181 | aajose-adeogun@dewberry.com

SECTION 1: Standard Form 330



ARCHITECT – ENGINEER QUALIFICATIONS

PART I – CONTRACT-SPECIFIC QUALIFICATIONS

A. CONTRACT INFORMATION

1. TITLE AND LOCATION *(City and State)*

Request for Qualifications for Professional Engineering Services for Canopy CDD (Tallahassee, FL)

2. PUBLIC NOTICE DATE

April 16, 2020

3. SOLICITATION OR PROJECT NUMBER

N/A

B. ARCHITECT-ENGINEER POINT OF CONTACT

4. NAME AND TITLE

Ayodeji Ajose-Adeogun, PE, LEED® Green Associate

5. NAME OF FIRM

Dewberry Engineers Inc.

6. TELEPHONE NUMBER

850.354.5181

7. FAX NUMBER

N/A

8. EMAIL ADDRESS

aajose-adeogun@dewberry.com

C. PROPOSED TEAM

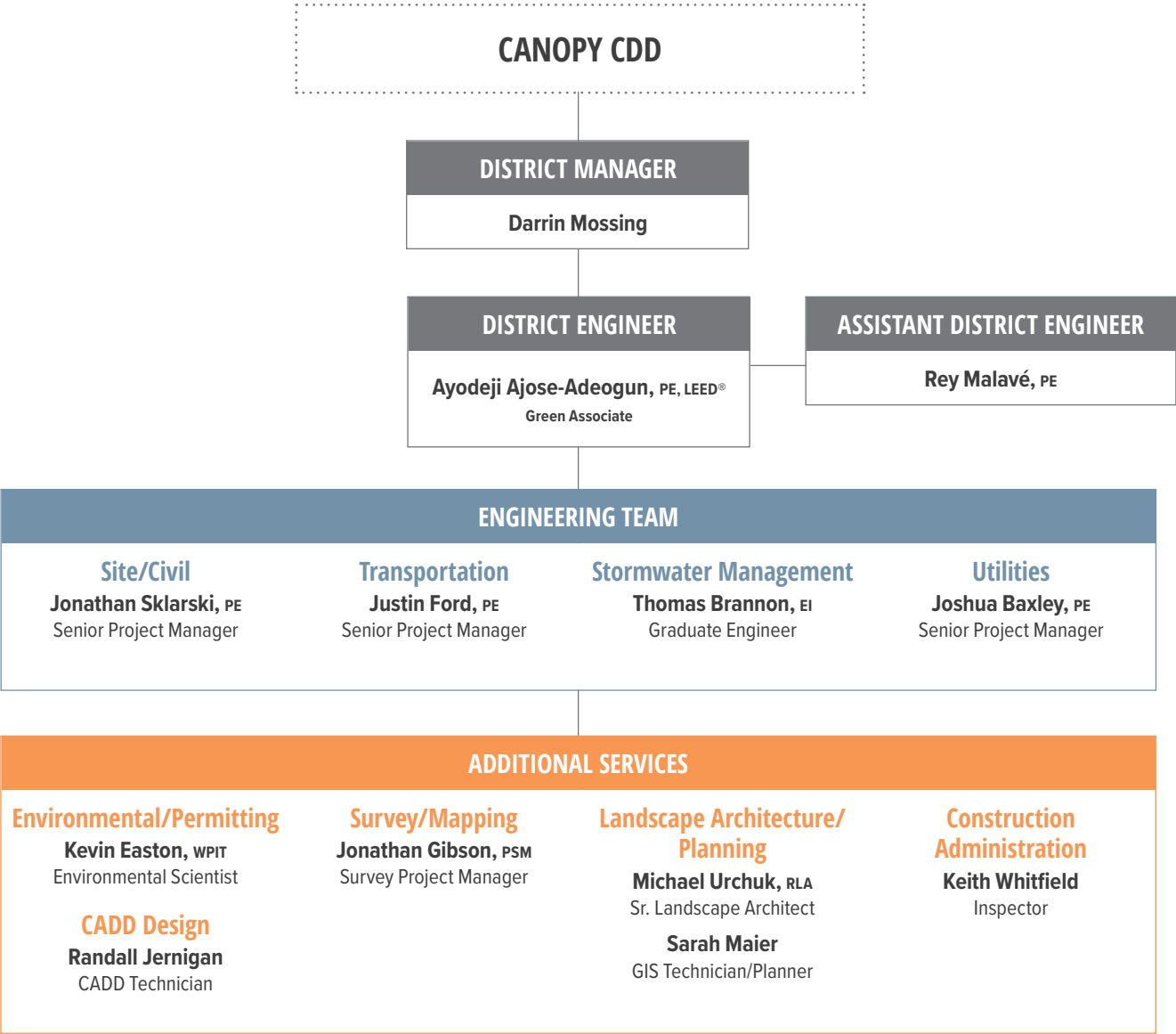
(Complete this section for the prime contractor and all key subcontractors.)

	(Check)			9. FIRM NAME	10. ADDRESS	11. ROLE IN THIS CONTRACT
	PRIME	J-V PARTNER	SUBCONTRACTOR			
a.	<input checked="" type="checkbox"/>			Dewberry Engineers Inc. <input checked="" type="checkbox"/> CHECK IF BRANCH OFFICE	101 North Monroe Street, Suite 710 Tallahassee, FL 32301-1500	District Engineer; Site/Civil Transportation; Stormwater Management; Water/Wastewater; Environmental Permitting; Surveying and Mapping; Planning
b.	<input checked="" type="checkbox"/>			Dewberry Engineers Inc. <input checked="" type="checkbox"/> CHECK IF BRANCH OFFICE	203 Aberdeen Parkway Panama City, Florida 32405-6457	Site/Civil
c.	<input checked="" type="checkbox"/>			Dewberry Engineers Inc. <input checked="" type="checkbox"/> CHECK IF BRANCH OFFICE	20684 Central Avenue East Blountstown, Florida 32424-6209	Transportation, Construction Administration
d.	<input checked="" type="checkbox"/>			Dewberry Engineers Inc. <input checked="" type="checkbox"/> CHECK IF BRANCH OFFICE	800 North Magnolia Avenue, Suite 1000 Orlando, Florida 32803-3251	Assistant District Engineer; Landscape Architecture/Planning

D. ORGANIZATIONAL CHART OF PROPOSED TEAM

☒ (Attached)

D. ORGANIZATIONAL CHART OF PROPOSED TEAM



“OUR TEAM’S EXPERIENCE AND COMMITMENT WILL PROVIDE CANOPY CDD WITH THE CONSISTENT, QUALITY SERVICES REQUIRED TO SUCCESSFULLY DELIVER THROUGHOUT THIS CONTRACT.”

– **AYODEJI AJOSE-ADEOGUN, PE, LEED® GREEN ASSOCIATE**
PROPOSED DISTRICT ENGINEER

E. RESUMES OF KEY PERSONNEL PROPOSED FOR THIS CONTRACT

(Complete one Section E for each key person.)

12. NAME Ayodeji Ajose-Adeogun, PE, LEED® Green Associate	13. ROLE IN THIS CONTRACT District Engineer	14. YEARS EXPERIENCE <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; border-bottom: 1px solid black;">a. TOTAL</td> <td style="width: 50%; border-bottom: 1px solid black;">b. WITH CURRENT FIRM</td> </tr> <tr> <td style="text-align: center;">22</td> <td style="text-align: center;">8</td> </tr> </table>		a. TOTAL	b. WITH CURRENT FIRM	22	8
a. TOTAL	b. WITH CURRENT FIRM						
22	8						
15. FIRM NAME AND LOCATION (City and State) Dewberry Engineers Inc. (Tallahassee, FL)							
16. EDUCATION (Degree and Specialization) MS/Civil Engineering; BS/Civil Engineering	17. CURRENT PROFESSIONAL REGISTRATION (State and Discipline) FL Professional Engineer #65524; GA Professional Engineer #PEF006260; TN Professional Engineer #116255; AL Professional Engineer #33087; MS Professional Engineer #PE-21041 LEED® Green Associate #10394230-Green-Associate						
18. OTHER PROFESSIONAL QUALIFICATIONS (Publications, Organizations, Training, Awards, etc.)							

Ayodeji Ajose-Adeogun has extensive experience in civil engineering. He has been a project manager for numerous projects of varying scope, taking projects from start to finish, while working closely with subconsultants and contractors on projects requiring complex design. He has extensive experience in concept plans, site planning, stormwater design, utility design, cost estimating, and permitting of commercial, public sector and residential projects in Florida and Georgia.

19. RELEVANT PROJECTS							
a.	(1) TITLE AND LOCATION (City and State) LDR5 Phase III at Southwood (Tallahassee, FL)	(2) YEAR COMPLETED <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; border-bottom: 1px solid black;">PROFESSIONAL SERVICES</td> <td style="width: 50%; border-bottom: 1px solid black;">CONSTRUCTION (If applicable)</td> </tr> <tr> <td style="text-align: center;">Ongoing</td> <td style="text-align: center;">N/A</td> </tr> </table>		PROFESSIONAL SERVICES	CONSTRUCTION (If applicable)	Ongoing	N/A
	PROFESSIONAL SERVICES	CONSTRUCTION (If applicable)					
	Ongoing	N/A					
(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE Project Manager. This project is located in the Southwood PUD and is in the LDR section. The project task is to divide 55 lots for a subdivision development situated in a PUD section with extreme grades. This project connects to Phase II of the LDR5 and backs up to Orange Avenue. Work for the project includes water, sewer and conveyance design. Coordination between Southwood and the City of Tallahassee (electric and public works) was performed.		<input checked="" type="checkbox"/> Check if project performed with current firm					
b.	(1) TITLE AND LOCATION (City and State) Capital Place at Southwood (Tallahassee, FL)	(2) YEAR COMPLETED <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; border-bottom: 1px solid black;">PROFESSIONAL SERVICES</td> <td style="width: 50%; border-bottom: 1px solid black;">CONSTRUCTION (If applicable)</td> </tr> <tr> <td style="text-align: center;">2011</td> <td style="text-align: center;">2014</td> </tr> </table>		PROFESSIONAL SERVICES	CONSTRUCTION (If applicable)	2011	2014
	PROFESSIONAL SERVICES	CONSTRUCTION (If applicable)					
	2011	2014					
(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE Project Manager. Capital Place at Southwood is located in the southeast section of Tallahassee. This project involved the construction of 216 unit multi-family residential development with associated parking and landscaping. The project site is part of larger master plan for Southwood. This project had constraints that included a 90-inch patriarch tree that had to be avoided and a sewer line that ran through the development site. The site was planned with these features in mind while solving grading needs with over 50 feet of elevation difference. Through grading and placing retaining walls throughout the site, we were able provide a design that met the client's site requirements. Apart from the above average rainfall during construction, the site was successfully constructed and closed out on time.		<input checked="" type="checkbox"/> Check if project performed with current firm					
c.	(1) TITLE AND LOCATION (City and State) Capital Cascade Park (Tallahassee, FL)	(2) YEAR COMPLETED <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; border-bottom: 1px solid black;">PROFESSIONAL SERVICES</td> <td style="width: 50%; border-bottom: 1px solid black;">CONSTRUCTION (If applicable)</td> </tr> <tr> <td style="text-align: center;">2008</td> <td style="text-align: center;">2015</td> </tr> </table>		PROFESSIONAL SERVICES	CONSTRUCTION (If applicable)	2008	2015
	PROFESSIONAL SERVICES	CONSTRUCTION (If applicable)					
	2008	2015					
(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE Project Engineer. Responsible for the design of the connecting conveyance systems to the park and the box culvert. Coordination was done with the design team of the pond within the park and the FEMA LOMR for this area. Ayodeji was responsible for grading design, assisted in the permitting of the park, and responded to RFI's.		<input type="checkbox"/> Check if project performed with current firm					
d.	(1) TITLE AND LOCATION (City and State) Victoria Grand Apartments (Tallahassee, FL)	(2) YEAR COMPLETED <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; border-bottom: 1px solid black;">PROFESSIONAL SERVICES</td> <td style="width: 50%; border-bottom: 1px solid black;">CONSTRUCTION (If applicable)</td> </tr> <tr> <td style="text-align: center;">2007</td> <td style="text-align: center;">2009</td> </tr> </table>		PROFESSIONAL SERVICES	CONSTRUCTION (If applicable)	2007	2009
	PROFESSIONAL SERVICES	CONSTRUCTION (If applicable)					
	2007	2009					
(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE Project Engineer. Developed construction plans for the owner of this project, performing detailed grading plans due to its significant grade changes. As a State surplus property, the first task we provided was subdividing the surplus property from the remainder of the State's holdings and coordinating easements for utilities and stormwater. The multi-family project, Victoria Grand, encompasses 20.2 acres of the 25.4-acre site. The remaining 5.2 acres is set aside for office development. A detailed drainage design for this project was performed to prevent any localized flooding on site near buildings. This project was draining to an existing stormwater facility and the conveyance was critical in the design to prevent any one site flooding and direct run off to the existing facility. ADA was critical to the owner of the property and was included as part of the design. Ayodeji dealt with the Limited Partition, Site Plan and environmental permitting through the City of Tallahassee. Construction Administration was also assigned to Ayodeji's responsibilities, which included final certifications for the owner.		<input type="checkbox"/> Check if project performed with current firm					

E. RESUMES OF KEY PERSONNEL PROPOSED FOR THIS CONTRACT

(Complete one Section E for each key person.)

12. NAME Rey Malavé, PE	13. ROLE IN THIS CONTRACT Assistant District Engineer	14. YEARS EXPERIENCE <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; border-bottom: 1px solid black; text-align: center;">a. TOTAL 41</td> <td style="width: 50%; border-bottom: 1px solid black; text-align: center;">b. WITH CURRENT FIRM 41</td> </tr> </table>		a. TOTAL 41	b. WITH CURRENT FIRM 41
a. TOTAL 41	b. WITH CURRENT FIRM 41				
15. FIRM NAME AND LOCATION (City and State) Dewberry Engineers Inc. (Orlando, FL)					
16. EDUCATION (Degree and Specialization) MBA/Business Administration; BS/Civil Engineering		17. CURRENT PROFESSIONAL REGISTRATION (State and Discipline) FL Professional Engineer #31588			
18. OTHER PROFESSIONAL QUALIFICATIONS (Publications, Organizations, Training, Awards, etc.)					

Rey Malavé, Associate Vice President at Dewberry, has 41 years of experience in civil engineering design, and a diversified background in the design and permitting of infrastructure systems, including airports, golf courses, commercial developments, and industrial developments, as well as being District Engineer for over 25 CDD's and Improvement Districts. His areas of expertise include stormwater management systems, water distribution systems and wastewater facilities, effluent disposal systems, sanitary sewage collection systems, mass grading of sites, and Master Community Development. He also has experience in the design, permitting and management of construction administrative efforts for very large developments. Additionally, he is experienced in the preparation of paving and grading plans for roadways and parking facilities. He has managed and participated in the planning and design of nine major Developments of Regional Impact as well as many large and complex projects ranging from 1,600 AC to over 4,500 AC. He has extensive knowledge of permitting requirements and has developed a rapport with permitting agencies, including the Florida Department of Environmental Protection (FDEP), Florida Department of Transportation (FDOT), Florida Water Management Districts, and other local agencies.

19. RELEVANT PROJECTS					
a.	(1) TITLE AND LOCATION (City and State) Dowden West CDD (Orlando, FL)	(2) YEAR COMPLETED <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; border-bottom: 1px solid black; text-align: center;">PROFESSIONAL SERVICES Ongoing</td> <td style="width: 50%; border-bottom: 1px solid black; text-align: center;">CONSTRUCTION (If applicable) N/A</td> </tr> </table>		PROFESSIONAL SERVICES Ongoing	CONSTRUCTION (If applicable) N/A
	PROFESSIONAL SERVICES Ongoing	CONSTRUCTION (If applicable) N/A			
	(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE <input checked="" type="checkbox"/> Check if project performed with current firm				
District Engineer. Dowden West is a 736-acre master planned, residential community, consisting of 1,446 residential units and divided into 10 villages. As District Engineer, our services include water distribution, sanitary sewer collection, and reuse water distribution systems, stormwater management, environmental/permitting, landscape architecture, roadway improvements, and survey.					
b.	(1) TITLE AND LOCATION (City and State) Covington Park CDD (Hillsborough County, FL)	(2) YEAR COMPLETED <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; border-bottom: 1px solid black; text-align: center;">PROFESSIONAL SERVICES Ongoing</td> <td style="width: 50%; border-bottom: 1px solid black; text-align: center;">CONSTRUCTION (If applicable) N/A</td> </tr> </table>		PROFESSIONAL SERVICES Ongoing	CONSTRUCTION (If applicable) N/A
	PROFESSIONAL SERVICES Ongoing	CONSTRUCTION (If applicable) N/A			
	(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE <input checked="" type="checkbox"/> Check if project performed with current firm				
District Engineer. As District Engineer, our services include planning, civil engineering, roadway design, stormwater design, environmental/permitting, landscape architecture, survey, and construction administration					
c.	(1) TITLE AND LOCATION (City and State) Deer Run CDD (Bunnell, FL)	(2) YEAR COMPLETED <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; border-bottom: 1px solid black; text-align: center;">PROFESSIONAL SERVICES Ongoing</td> <td style="width: 50%; border-bottom: 1px solid black; text-align: center;">CONSTRUCTION (If applicable) N/A</td> </tr> </table>		PROFESSIONAL SERVICES Ongoing	CONSTRUCTION (If applicable) N/A
	PROFESSIONAL SERVICES Ongoing	CONSTRUCTION (If applicable) N/A			
	(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE <input checked="" type="checkbox"/> Check if project performed with current firm				
District Engineer. Dewberry serves as the current District Engineer for this +/- 602 acre Master Planned Golf Community with 749 units. Our services have included attending monthly District Board meetings, processing of pay requisitions and construction pay applications, and providing general consulting services and input to the Board of Directors. Specific assignments include planning, preparing reports and plans, surveying designs and specifications for water management systems and facilities; Water and sewer system and facilities; roads, landscaping, recreational facilities and street lighting.					
d.	(1) TITLE AND LOCATION (City and State) Lakewood Ranch CDDs 1, 2, 4, 5 and 6 (Manatee County, FL)	(2) YEAR COMPLETED <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; border-bottom: 1px solid black; text-align: center;">PROFESSIONAL SERVICES Ongoing</td> <td style="width: 50%; border-bottom: 1px solid black; text-align: center;">CONSTRUCTION (If applicable) N/A</td> </tr> </table>		PROFESSIONAL SERVICES Ongoing	CONSTRUCTION (If applicable) N/A
	PROFESSIONAL SERVICES Ongoing	CONSTRUCTION (If applicable) N/A			
	(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE <input checked="" type="checkbox"/> Check if project performed with current firm				
District Engineer. Lakewood Ranch is an unincorporated 17,500-acre community in Manatee County. Established in 1995, there is an 8,500-acre master planned community within it, consisting of seven villages with a variety of housing types and five CDDs. It contains A-rated schools, shopping, business parks, hospital and medical center, three different golf courses, as well as, an athletic center with fitness, aquatics and lighted tennis courts. Lakewood Ranch has over 150 miles of sidewalks and trail, community parks, lakes and nature preserves abundant with native wildlife. As District Engineer, our services include engineering, planning, surveying, permitting, landscape architecture, owner coordination with City/County, and approval of all development and construction activities.					

E. RESUMES OF KEY PERSONNEL PROPOSED FOR THIS CONTRACT

(Complete one Section E for each key person.)

12. NAME Jonathan Sklarski, PE	13. ROLE IN THIS CONTRACT Site/Civil Engineer	14. YEARS EXPERIENCE <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; border-bottom: 1px solid black; text-align: center;">a. TOTAL 18</td> <td style="width: 50%; border-bottom: 1px solid black; text-align: center;">b. WITH CURRENT FIRM 8</td> </tr> </table>		a. TOTAL 18	b. WITH CURRENT FIRM 8
a. TOTAL 18	b. WITH CURRENT FIRM 8				
15. FIRM NAME AND LOCATION (City and State) Dewberry Engineers Inc. (Panama City, FL)					
16. EDUCATION (Degree and Specialization) BS/Civil Engineering		17. CURRENT PROFESSIONAL REGISTRATION (State and Discipline) FL Professional Engineer #67361			
18. OTHER PROFESSIONAL QUALIFICATIONS (Publications, Organizations, Training, Awards, etc.)					

Jonathan Sklarski has extensive experience and is responsible for the design and permitting of various engineering projects for both public and private entities through local, state, and federal regulatory agencies. His primary responsibilities involve commercial site development, residential subdivision development, stormwater management design, FDEP beaches and shores permitting, FDEP dredge and fill permitting, drainage basin and hydraulic analysis, and utility design. Jonathan serves as Dewberry's Client Manager for multiple private developers and contractors across Northwest Florida, including The St. Joe Company and DR Horton. He continues to serve as Project Manager for many large single and multi-family residential developments, providing site/civil engineering and planning services across high-profile, multi-phase projects in Walton and Bay Counties.

19. RELEVANT PROJECTS					
a.	(1) TITLE AND LOCATION (City and State) SweetBay Multiphased Development (Panama City, FL)	(2) YEAR COMPLETED <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; border-bottom: 1px solid black; text-align: center;">PROFESSIONAL SERVICES Ongoing</td> <td style="width: 50%; border-bottom: 1px solid black; text-align: center;">CONSTRUCTION (If applicable) Ongoing</td> </tr> </table>		PROFESSIONAL SERVICES Ongoing	CONSTRUCTION (If applicable) Ongoing
	PROFESSIONAL SERVICES Ongoing	CONSTRUCTION (If applicable) Ongoing			
	(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE <div style="border: 1px solid black; padding: 5px;"> <input checked="" type="checkbox"/> Check if project performed with current firm </div>				
<p>Project Manager. SweetBay is a new master planned community being developed on land that was formerly the Bay County International Airport. With plans to grow to approximately 3,000 homes over the next 15 to 20 years, we're currently working on multiple phases of the project. The most recent phase consists of the design and permitting of 267 single family residential lots, multiple community parks and amenities, pedestrian trail systems, the University Academy Charter School and its associated recreational fields, and all supporting infrastructure. Our work includes planning assistance, project management, engineering design, coordination meetings, permitting, and construction phase services.</p>					
b.	(1) TITLE AND LOCATION (City and State) Breakfast Point Multiphased Development (Panama City Beach, FL)	(2) YEAR COMPLETED <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; border-bottom: 1px solid black; text-align: center;">PROFESSIONAL SERVICES Ongoing</td> <td style="width: 50%; border-bottom: 1px solid black; text-align: center;">CONSTRUCTION (If applicable) Ongoing</td> </tr> </table>		PROFESSIONAL SERVICES Ongoing	CONSTRUCTION (If applicable) Ongoing
	PROFESSIONAL SERVICES Ongoing	CONSTRUCTION (If applicable) Ongoing			
	(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE <div style="border: 1px solid black; padding: 5px;"> <input checked="" type="checkbox"/> Check if project performed with current firm </div>				
<p>Project Manager. Breakfast Point is a newly developed residential neighborhood of the quickly expanding city of Panama City Beach, Florida. Our work includes planning assistance, project management, engineering design, coordination meetings, permitting, and construction phase services.</p>					
c.	(1) TITLE AND LOCATION (City and State) Gulf Coast State College Campus Improvements (Panama City, FL)	(2) YEAR COMPLETED <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; border-bottom: 1px solid black; text-align: center;">PROFESSIONAL SERVICES Ongoing</td> <td style="width: 50%; border-bottom: 1px solid black; text-align: center;">CONSTRUCTION (If applicable) Ongoing</td> </tr> </table>		PROFESSIONAL SERVICES Ongoing	CONSTRUCTION (If applicable) Ongoing
	PROFESSIONAL SERVICES Ongoing	CONSTRUCTION (If applicable) Ongoing			
	(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE <div style="border: 1px solid black; padding: 5px;"> <input checked="" type="checkbox"/> Check if project performed with current firm </div>				
<p>Project Manager. Phase I of this project was located within the southern portion of the Gulf Coast State College (GCSC) campus and was necessary due to the FDOT acquiring additional right of way from the College to allow for the construction of the 23rd Street Flyover project. The project consisted of the design and reconfiguration of the parking lot, site lighting, landscape/hardscape, pedestrian ways, drainage systems, and utility relocation. Through excellent teamwork and education the project was delivered to the Owner on schedule and in time for the start of the fall semester. Phase II of this project was located within the eastern portion of the GCSC campus. The project consisted of the design and reconfiguration of the parking facilities, new traffic patterns, site lighting, landscape/hardscape, pedestrian ways, storm water & drainage systems, and utility relocation.</p>					
d.	(1) TITLE AND LOCATION (City and State) Panama City Beach Sports Park (Panama City Beach, FL)	(2) YEAR COMPLETED <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; border-bottom: 1px solid black; text-align: center;">PROFESSIONAL SERVICES 2018-2019</td> <td style="width: 50%; border-bottom: 1px solid black; text-align: center;">CONSTRUCTION (If applicable) 2019-2020</td> </tr> </table>		PROFESSIONAL SERVICES 2018-2019	CONSTRUCTION (If applicable) 2019-2020
	PROFESSIONAL SERVICES 2018-2019	CONSTRUCTION (If applicable) 2019-2020			
	(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE <div style="border: 1px solid black; padding: 5px;"> <input checked="" type="checkbox"/> Check if project performed with current firm </div>				
<p>Project Manager. This project consists of the design and implementation of a multiphase sports park facility located in Panama City Beach, Florida. Tasks include master planning, design, and permitting for all associated infrastructure (8-12 multi-use athletic fields, commercial amenities/concessions, parking, stormwater, and utilities). This project also includes coordination with multiple entities during the design process to accommodate future designs (FDOT for new signalized intersection, a new K-8 school facility for Bay District Schools, and the St. Joe Company for a future subdivision entrance).</p>					

E. RESUMES OF KEY PERSONNEL PROPOSED FOR THIS CONTRACT

(Complete one Section E for each key person.)

12. NAME Justin Ford, PE	13. ROLE IN THIS CONTRACT Transportation Engineer	14. YEARS EXPERIENCE <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; border-bottom: 1px solid black; text-align: center;">a. TOTAL</td> <td style="width: 50%; border-bottom: 1px solid black; text-align: center;">b. WITH CURRENT FIRM</td> </tr> <tr> <td style="text-align: center;">14</td> <td style="text-align: center;">14</td> </tr> </table>		a. TOTAL	b. WITH CURRENT FIRM	14	14
a. TOTAL	b. WITH CURRENT FIRM						
14	14						
15. FIRM NAME AND LOCATION (City and State) Dewberry Engineers Inc. (Blountstown, FL)							
16. EDUCATION (Degree and Specialization) BS/Civil Engineering		17. CURRENT PROFESSIONAL REGISTRATION (State and Discipline) FL Professional Engineer #74746					
18. OTHER PROFESSIONAL QUALIFICATIONS (Publications, Organizations, Training, Awards, etc.)							

Justin Ford has worked on various types of civil design projects including the design of water and wastewater collection systems, stormwater design, roadway design, sidewalk/pedestrian facility design, preliminary engineering reports, and construction cost estimates. Justin routinely designs municipal roadway projects that receive funds through FDOT programs, including LAP, SCOP, and SCRAP. He also has a vast knowledge of additional funding opportunities, applying and administering federal and state grants for his clients' important projects of varying scope.

19. RELEVANT PROJECTS							
a.	(1) TITLE AND LOCATION (City and State) Gulf to Gadsden Freight Logistic Zone Feasibility Study (Gretna, FL)	(2) YEAR COMPLETED <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; border-bottom: 1px solid black; text-align: center;">PROFESSIONAL SERVICES</td> <td style="width: 50%; border-bottom: 1px solid black; text-align: center;">CONSTRUCTION (If applicable)</td> </tr> <tr> <td style="text-align: center;">2019-2020</td> <td style="text-align: center;">N/A</td> </tr> </table>		PROFESSIONAL SERVICES	CONSTRUCTION (If applicable)	2019-2020	N/A
	PROFESSIONAL SERVICES	CONSTRUCTION (If applicable)					
	2019-2020	N/A					
	(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE <div style="border: 1px solid black; padding: 5px;"> <input checked="" type="checkbox"/> Check if project performed with current firm </div>						
<p>Project Manager. Dewberry is currently performing a feasibility study on the 600 acre property within the City of Gretna that has been designated as a potential site for an Intermodal Logistics Center within the Gulf to Gadsden Freight Logistics Zone. This site will serve as a critical "train to truck to train" transfer station location connecting the expanding Port of Port St. Joe, I-10, and Apalachicola Northern Railroad.</p>							
b.	(1) TITLE AND LOCATION (City and State) Four Star Freightliner (Gadsden County, FL)	(2) YEAR COMPLETED <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; border-bottom: 1px solid black; text-align: center;">PROFESSIONAL SERVICES</td> <td style="width: 50%; border-bottom: 1px solid black; text-align: center;">CONSTRUCTION (If applicable)</td> </tr> <tr> <td style="text-align: center;">2018</td> <td style="text-align: center;">2018</td> </tr> </table>		PROFESSIONAL SERVICES	CONSTRUCTION (If applicable)	2018	2018
	PROFESSIONAL SERVICES	CONSTRUCTION (If applicable)					
	2018	2018					
	(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE <div style="border: 1px solid black; padding: 5px;"> <input checked="" type="checkbox"/> Check if project performed with current firm </div>						
<p>Project Manager. When Four Star Freightliner selected Gadsden County as the location for its new training facility, Dewberry worked with them and the County on site selection across the area. In order to choose the best location, we conducted feasibility studies on numerous sites and considered access to main roadways, utility connections, and existing infrastructure. A major component of this project was the application for the Rural Infrastructure Fund grant, which we completed on behalf of our client, the Gadsden County Board of County Commissioners, acting through its economic development arm, the Gadsden County Development Council. With this funding, we were able to work closely with the county and Four Star Freightliner, creating a public-private-partnership, which benefited all parties involved. With the entirety of the project being funded through the grant, the county gained nearly 2,000 feet of roadway and Four Star Freightliner was granted access to an ideal site. In addition to completing the grant application, we provided site/civil engineering services, including water and sewer utility design, and electrical and roadway engineering and planning.</p>							
c.	(1) TITLE AND LOCATION (City and State) Horse Track Entrance Road (Gretna, FL)	(2) YEAR COMPLETED <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; border-bottom: 1px solid black; text-align: center;">PROFESSIONAL SERVICES</td> <td style="width: 50%; border-bottom: 1px solid black; text-align: center;">CONSTRUCTION (If applicable)</td> </tr> <tr> <td style="text-align: center;">2011</td> <td style="text-align: center;">2012</td> </tr> </table>		PROFESSIONAL SERVICES	CONSTRUCTION (If applicable)	2011	2012
	PROFESSIONAL SERVICES	CONSTRUCTION (If applicable)					
	2011	2012					
	(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE <div style="border: 1px solid black; padding: 5px;"> <input checked="" type="checkbox"/> Check if project performed with current firm </div>						
<p>Project Manager. This project served as the initial catalyst project for the Gretna I-10 interchange. The City of Gretna agreed to design and construct approximately 3,500 LF of roadway to access the new Creek Entertainment Gretna facility. Justin was responsible for the design, permitting and construction oversight of the entrance road. In addition to the roadway, he also designed and permitted the construction of the water and sewer infrastructure along the entrance road necessary to serve the site.</p>							
d.	(1) TITLE AND LOCATION (City and State) Calhoun County Catalyst Site (Calhoun County, FL)	(2) YEAR COMPLETED <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; border-bottom: 1px solid black; text-align: center;">PROFESSIONAL SERVICES</td> <td style="width: 50%; border-bottom: 1px solid black; text-align: center;">CONSTRUCTION (If applicable)</td> </tr> <tr> <td style="text-align: center;">2016-Current</td> <td style="text-align: center;">Ongoing</td> </tr> </table>		PROFESSIONAL SERVICES	CONSTRUCTION (If applicable)	2016-Current	Ongoing
	PROFESSIONAL SERVICES	CONSTRUCTION (If applicable)					
	2016-Current	Ongoing					
	(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE <div style="border: 1px solid black; padding: 5px;"> <input checked="" type="checkbox"/> Check if project performed with current firm </div>						
<p>Project Engineer. Developed the Land Development Requirements Report which prepared the Site Master Plan in accordance with the County's draft Comprehensive Plan and LDR. Prepared a Water Model Overview of the hydraulic water model of the Catalyst Site and Blountstown's water systems. Prepared the Catalyst Site Utility Master Plan Report which identified all the needed improvements to support the development. Staff also developed a stormwater master plan to accommodate the potential runoff from each business lot (4). Our staff also designed the roadway network of the Calhoun Industrial Park with the potential traffic loading considered. Additional phases of waterline improvements are currently ongoing.</p>							

E. RESUMES OF KEY PERSONNEL PROPOSED FOR THIS CONTRACT

(Complete one Section E for each key person.)

12. NAME Joshua Baxley, PE	13. ROLE IN THIS CONTRACT Utilities Engineer	14. YEARS EXPERIENCE	
		a. TOTAL 17	b. WITH CURRENT FIRM 7
15. FIRM NAME AND LOCATION (City and State) Dewberry Engineers Inc. (Tallahassee, FL)			
16. EDUCATION (Degree and Specialization) BS/Civil Engineering		17. CURRENT PROFESSIONAL REGISTRATION (State and Discipline) FL Professional Engineer #67529	

18. OTHER PROFESSIONAL QUALIFICATIONS (Publications, Organizations, Training, Awards, etc.)

Joshua Baxley is responsible for design and management of civil engineering projects. His specialties include including water and wastewater collection systems, stormwater design, sidewalk/pedestrian facility design/build, preliminary engineering reports, and construction project management and estimating.

19. RELEVANT PROJECTS

	(1) TITLE AND LOCATION (City and State)	(2) YEAR COMPLETED	
	Chattahoochee RV Park (Chattahoochee, FL)	PROFESSIONAL SERVICES Ongoing	CONSTRUCTION (If applicable) N/A
a.	(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE <input checked="" type="checkbox"/> Check if project performed with current firm Project Manager. This project included the site design for 22 full “hook up” rv sites. The site design included roadway design, utility design and permitting as well as both wet and dry detention stormwater design and permitting.		
	Busy Bee Expansion (Columbia County, FL)	PROFESSIONAL SERVICES 2018-2019	CONSTRUCTION (If applicable) 2020
b.	(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE <input checked="" type="checkbox"/> Check if project performed with current firm Project Engineer. This project included the expansion of an existing Busy Bee gas station to include more parking and a new dry retention pond to treat the stormwater runoff. The expansion includes the addition of a drive-through for a Burger King Restaurant and 16 new fueling station and corresponding parking for semi-trucks.		
	506 All Saints Street (Tallahassee, FL)	PROFESSIONAL SERVICES 2018	CONSTRUCTION (If applicable) 2019
c.	(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE <input checked="" type="checkbox"/> Check if project performed with current firm Project Engineer. This project was the site design for a small two story recording studio and apartments. The project required much planning and coordination with adjacent property owners and the City of Tallahassee due to its location within the historic All Saints Neighborhood. The site was permitted and constructed with less than 5’ setbacks to adjacent properties and existing retaining walls.		
	St. Hebron Park (Quincy, FL)	PROFESSIONAL SERVICES 2019	CONSTRUCTION (If applicable) 2020
d.	(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE <input checked="" type="checkbox"/> Check if project performed with current firm Project Manager. This project was the site design of a master recreational park in rural Gadsden County. The proposed design included baseball fields, soccer fields, swimming pools, playgrounds, and a gymnasium.		
	Capital City Bank Relocation (Port St. Joe, FL)	PROFESSIONAL SERVICES 2019	CONSTRUCTION (If applicable) 2020
e.	(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE <input checked="" type="checkbox"/> Check if project performed with current firm Project Manager. Following Hurricane Michael, Capital City Bank in Port St. Joe sustained heavy damage to their coastally located building. This project included the site design for banking facility relocation in Port St. Joe. Site design tasks included parking, utility and wet detention stormwater design as well as permitting.		

E. RESUMES OF KEY PERSONNEL PROPOSED FOR THIS CONTRACT

(Complete one Section E for each key person.)

12. NAME Thomas Brannon, EI	13. ROLE IN THIS CONTRACT Stormwater Management	14. YEARS EXPERIENCE	
		a. TOTAL 1	b. WITH CURRENT FIRM 1
15. FIRM NAME AND LOCATION (City and State) Dewberry Engineers Inc. (Tallahassee, FL)			
16. EDUCATION (Degree and Specialization) BS/Civil Engineering		17. CURRENT PROFESSIONAL REGISTRATION (State and Discipline) FL Engineering Intern #1100022541	
18. OTHER PROFESSIONAL QUALIFICATIONS (Publications, Organizations, Training, Awards, etc.)			

Thomas Brannon has 2 years experience in the civil and environmental engineering fields. He has served in a support and design role for numerous site design and stormwater projects. He has additional experience in utility design, traffic engineering, grant writing, and environmental permitting through multiple regulatory agencies.

19. RELEVANT PROJECTS			
a.	(1) TITLE AND LOCATION (City and State) Development Reviews (Gadsden, Wakulla, & Walton County, FL)	(2) YEAR COMPLETED	
		PROFESSIONAL SERVICES Ongoing	CONSTRUCTION (If applicable) Ongoing
	(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE <input checked="" type="checkbox"/> Check if project performed with current firm		
	Graduate Engineer. Each County delegates the review of any proposed development to an Engineering Company. Thomas has served as that delegate and assisted in analyzing each developments construction plans to ensure consistency with each County's Land Development Code and Comprehensive Plan.		
b.	(1) TITLE AND LOCATION (City and State) St. Hebron Park (Quincy, FL)	(2) YEAR COMPLETED	
		PROFESSIONAL SERVICES 2019	CONSTRUCTION (If applicable) 2020
	(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE <input checked="" type="checkbox"/> Check if project performed with current firm		
	Stormwater Designer. This project was the site design of a master recreational park in rural Gadsden County. The proposed design included baseball fields, soccer fields, swimming pools, playgrounds, and a gymnasium. Thomas designed and permitted a stormwater detention pond that served as water quality treatment for the proposed development. The pond will serve as an aesthetic feature within the park with a walking trail around the perimeter.		
c.	(1) TITLE AND LOCATION (City and State) Pat Thomas RV Park (Quincy, FL)	(2) YEAR COMPLETED	
		PROFESSIONAL SERVICES 2019	CONSTRUCTION (If applicable) 2020
	(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE <input checked="" type="checkbox"/> Check if project performed with current firm		
	Stormwater Designer. This project consisted of the design of a RV and fishing camp on the banks of Lake Talquin. The 10 acre park was constructed on the side of a steep hill which presented challenging grading and stormwater issues. The final design included approximately 15 stormwater management features and 20 RV hookups. Thomas provided the design and permitting of each stormwater management feature.		
d.	(1) TITLE AND LOCATION (City and State) Suwannee County Rodeo Arena (Live Oak, FL)	(2) YEAR COMPLETED	
		PROFESSIONAL SERVICES 2019	CONSTRUCTION (If applicable) 2020
	(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE <input checked="" type="checkbox"/> Check if project performed with current firm		
	Stormwater Designer. Suwannee County proposed to expand its existing rodeo arena to twice its original size. The Board of County Commissioners approached Dewberry to design and permit a stormwater management facility to treat all runoff from this proposed expansion without effecting an adjacent flood zone within the property. Thomas designed and permitted a shallow swale and exfiltration system to treat this runoff within a site with water table and size constraints.		
e.	(1) TITLE AND LOCATION (City and State) Sheriff's Office Expansion (Wakulla County, FL)	(2) YEAR COMPLETED	
		PROFESSIONAL SERVICES 2019	CONSTRUCTION (If applicable) 2020
	(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE <input checked="" type="checkbox"/> Check if project performed with current firm		
	Stormwater Designer. This project included the stormwater design and permitting of an existing stormwater management facility within the Wakulla Sheriff's Office Complex. The proposed expansion included three 4,000 sf office spaces, one large 20,000 sf building, and related parking areas. Mr. Brannon designed and permitted a dry retention pond that successfully captured and treated all runoff from the proposed development and other existing structures within the existing 22 acre closed watershed.		

E. RESUMES OF KEY PERSONNEL PROPOSED FOR THIS CONTRACT

(Complete one Section E for each key person.)

12. NAME Kevin Easton, WPIT	13. ROLE IN THIS CONTRACT Environmental Permitting	14. YEARS EXPERIENCE <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; border-right: 1px solid black; text-align: center;">a. TOTAL 7</td> <td style="width: 50%; text-align: center;">b. WITH CURRENT FIRM 2</td> </tr> </table>		a. TOTAL 7	b. WITH CURRENT FIRM 2
a. TOTAL 7	b. WITH CURRENT FIRM 2				
15. FIRM NAME AND LOCATION (City and State) Dewberry Engineers Inc. (Tallahassee, FL)					
16. EDUCATION (Degree and Specialization) BS/Environmental Science	17. CURRENT PROFESSIONAL REGISTRATION (State and Discipline) US Wetland Professional In Training #325646 FL Erosion & Sediment Control Inspector #27881 FL Authorized Gopher Tortoise Agent #GTA-15-00077				
18. OTHER PROFESSIONAL QUALIFICATIONS (Publications, Organizations, Training, Awards, etc.)					

Kevin Easton has over seven years of experience and has provided oversight and assistance in Phase I ESAs, including site reconnaissance, historical review, coordination with federal, state, and local regulatory agencies, and interviews with past owners, current owners and potential buyers of the subject properties. Kevin also has extensive experience and training with ArcGIS. As a GIS Analyst, he conducts a wide variety of analyses and mapping tasks related to habitat assessment and suitability studies. He also has extensive experience with invasive/exotic species identification, mapping and treatment. As a member of the Florida Association of Environmental Professionals and Society of Wetland Scientists, Kevin stays abreast of the regulations and design standards surrounding environmental permitting and compliance.

19. RELEVANT PROJECTS					
a.	(1) TITLE AND LOCATION (City and State) Gulf to Gadsden Freight Logistic Zone Feasibility Study (Gretna, FL)	(2) YEAR COMPLETED <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; border-right: 1px solid black; text-align: center;">PROFESSIONAL SERVICES 2019-2020</td> <td style="width: 50%; text-align: center;">CONSTRUCTION (If applicable) N/A</td> </tr> </table>		PROFESSIONAL SERVICES 2019-2020	CONSTRUCTION (If applicable) N/A
	PROFESSIONAL SERVICES 2019-2020	CONSTRUCTION (If applicable) N/A			
	(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE <input checked="" type="checkbox"/> Check if project performed with current firm				
Environmental Scientist. Dewberry is currently performing a feasibility study on the 600 acre property within the City of Gretna that has been designated as a potential site for an Intermodal Logistics Center within the Gulf to Gadsden Freight Logistics Zone. This site will serve as a critical “train to truck to train” transfer station location connecting the expanding Port of Port St. Joe, I-10, and Apalachicola Northern Railroad. Currently performing wetland delineations across the project site.					
b.	(1) TITLE AND LOCATION (City and State) Summerfield Natural Features Inventory (Tallahassee, FL)	(2) YEAR COMPLETED <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; border-right: 1px solid black; text-align: center;">PROFESSIONAL SERVICES 2017-2018</td> <td style="width: 50%; text-align: center;">CONSTRUCTION (If applicable) N/A</td> </tr> </table>		PROFESSIONAL SERVICES 2017-2018	CONSTRUCTION (If applicable) N/A
	PROFESSIONAL SERVICES 2017-2018	CONSTRUCTION (If applicable) N/A			
	(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE <input checked="" type="checkbox"/> Check if project performed with current firm				
Environmental Scientist. Kevin conducted a Natural Features Inventory (NFI) on a 60 acre lot prior to site plan development for a single family subdivision. The NFI included a tree survey, a wetland delineation, a threatened and endangered species survey, and an inventory of all environmental features regulated by the local county agency. Every feature was digitized and mapped using ArcGIS and provided to the county as an aerial image overlay.					
c.	(1) TITLE AND LOCATION (City and State) Pat Thomas RV Park (Quincy, FL)	(2) YEAR COMPLETED <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; border-right: 1px solid black; text-align: center;">PROFESSIONAL SERVICES 2019</td> <td style="width: 50%; text-align: center;">CONSTRUCTION (If applicable) 2020</td> </tr> </table>		PROFESSIONAL SERVICES 2019	CONSTRUCTION (If applicable) 2020
	PROFESSIONAL SERVICES 2019	CONSTRUCTION (If applicable) 2020			
	(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE <input checked="" type="checkbox"/> Check if project performed with current firm				
Environmental Scientist. This project consisted of the design of a RV and fishing camp on the banks of Lake Talquin. The 10 acre park was constructed on the side of a steep hill which presented challenging grading and stormwater issues. The final design included approximately 15 stormwater management features and 20 RV hookups. Kevin provided environmental investigations and permitting for the project.					
d.	(1) TITLE AND LOCATION (City and State) College Station Master Plan (Panama City, FL)	(2) YEAR COMPLETED <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; border-right: 1px solid black; text-align: center;">PROFESSIONAL SERVICES Ongoing</td> <td style="width: 50%; text-align: center;">CONSTRUCTION (If applicable) N/A</td> </tr> </table>		PROFESSIONAL SERVICES Ongoing	CONSTRUCTION (If applicable) N/A
	PROFESSIONAL SERVICES Ongoing	CONSTRUCTION (If applicable) N/A			
	(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE <input checked="" type="checkbox"/> Check if project performed with current firm				
Environmental Scientist. College Station is a multi-phase 401.5 acre residential development in Bay County, Florida. Environmental services were rendered under an engineering design contract, which included completion of Environmental Assessments, wetland delineations, listed species surveys, and permitting consultation. The project involved coordination with various agencies on listed species and potential habitat where feasible, such as the Panama City Crayfish and the gopher tortoise, with the intent on avoiding impacts to species and habitat. A relocation permit was obtained by Dewberry to relocate gopher tortoises surveyed within the project location. Wetland delineations were conducted in phases with the intent on avoiding impacts to resources. In many cases, the wetland delineation proved challenging due to impacts from silviculture and Hurricane Michael. Atypical methodologies were employed and coordinated with regulatory agencies, which involved use of various data resources, survey information, aerial imagery and reference sites. Earlier phases of the project are currently permitted and under construction. Future phases of the project are currently in the planning a design stage.					

E. RESUMES OF KEY PERSONNEL PROPOSED FOR THIS CONTRACT

(Complete one Section E for each key person.)

12. NAME Jonathan Gibson, PSM	13. ROLE IN THIS CONTRACT Survey Project Manager	14. YEARS EXPERIENCE <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; border-bottom: 1px solid black; text-align: center;">a. TOTAL 14</td> <td style="width: 50%; border-bottom: 1px solid black; text-align: center;">b. WITH CURRENT FIRM 1</td> </tr> </table>		a. TOTAL 14	b. WITH CURRENT FIRM 1
a. TOTAL 14	b. WITH CURRENT FIRM 1				
15. FIRM NAME AND LOCATION (City and State) Dewberry Engineers Inc. (Panama City, FL)					
16. EDUCATION (Degree and Specialization) BS/Geomatics		17. CURRENT PROFESSIONAL REGISTRATION (State and Discipline) FL Professional Surveyor #LS6851			
18. OTHER PROFESSIONAL QUALIFICATIONS (Publications, Organizations, Training, Awards, etc.)					

Jonathan Gibson has extensive experience in all aspects of land surveying, including commercial and residential development projects as well as specific purpose and construction layout services. He has experience in providing certified ALTA/ACSM surveys which include review of title work and land use and zoning documents. He has also provided professional services for governmental, administrative, and residential sites, including being the Surveyor of Record for the City of Panama City Beach new administration building site.

19. RELEVANT PROJECTS					
a.	(1) TITLE AND LOCATION (City and State) Harbour Green Apartments (Panama City Beach, FL)	(2) YEAR COMPLETED <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; border-bottom: 1px solid black; text-align: center;">PROFESSIONAL SERVICES 2018</td> <td style="width: 50%; border-bottom: 1px solid black; text-align: center;">CONSTRUCTION (If applicable) N/A</td> </tr> </table>		PROFESSIONAL SERVICES 2018	CONSTRUCTION (If applicable) N/A
	PROFESSIONAL SERVICES 2018	CONSTRUCTION (If applicable) N/A			
	(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE Project Surveyor. Harbour Green Apartments is a 26 building multi-family apartment complex on approximately 19.5 acres located at 7120 Patronis Drive, Panama City Beach, Florida. Mr. Gibson served as lead Professional Land Surveyor for an ATLA/ACSM survey.				
<input type="checkbox"/> Check if project performed with current firm					
b.	(1) TITLE AND LOCATION (City and State) TDC New Visitor Center and Administration Office Expansion (Walton County, FL)	(2) YEAR COMPLETED <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; border-bottom: 1px solid black; text-align: center;">PROFESSIONAL SERVICES 2019</td> <td style="width: 50%; border-bottom: 1px solid black; text-align: center;">CONSTRUCTION (If applicable) 2020</td> </tr> </table>		PROFESSIONAL SERVICES 2019	CONSTRUCTION (If applicable) 2020
	PROFESSIONAL SERVICES 2019	CONSTRUCTION (If applicable) 2020			
	(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE Project Surveyor. Dewberry's A/E team was selected to provide the following services in support of updating and constructing a combination TDC visitor center and administrative office for the Walton County BOCC: review and provide assessment of the property (land and existing building), determination of constructability in compliance with the Walton County Land Development Code (LDC) and user needs, development of user program, development of conceptual plan, development of construction documents, Development Order permitting, federal/state regulatory permitting, bid support services, and construction administration services. Our team is responsible for project management, design, civil engineering, and construction inspection.				
<input checked="" type="checkbox"/> Check if project performed with current firm					
c.	(1) TITLE AND LOCATION (City and State) Breakfast Point Multiphased Development (Panama City Beach, FL)	(2) YEAR COMPLETED <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; border-bottom: 1px solid black; text-align: center;">PROFESSIONAL SERVICES Ongoing</td> <td style="width: 50%; border-bottom: 1px solid black; text-align: center;">CONSTRUCTION (If applicable) Ongoing</td> </tr> </table>		PROFESSIONAL SERVICES Ongoing	CONSTRUCTION (If applicable) Ongoing
	PROFESSIONAL SERVICES Ongoing	CONSTRUCTION (If applicable) Ongoing			
	(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE Project Surveyor. Breakfast Point is a newly developed residential neighborhood of the quickly expanding city of Panama City Beach, Florida. Our work includes planning assistance, project management, engineering design, coordination meetings, permitting, and construction phase services.				
<input checked="" type="checkbox"/> Check if project performed with current firm					
d.	(1) TITLE AND LOCATION (City and State) Gulf Coast State College Campus Improvements (Panama City, FL)	(2) YEAR COMPLETED <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; border-bottom: 1px solid black; text-align: center;">PROFESSIONAL SERVICES Ongoing</td> <td style="width: 50%; border-bottom: 1px solid black; text-align: center;">CONSTRUCTION (If applicable) Ongoing</td> </tr> </table>		PROFESSIONAL SERVICES Ongoing	CONSTRUCTION (If applicable) Ongoing
	PROFESSIONAL SERVICES Ongoing	CONSTRUCTION (If applicable) Ongoing			
	(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE Project Surveyor. Phase I of this project was located within the southern portion of the Gulf Coast State College (GCSC) campus and was necessary due to the FDOT acquiring additional right of way from the College to allow for the construction of the 23rd Street Flyover project. The project consisted of the design and reconfiguration of the parking lot, site lighting, landscape/hardscape, pedestrian ways, drainage systems, and utility relocation. Through excellent teamwork and education the project was delivered to the Owner on schedule and in time for the start of the fall semester. Phase II of this project was located within the eastern portion of the GCSC campus. The project consisted of the design and reconfiguration of the parking facilities, new traffic patterns, site lighting, landscape/hardscape, pedestrian ways, storm water & drainage systems, and utility relocation.				
<input checked="" type="checkbox"/> Check if project performed with current firm					

E. RESUMES OF KEY PERSONNEL PROPOSED FOR THIS CONTRACT

(Complete one Section E for each key person.)

12. NAME	13. ROLE IN THIS CONTRACT	14. YEARS EXPERIENCE	
Randall Jernigan	CADD Technician	a. TOTAL	b. WITH CURRENT FIRM
		11	3

15. FIRM NAME AND LOCATION (City and State) Dewberry Engineers Inc. (Tallahassee, FL)

16. EDUCATION (Degree and Specialization) AS/Civil Engineering Technology; AS/Drafting and Design Technology	17. CURRENT PROFESSIONAL REGISTRATION (State and Discipline)
-----------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------

18. OTHER PROFESSIONAL QUALIFICATIONS (Publications, Organizations, Training, Awards, etc.)

Randall Jernigan holds over 11 years of CADD design experience. His ability to utilize Microsoft Office products, Autodesk Civil 3D, Transoft solutions Autoturn, Google Earth Pro, Adobe Acrobat, and Bluebeam Revu to produce a product meets our clients' needs. Mr. Jernigan has been responsible for production of the following type of projects; roadway resurfacing, roadway design, underground utility design/replacement, site development, subdivision development, military force protection, boat ramps, storm sewer design/replacement, and FDOT access cure plans.

19. RELEVANT PROJECTS				
a.	(1) TITLE AND LOCATION <i>(City and State)</i> LDR5 Phase III at Southwood (Tallahassee, FL)		(2) YEAR COMPLETED	
			PROFESSIONAL SERVICES Ongoing	CONSTRUCTION <i>(If applicable)</i> N/A
	(3) BRIEF DESCRIPTION <i>(Brief scope, size, cost, etc.)</i> AND SPECIFIC ROLE		<input checked="" type="checkbox"/> Check if project performed with current firm	
	CADD Technician. This project is located in the Southwood PUD and is in the LDR section. The project task is to divide 55 lots for a subdivision development situated in a PUD section with extreme grades. This project connects to Phase II of the LDR5 and backs up to Orange Avenue. Work for the project includes water, sewer and conveyance design. Coordination between Southwood and the City of Tallahassee (electric and public works) was performed.			
b.	(1) TITLE AND LOCATION <i>(City and State)</i> Alphi Phi Sorority House (Tallahassee, FL)		(2) YEAR COMPLETED	
			PROFESSIONAL SERVICES 2017	CONSTRUCTION <i>(If applicable)</i> 2018
	(3) BRIEF DESCRIPTION <i>(Brief scope, size, cost, etc.)</i> AND SPECIFIC ROLE		<input checked="" type="checkbox"/> Check if project performed with current firm	
	CADD Technician. Dewberry was the Engineer of Record for this three story 18,569 square foot, \$3.1 million sorority house in the Central Core of the City of Tallahassee Multi Modal Transportation District. The project design included re-zoning of the project parcel, use of a Regional Stormwater Management Facility, a utility letter of agreement for a water main upgrade and associated asphalt and pervious parking and water, sewer and gas utilities. Stormwater Level of Service calculations were completed to verify capacity of the existing stormwater conveyance system in the right-of-way. Project permitting included City of Tallahassee site plan approval and Environmental Management Permit and NFWFMD 10-2 General Permit.			
c.	(1) TITLE AND LOCATION <i>(City and State)</i> Busy Bee Expansion (Columbia County, FL)		(2) YEAR COMPLETED	
			PROFESSIONAL SERVICES 2018-2019	CONSTRUCTION <i>(If applicable)</i> 2020
	(3) BRIEF DESCRIPTION <i>(Brief scope, size, cost, etc.)</i> AND SPECIFIC ROLE		<input checked="" type="checkbox"/> Check if project performed with current firm	
	Project Engineer. This project included the expansion of an existing Busy Bee gas station to include more parking and a new dry retention pond to treat the stormwater runoff. The expansion includes the addition of a drive-through for a Burger King Restaurant and 16 new fueling station and corresponding parking for semi-trucks.			
d.	(1) TITLE AND LOCATION <i>(City and State)</i> St. Hebron Park (Quincy, FL)		(2) YEAR COMPLETED	
			PROFESSIONAL SERVICES 2019	CONSTRUCTION <i>(If applicable)</i> 2020
	(3) BRIEF DESCRIPTION <i>(Brief scope, size, cost, etc.)</i> AND SPECIFIC ROLE		<input checked="" type="checkbox"/> Check if project performed with current firm	
	CADD Technician. This project was the site design of a master recreational park in rural Gadsden County. The proposed design included baseball fields, soccer fields, swimming pools, playgrounds, and a gymnasium. Thomas designed and permitted a stormwater detention pond that served as water quality treatment for the proposed development. The pond will serve as an aesthetic feature within the park with a walking trail around the perimeter.			

E. RESUMES OF KEY PERSONNEL PROPOSED FOR THIS CONTRACT

(Complete one Section E for each key person.)

12. NAME Michael Urchuk, RLA	13. ROLE IN THIS CONTRACT Senior Landscape Architect	14. YEARS EXPERIENCE	
		a. TOTAL 29	b. WITH CURRENT FIRM 3
15. FIRM NAME AND LOCATION (City and State) Dewberry Engineers Inc. (Orlando, FL)			
16. EDUCATION (Degree and Specialization) BS/Landscape Architecture		17. CURRENT PROFESSIONAL REGISTRATION (State and Discipline) FL Registered Landscape Architect #LA6666675	
18. OTHER PROFESSIONAL QUALIFICATIONS (Publications, Organizations, Training, Awards, etc.)			

Michael Urchuk, Senior Landscape Architect, has 29 years of experience and has a varied background in landscape architecture and planning. As a project manager, he is responsible for coordination across design disciplines and acts as a liaison between the owner, design team and contractor. He is also responsible for coordinating design efforts and project submittals. Michael's experience as a landscape architect includes retail office, residential, mixed-use, streetscapes and recreational uses as well as hardscape and irrigation design. Hardscape designs include corporate plazas, streetscapes, fountains, amenity areas for multi-family projects, and urban plazas. Michael also provides construction administration services on multiple levels to include, shop drawing and RFI review, field reports, final punch lists, and on-site project coordination meeting.

19. RELEVANT PROJECTS			
a.	(1) TITLE AND LOCATION (City and State) Live Oak Lake CDD (Twin Lakes Development) (Osceola County, FL)	(2) YEAR COMPLETED	
		PROFESSIONAL SERVICES Ongoing	CONSTRUCTION (If applicable) N/A
		<input checked="" type="checkbox"/> Check if project performed with current firm	
	(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE Landscape Architect. Live Oak Lake CDD (Twin Lakes Development) is a multi-phased active adult community consisting of residential units, green open space tracts with community facilities, and a community amenity center located just off of Live Oak Lake. Phases 1 – 8 consists of a mix of 50', 70' and duplex units totaling 2,023 units. Dewberry's services include entitlements, planning, surveying, site/civil engineering, roadway design, bridge design, signal design, environmental/permitting, landscape/hardscape design, assistance with the City master upsizing agreements, and construction administration.		
b.	(1) TITLE AND LOCATION (City and State) VillaSol CDD (Osceola County, FL)	(2) YEAR COMPLETED	
		PROFESSIONAL SERVICES Ongoing	CONSTRUCTION (If applicable) N/A
		<input checked="" type="checkbox"/> Check if project performed with current firm	
	(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE Landscape Architect. As District Engineer, Dewberry's services include stormwater management system design; water and sewer system design, roadway design, landscaping, recreational facilities, street lighting, and engineering contract management and inspection services during construction.		
c.	(1) TITLE AND LOCATION (City and State) Osceola County Fire Training Facility (Osceola County, FL)	(2) YEAR COMPLETED	
		PROFESSIONAL SERVICES 2019	CONSTRUCTION (If applicable) 2019
		<input checked="" type="checkbox"/> Check if project performed with current firm	
	(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE Landscape Architect. Design of a training facility for the Osceola County fire department. This new Fire Training Facility is on approximately 11 acres. Site elements will include Open Air Training Course, a 9,500 SF fire station with 3 fire bays, Fire station Training Building, Burn Tower and Several Shaded Pavilions.		
d.	(1) TITLE AND LOCATION (City and State) Lancaster Park East (St. Cloud, FL)	(2) YEAR COMPLETED	
		PROFESSIONAL SERVICES Ongoing	CONSTRUCTION (If applicable) N/A
		<input checked="" type="checkbox"/> Check if project performed with current firm	
	(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE Landscape Architect. This project consists of 461 single family units and community facilities. Dewberry was tasked with designing and permitting the site layout, stormwater management facilities, utilities, grading, drainage, easement vacations, FEMA CLOMR and LOMR approvals. Dewberry provided planning and entitlements, landscape/hardscape design, site/civil engineering, and construction administration.		
e.	(1) TITLE AND LOCATION (City and State) Roadway Operations Facility (CFX)	(2) YEAR COMPLETED	
		PROFESSIONAL SERVICES Ongoing	CONSTRUCTION (If applicable) N/A
		<input checked="" type="checkbox"/> Check if project performed with current firm	
	(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE Landscape Architect. As the General Engineering Consultant to CFX, Dewberry provided both architectural and civil engineering services for the CFX Roadway Operations Facility. The new facility includes a 6,500 SF office building, fueling station, small vehicle maintenance bays, warehouse, three enclosed storage buildings totaling 23,000 SF, and laydown yard.		

E. RESUMES OF KEY PERSONNEL PROPOSED FOR THIS CONTRACT

(Complete one Section E for each key person.)

12. NAME Sarah Maier	13. ROLE IN THIS CONTRACT GIS Technician/Planner	14. YEARS EXPERIENCE	
		a. TOTAL 16	b. WITH CURRENT FIRM 14
15. FIRM NAME AND LOCATION (City and State) Dewberry Engineers Inc. (Orlando, FL)			
16. EDUCATION (Degree and Specialization) BS/Engineering		17. CURRENT PROFESSIONAL REGISTRATION (State and Discipline) n/a	
18. OTHER PROFESSIONAL QUALIFICATIONS (Publications, Organizations, Training, Awards, etc.)			

Sarah Maier, Land Use Planner at Dewberry, has experience in development entitlements for a variety of land uses and project sizes, including Developments of Regional Impact, Comprehensive Policy Plan Amendments, Zonings, Planned Developments, and Conceptual Land Use Planning. Sarah's responsibilities have ranged from Policy and Code amendments, GIS analyses as it pertains to land use planning and growth forecasting, and includes projects involving commercial, industrial, residential and mixed uses.

19. RELEVANT PROJECTS			
a.	(1) TITLE AND LOCATION (City and State) Live Oak Lake CDD (Twin Lakes Development) (Osceola County, FL)	(2) YEAR COMPLETED	
		PROFESSIONAL SERVICES Ongoing	CONSTRUCTION (If applicable) Ongoing
	(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE <input checked="" type="checkbox"/> Check if project performed with current firm		
	Project Planner/GIS Technician. Live Oak Lake CDD (Twin Lakes Development) is a multi-phased active adult community consisting of residential units, green open space tracts with community facilities, and a community amenity center located just off of Live Oak Lake. Phases 1 – 8 consists of a mix of 50', 70' and duplex units totaling 2,023 units. Dewberry's services include entitlements, planning, surveying, site/civil engineering, roadway design, bridge design, signal design, environmental/permitting, landscape/hardscape design, assistance with the City master upsizing agreements, and construction administration.		
b.	(1) TITLE AND LOCATION (City and State) Dowden West CDD (Orlando, FL)	(2) YEAR COMPLETED	
		PROFESSIONAL SERVICES Ongoing	CONSTRUCTION (If applicable) N/A
	(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE <input checked="" type="checkbox"/> Check if project performed with current firm		
	Project Planner/GIS Technician. Dowden West is a 736-acre master planned, residential community, consisting of 1,446 residential units and divided into 10 villages. As District Engineer, our services include water distribution, sanitary sewer collection, and reuse water distribution systems, stormwater management, environmental/permitting, landscape architecture, roadway improvements, and survey.		
c.	(1) TITLE AND LOCATION (City and State) Cascades at Groveland PUD/CDD (Groveland, FL)	(2) YEAR COMPLETED	
		PROFESSIONAL SERVICES Ongoing	CONSTRUCTION (If applicable) N/A
	(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE <input checked="" type="checkbox"/> Check if project performed with current firm		
	GIS Technician. Cascades at Groveland is a 751.9-acre master planned, residential community with 999 single-family units, an Amenity Center and a Horticultural Center. Dewberry obtained entitlements and approvals for the infrastructure, mass grading and the final construction of the project which is divided in 5 phases. We also worked with Lake County by designing and coordinating the approval of the North-South Road to serve as a main connector road for the area. Work also included the design and permitting of both the water line to service the project and the sewer force main for connection to the City facilities.		
d.	(1) TITLE AND LOCATION (City and State) Country Greens CDD (Sorrento Springs PD) (Sorrento, FL)	(2) YEAR COMPLETED	
		PROFESSIONAL SERVICES Ongoing	CONSTRUCTION (If applicable) N/A
	(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE <input checked="" type="checkbox"/> Check if project performed with current firm		
	GIS Technician. Sorrento Springs is a 680-acre Planned Development within the Country Greens CDD, in Sorrento, Lake County, Florida. Developed by Hewitt Properties, Inc., the project contained 678 single-family lots, and an 18-hole golf course and clubhouse facilities. The Country Greens CDD encompasses the entire 680 acres, and will construct, operate and maintain infrastructure to support the Sorrento Hills community. Our firm provided the Master Planning for the community which included the development of all "green areas" tied to the golf course and clubhouse. We developed a Community Park area that provided the entire Village a pool area and rustic style centered community building. As the CDD Engineer, our services included engineering, planning, surveying, permitting, landscape architecture, owner coordination with City of Eustis and Lake County, and approval of all development and construction activities.		

E. RESUMES OF KEY PERSONNEL PROPOSED FOR THIS CONTRACT

(Complete one Section E for each key person.)

12. NAME Keith Whitfield	13. ROLE IN THIS CONTRACT Inspector	14. YEARS EXPERIENCE <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; border-bottom: 1px solid black;">a. TOTAL</td> <td style="width: 50%; border-bottom: 1px solid black;">b. WITH CURRENT FIRM</td> </tr> <tr> <td style="text-align: center;">10</td> <td style="text-align: center;">7</td> </tr> </table>		a. TOTAL	b. WITH CURRENT FIRM	10	7
a. TOTAL	b. WITH CURRENT FIRM						
10	7						
15. FIRM NAME AND LOCATION (City and State) Dewberry Engineers Inc. (Blountstown, FL)							
16. EDUCATION (Degree and Specialization)		17. CURRENT PROFESSIONAL REGISTRATION (State and Discipline)					
18. OTHER PROFESSIONAL QUALIFICATIONS (Publications, Organizations, Training, Awards, etc.)							

Keith Whitfield is responsible for conducting inspections on various types of civil construction projects. These projects include water distribution/pumping facilities, wastewater collection systems, treatment plants, stormwater systems, extensive dredge and fill projects, boat ramps, pipe placement, road resurfacing, and new road construction. Keith currently holds multiple certificates recognized by FDOT, including Asphalt Paving Technician Level 1 & 2; Asphalt Plant Technician Level 1 & 2; Earthwork Construction Inspection Level 1 & 2; Final Estimates Level 1 & 2; QC Manager; and Nuclear Safety.

19. RELEVANT PROJECTS							
a.	(1) TITLE AND LOCATION (City and State) Beth Page Road (Jefferson County, FL)	(2) YEAR COMPLETED <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; border-bottom: 1px solid black;">PROFESSIONAL SERVICES</td> <td style="width: 50%; border-bottom: 1px solid black;">CONSTRUCTION (If applicable)</td> </tr> <tr> <td style="text-align: center;">2017</td> <td style="text-align: center;">2017</td> </tr> </table>		PROFESSIONAL SERVICES	CONSTRUCTION (If applicable)	2017	2017
	PROFESSIONAL SERVICES	CONSTRUCTION (If applicable)					
	2017	2017					
(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE Inspector. This project consisted of 1.3 miles of resurfacing from SR 59 to CR 259. Replacement of side drains were constructed and some of the cross drains were extended along with new end treatments. The striping along the roadway was replaced. In addition, the signage along the roadway was also replaced.							
<input checked="" type="checkbox"/> Check if project performed with current firm							
b.	(1) TITLE AND LOCATION (City and State) 169th/167th/Catalyst Site Connector Road (Suwannee County, FL)	(2) YEAR COMPLETED <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; border-bottom: 1px solid black;">PROFESSIONAL SERVICES</td> <td style="width: 50%; border-bottom: 1px solid black;">CONSTRUCTION (If applicable)</td> </tr> <tr> <td style="text-align: center;">2016</td> <td style="text-align: center;">2016</td> </tr> </table>		PROFESSIONAL SERVICES	CONSTRUCTION (If applicable)	2016	2016
	PROFESSIONAL SERVICES	CONSTRUCTION (If applicable)					
	2016	2016					
(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE Inspector. This construction contract administration and construction engineering inspection project extended the 169th Road improvement northward 1.9 miles from the north end of Phase I on 169th to County Road 132, including 167th Road. The project included the widening and resurfacing an 18' wide roadway to a 24' paved roadway.							
<input checked="" type="checkbox"/> Check if project performed with current firm							
c.	(1) TITLE AND LOCATION (City and State) Freeman Road Resurfacing (Jefferson County, FL)	(2) YEAR COMPLETED <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; border-bottom: 1px solid black;">PROFESSIONAL SERVICES</td> <td style="width: 50%; border-bottom: 1px solid black;">CONSTRUCTION (If applicable)</td> </tr> <tr> <td style="text-align: center;">2017</td> <td style="text-align: center;">2017</td> </tr> </table>		PROFESSIONAL SERVICES	CONSTRUCTION (If applicable)	2017	2017
	PROFESSIONAL SERVICES	CONSTRUCTION (If applicable)					
	2017	2017					
(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE Inspector. This project consisted of 2.4 miles of resurfacing from CR 259 to SR 57. Replacement of cross drains along with new end treatments were constructed. The striping along the roadway was replaced. In addition, the signage along the roadway was improved by replacing most of the signs.							
<input checked="" type="checkbox"/> Check if project performed with current firm							
d.	(1) TITLE AND LOCATION (City and State) Wakulla & Magnolia Gardens Septic to Sewer (Wakulla County, FL)	(2) YEAR COMPLETED <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; border-bottom: 1px solid black;">PROFESSIONAL SERVICES</td> <td style="width: 50%; border-bottom: 1px solid black;">CONSTRUCTION (If applicable)</td> </tr> <tr> <td style="text-align: center;">Ongoing</td> <td style="text-align: center;">Ongoing</td> </tr> </table>		PROFESSIONAL SERVICES	CONSTRUCTION (If applicable)	Ongoing	Ongoing
	PROFESSIONAL SERVICES	CONSTRUCTION (If applicable)					
	Ongoing	Ongoing					
(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE Inspector. This \$12 million combination project consisted of approximately 20,000 LF of forcemain, 28,000 LF of gravity sewer to the Wakulla Gardens and Magnolia Gardens neighborhoods of Wakulla County. Keith inspected the work of connecting the 300 homes and septic tanks abandonments, road work, ditches and paving. Keith observed the installation of forcemain, gravity sewer, home connections and septic tank abandonments were completed in accordance with plans and specifications. He was also responsible for documenting all abandonments for records with County Health Department.							
<input checked="" type="checkbox"/> Check if project performed with current firm							
e.	(1) TITLE AND LOCATION (City and State) Development Field Inspections (Wakulla County, FL)	(2) YEAR COMPLETED <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; border-bottom: 1px solid black;">PROFESSIONAL SERVICES</td> <td style="width: 50%; border-bottom: 1px solid black;">CONSTRUCTION (If applicable)</td> </tr> <tr> <td style="text-align: center;">Ongoing</td> <td style="text-align: center;">N/A</td> </tr> </table>		PROFESSIONAL SERVICES	CONSTRUCTION (If applicable)	Ongoing	N/A
	PROFESSIONAL SERVICES	CONSTRUCTION (If applicable)					
	Ongoing	N/A					
(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE Inspector. Each County delegates the review of any proposed development to an engineering company. Keith assisted in analyzing development construction plans to ensure consistency with the County's Land Development Code and Comprehensive Plan.							
<input checked="" type="checkbox"/> Check if project performed with current firm							

F. EXAMPLE PROJECTS WHICH BEST ILLUSTRATE PROPOSED TEAM'S QUALIFICATIONS FOR THIS CONTRACT
(Present as many projects as requested by the agency, or 10 projects, if not specified. Complete one Section F for each project.)

20. EXAMPLE PROJECT KEY NUMBER

#1

21. TITLE AND LOCATION (City and State)

Dowden West CDD (Orlando, FL)

22. YEAR COMPLETED

PROFESSIONAL SERVICES

Ongoing

CONSTRUCTION (If applicable)

N/A

23. PROJECT OWNER'S INFORMATION

a. PROJECT OWNER

Government Management Services

b. POINT OF CONTACT NAME

George Flint

c. POINT OF CONTACT TELEPHONE NUMBER

407.841.5524

24. BRIEF DESCRIPTION OF PROJECT AND RELEVANCE TO THIS CONTRACT (Include scope, size, and cost)



Dowden West is a 736.28-acre master planned, residential community with 1,446 residential units located in the City of Orlando. The Development is ten (10) villages within the approved Planned Development for Starwood, which encompasses approximately 2,558 acres and is entitled for 4,400 residential units.

As District Engineer, we have been responsible for providing the master utility design for the water, sewer, and reuse systems; in addition to, master stormwater modeling for an approximately 6,500-acre watershed that the Dowden West CDD is located in for both stormwater management design and FEMA floodplain determination.

Other services include providing landscape architecture design for the common open spaces and community parks, the design of community roads, that also include the extension of the four (4) lane Dowden Road through the community, and boundary surveys, topographic surveys, tree surveys, and other additional surveys as needed.

- **COST** \$500,000 (Consultant Fees to Date)

- **SERVICES**

- Boundary Surveys
- Environmental/Permitting
- Landscape Architecture
- Roadway Design/Improvements
- Stormwater Management
- Topographic Surveys
- Tree Surveys
- Utility Design

25. FIRMS FROM SECTION C INVOLVED WITH THIS PROJECT

a.	(1) FIRM NAME	(2) FIRM LOCATION (City and State)	(3) ROLE
	Dewberry Engineers Inc.	Orlando, FL	District Engineer

F. EXAMPLE PROJECTS WHICH BEST ILLUSTRATE PROPOSED TEAM'S QUALIFICATIONS FOR THIS CONTRACT
(Present as many projects as requested by the agency, or 10 projects, if not specified. Complete one Section F for each project.)

20. EXAMPLE PROJECT KEY NUMBER

#2

21. TITLE AND LOCATION *(City and State)*

Capital Place at Southwood (Tallahassee, FL)

22. YEAR COMPLETED

PROFESSIONAL SERVICES
2011

CONSTRUCTION *(If applicable)*
2014

23. PROJECT OWNER'S INFORMATION

a. PROJECT OWNER

Two Capital Partners, LLC

b. POINT OF CONTACT NAME

Wesley G. Taubel

c. POINT OF CONTACT TELEPHONE NUMBER

404.926.1538

24. BRIEF DESCRIPTION OF PROJECT AND RELEVANCE TO THIS CONTRACT *(Include scope, size, and cost)*



- **COST** \$15,000,000 (owner's construction budget)
- **SERVICES**
 - Cost Estimates
 - Planning
 - Reports and Plans
 - Surveying Designs
 - Water Management Systems and Facilities
 - Water and Sewer Systems
 - Roadway Design
 - Construction Administration

Capital Place at Southwood is located in the southeast section Tallahassee Florida. It is located just east of Capital Circle Southeast and North of Orange Avenue. This project involved the construction of a 216 unit multi-family residential development with associated parking and landscaping.

This Capital Place project was a part of a larger, master plan for the Southwood community. As a result, the stormwater pond was designed for additional sites to be added later and the location was chosen accordingly.

This project required permits with the City of Tallahassee, and FDOT. This project had constraints that included a 90-inch patriarch tree that had to be avoided and a sewer line that ran through the site. The site was laid out keeping these features in mind while trying to grade a site that had over 50 feet of elevation difference.

Our designs met the client's site requirements by grading and including retaining walls throughout. Although above average rainfall occurred during construction, the project was successfully constructed and closed out.

25. FIRMS FROM SECTION C INVOLVED WITH THIS PROJECT

a.	(1) FIRM NAME	(2) FIRM LOCATION <i>(City and State)</i>	(3) ROLE
	Dewberry Engineers Inc.	Tallahassee, FL	Primary Engineer

F. EXAMPLE PROJECTS WHICH BEST ILLUSTRATE PROPOSED TEAM'S QUALIFICATIONS FOR THIS CONTRACT
(Present as many projects as requested by the agency, or 10 projects, if not specified. Complete one Section F for each project.)

20. EXAMPLE PROJECT KEY NUMBER

#3

21. TITLE AND LOCATION *(City and State)*

Cascades at Groveland CDD (Groveland, FL)

22. YEAR COMPLETED

PROFESSIONAL SERVICES

Ongoing

CONSTRUCTION *(If applicable)*

Ongoing

23. PROJECT OWNER'S INFORMATION

a. PROJECT OWNER

Rizetta & Company, Inc.

b. POINT OF CONTACT NAME

Anthony Jeancola

c. POINT OF CONTACT TELEPHONE NUMBER

407.472.2471

24. BRIEF DESCRIPTION OF PROJECT AND RELEVANCE TO THIS CONTRACT *(Include scope, size, and cost)*



Cascades at Groveland is a 751.9-acre master planned, residential community located in Lake County. The Development is approved as a planned development for 999 single-family units, an Amenity/Recreational Center, approximately 31 acres of commercial development and a North-South Infrastructure Road (Wilson Lake Parkway).

Dewberry provided services that obtained entitlements and approvals for the infrastructure, mass grading and the final construction of the project which is divided into 5 phases. We also worked with Lake County by designing and coordinating the approval of the North-South Road (Wilson Lake Parkway) to serve as a main connector road for the area. We assisted the project architects in the final site design of the Club House/Community Center and Recreational Facilities.

Additional work included the necessary improvements on US 27 for the main entrance road, the extensive design and permitting of both the water line to service the project and the sewer force main for connection of the sewer system to the City of Groveland facilities.

- **COST** \$350,000 (Consultant Fees to Date)
- **SERVICES**
 - Civil Engineering
 - Construction Estimates and Administration
 - Coordination of Environmental Jurisdictional Lines and Permitting
 - Due Diligence
 - Permitting
 - Planning
 - Surveying

25. FIRMS FROM SECTION C INVOLVED WITH THIS PROJECT

a.	(1) FIRM NAME	(2) FIRM LOCATION <i>(City and State)</i>	(3) ROLE
	Dewberry Engineers Inc.	Orlando, FL	District Engineer

F. EXAMPLE PROJECTS WHICH BEST ILLUSTRATE PROPOSED TEAM'S QUALIFICATIONS FOR THIS CONTRACT
(Present as many projects as requested by the agency, or 10 projects, if not specified. Complete one Section F for each project.)

20. EXAMPLE PROJECT KEY NUMBER

#4

21. TITLE AND LOCATION *(City and State)*

Montecito CDD (Satellite Beach, FL)

22. YEAR COMPLETED

PROFESSIONAL SERVICES

Ongoing

CONSTRUCTION *(If applicable)*

Ongoing

23. PROJECT OWNER'S INFORMATION

a. PROJECT OWNER

Government Management Services

b. POINT OF CONTACT NAME

Jason Showe

c. POINT OF CONTACT TELEPHONE NUMBER

407.841.5524 ext 104

24. BRIEF DESCRIPTION OF PROJECT AND RELEVANCE TO THIS CONTRACT *(Include scope, size, and cost)*



Dewberry is currently performing miscellaneous services for the Montecito CDD located on the east side of South Patrick Drive, north of Patrick Drive and west of U.S. Highway A1A in Satellite Beach, Florida.

Our services include engineering, surveying and construction administration. These services include, but are not limited to, attending monthly meetings, processing of pay requisitions and construction pay applications, and providing general civil engineering consulting services and input to the Board of Directors. These services are provided on an "as needed basis."

Dewberry also prepared an Engineering Report for bond issuance and provided cost estimates for said process.

- **COST** \$480,210 (Consultant Fees to Date)
- **SERVICES**
 - Civil Engineering
 - District Board Meetings
 - Monthly Meetings
 - Processing Construction Pay Applications
 - Processing Pay Requisitions

25. FIRMS FROM SECTION C INVOLVED WITH THIS PROJECT

	(1) FIRM NAME	(2) FIRM LOCATION <i>(City and State)</i>	(3) ROLE
a.	Dewberry Engineers Inc.	Orlando, FL	District Engineer

F. EXAMPLE PROJECTS WHICH BEST ILLUSTRATE PROPOSED TEAM'S QUALIFICATIONS FOR THIS CONTRACT
(Present as many projects as requested by the agency, or 10 projects, if not specified. Complete one Section F for each project.)

20. EXAMPLE PROJECT KEY NUMBER

#5

21. TITLE AND LOCATION *(City and State)*

Narcoossee CDD (Orlando, FL)

22. YEAR COMPLETED

PROFESSIONAL SERVICES

Ongoing

CONSTRUCTION *(If applicable)*

N/A

23. PROJECT OWNER'S INFORMATION

a. PROJECT OWNER

Government Management Services

b. POINT OF CONTACT NAME

George Flint

c. POINT OF CONTACT TELEPHONE NUMBER

407.841.5524

24. BRIEF DESCRIPTION OF PROJECT AND RELEVANCE TO THIS CONTRACT *(Include scope, size, and cost)*



The Narcoossee CDD is located in Orlando, Orange County, Florida, and consists of approximately 416 acres. The project is projected to have 540 single-family units, 860 multi-family units, and 278,000 square feet of retail and office space. The Narcoossee CDD encompasses the entire 416 acres, and will construct, operate and maintain infrastructure to support all of its communities.

Dewberry is the CDD Engineer for this project. Our services include engineering evaluations, owner coordination with City of Orlando and Orange County, and approval of all development and construction activities.

- **COST** \$265,000 (Consultant Fees to Date)
- **SERVICES**
 - Civil Engineering
 - Construction Administration
 - Development Planning
 - Permitting
 - Surveying

25. FIRMS FROM SECTION C INVOLVED WITH THIS PROJECT

	(1) FIRM NAME	(2) FIRM LOCATION <i>(City and State)</i>	(3) ROLE
a.	Dewberry Engineers Inc.	Orlando, FL	District Engineer

F. EXAMPLE PROJECTS WHICH BEST ILLUSTRATE PROPOSED TEAM'S QUALIFICATIONS FOR THIS CONTRACT
(Present as many projects as requested by the agency, or 10 projects, if not specified. Complete one Section F for each project.)

20. EXAMPLE PROJECT KEY NUMBER

#6

21. TITLE AND LOCATION *(City and State)*

LDR5 Phase III at Southwood (Tallahassee, FL)

22. YEAR COMPLETED

PROFESSIONAL SERVICES

Ongoing

CONSTRUCTION *(If applicable)*

N/A

23. PROJECT OWNER'S INFORMATION

a. PROJECT OWNER

Premier Construction & Development

b. POINT OF CONTACT NAME

Jason Ghazvini

c. POINT OF CONTACT TELEPHONE NUMBER

850.514.1000

24. BRIEF DESCRIPTION OF PROJECT AND RELEVANCE TO THIS CONTRACT *(Include scope, size, and cost)*



This project is located in the Southwood Planned Unit Development (PUD) and within the LDR section. The project task involved dividing the site into 55 lots for subdivision development. The subdivision is a section of additional subsequent phases that will be initiated following completion of this Phase III task.

This site is also located on part of the PUD with extreme grades. Due to the extreme grades, extensive effort was put towards ensuring a well-balanced site for development and utility accommodations. This project will connect to Phase II of the LDR5 and will back up to Orange Avenue. Engineering tasks included water, sewer, and conveyance design. Coordination between Southwood and the City of Tallahassee (electric and public works) was also performed. The property is being permitted with City of Tallahassee. All permitting processes are following the Southwood requirements established in the PUD.

• **COST** N/A

• **SERVICES**

Cost Estimates
 Planning
 Reports and Plans
 Water Management Systems and Facilities
 Water and Sewer Systems
 Roadway Design
 Recreational Facilities
 Construction Administration

25. FIRMS FROM SECTION C INVOLVED WITH THIS PROJECT

a.	(1) FIRM NAME	(2) FIRM LOCATION <i>(City and State)</i>	(3) ROLE
	Dewberry Engineers Inc.	Tallahassee, FL	Primary Engineer

F. EXAMPLE PROJECTS WHICH BEST ILLUSTRATE PROPOSED TEAM'S QUALIFICATIONS FOR THIS CONTRACT
(Present as many projects as requested by the agency, or 10 projects, if not specified. Complete one Section F for each project.)

20. EXAMPLE PROJECT KEY NUMBER

#7

21. TITLE AND LOCATION *(City and State)*

Live Oak Lake CDD (Twin Lakes Development) (Osceola County, FL)

22. YEAR COMPLETED

PROFESSIONAL SERVICES

Ongoing

CONSTRUCTION *(If applicable)*

Ongoing

23. PROJECT OWNER'S INFORMATION

a. PROJECT OWNER

Governmental Management Services

b. POINT OF CONTACT NAME

Jillian Borns

c. POINT OF CONTACT TELEPHONE NUMBER

407.841.5524 ex. 115

24. BRIEF DESCRIPTION OF PROJECT AND RELEVANCE TO THIS CONTRACT *(Include scope, size, and cost)*



Live Oak Lakes CDD (Twin Lakes Development) is a multi-phased, active adult community consisting of residential units, green open space tracts with community facilities, and a community amenity center located just off of Live Oak Lake. The development is situated just east of Hickory Tree Road and west of Live Oak Lake and Sardine Lake in Osceola County. Phases 1 – 8 consists of a mix of 50', 70' and duplex units totaling 2,023 units.

A 42,000 plus square foot amenity clubhouse is currently being constructed alongside the oversized pool and cabana area, which includes a bar for food and beverages. The outdoor rec space is under construction just to the south. This area was designed to include bocci ball, pickle ball, horseshoes, tennis courts, and a half basketball court. It also provides walking trails, a boat dock, and a dock for fishing.

In addition to civil engineering services, we also provided roadway design, bridge design, and signal design within the first phase. We were responsible for the roadway widening design of Hickory Tree Road, where services also included drainage and utility extensions. We extended New Nolte Road from the existing intersection east through the first phase of construction. This 150' right-of-way is master planned to be a 4 lane divided major collector road in the future. We also designed and oversaw the construction of the vehicular bridge that crosses existing Bullis Road, connecting the northern pool and amenity area with the remainder of the development. We provided signal design for the New Nolte and Hickory Tree Road Intersection, which also includes golf cart paths and golf cart path crossings at the updated intersection.

Utilities have been master designed for the build out of the development, which will include city master transmission mains for the 24" potable water main and 24" reclaim main; along with 5 sanitary lift stations to service the phases of the development as they are constructed. Phase 1 of the project utilizes two sanitary lift stations, a portion of the 24" potable and reclaim mains. The first lift station is located on the west side of Hickory Tree Road. The second lift station is located along the extension of Nolte Road east of Hickory Tree Road. This lift station has been

designed to accept additional flows from future phases of this development. This lift station pumps into a force main down the Nolte Road extension and connects to the existing 20" force main located within the Hickory Tree right-of-way.

- **COST** \$2.1 million (Consultant Fees to Date)
- **SERVICES**
 - Assistance with the City Master Upsizing Agreements
 - Civil Engineering
 - Construction Administration
 - Entitlements
 - Environmental/Permitting
 - Landscape/Hardscape Design
 - Maintenance of Traffic Planning
 - Planning
 - Signal Design
 - Surveying

25. FIRMS FROM SECTION C INVOLVED WITH THIS PROJECT

a.	(1) FIRM NAME	(2) FIRM LOCATION <i>(City and State)</i>	(3) ROLE
	Dewberry Engineers Inc.	Orlando, FL	District Engineer

F. EXAMPLE PROJECTS WHICH BEST ILLUSTRATE PROPOSED TEAM'S QUALIFICATIONS FOR THIS CONTRACT
(Present as many projects as requested by the agency, or 10 projects, if not specified. Complete one Section F for each project.)

20. EXAMPLE PROJECT KEY NUMBER

#8

21. TITLE AND LOCATION (City and State)

Viera East CDD (Viera, FL)

22. YEAR COMPLETED

PROFESSIONAL SERVICES

Ongoing

CONSTRUCTION (If applicable)

N/A

23. PROJECT OWNER'S INFORMATION

a. PROJECT OWNER

Government Management Services

b. POINT OF CONTACT NAME

George Flint

c. POINT OF CONTACT TELEPHONE NUMBER

407.841.5524

24. BRIEF DESCRIPTION OF PROJECT AND RELEVANCE TO THIS CONTRACT (Include scope, size, and cost)



- COST** \$214,000 (Consultant Fees to Date)

- SERVICES**

- Civil Engineering
- Construction Administration
- Consulting Services
- Environmental Services
- Permitting
- Planning
- Presentations
- Surveying

Viera Planned Development and CDD is a 2,000-acre mixed-use development in the City of Viera, located east of I-95 and north of Murrell Road in Brevard County. The project consists of 2,000 single-family units, 900 multi-family units, and over 20,000 square feet of commercial and retail space. With over 600 acres of existing on-site wetlands and lakes, this project presented some unique design challenges; including creating a viable community that balanced the developable parcels with existing ecological systems. Additional challenges related to the need to tie into both existing and proposed roadways and proposed master utilities serving the project.

Dewberry permitted the stormwater drainage and wetland modifications of the master stormwater system that consisted of both lakes and wetlands that provided storage through the SJRWMD and Brevard County. We also monitor the wetland systems in compliance with the SJRWMD permit as well as the design of the entire infrastructure.

Dewberry continues to serve as the District Engineer for this project. Our services included consulting services, civil engineering, environmental services, permitting, planning, surveying, construction administration and presentations to the Board of Supervisors for the CDD. Dewberry also gives presentations to the Board of Supervisors for the CDD and is on-call to the District Manager.

25. FIRMS FROM SECTION C INVOLVED WITH THIS PROJECT

a.	(1) FIRM NAME	(2) FIRM LOCATION (City and State)	(3) ROLE
	Dewberry Engineers Inc.	Orlando, FL	District Engineer

F. EXAMPLE PROJECTS WHICH BEST ILLUSTRATE PROPOSED TEAM'S QUALIFICATIONS FOR THIS CONTRACT
(Present as many projects as requested by the agency, or 10 projects, if not specified. Complete one Section F for each project.)

20. EXAMPLE PROJECT KEY NUMBER

#9

21. TITLE AND LOCATION *(City and State)*

Crowder Road Sidewalk (Tallahassee, FL)

22. YEAR COMPLETED

PROFESSIONAL SERVICES

Ongoing

CONSTRUCTION *(If applicable)*

Ongoing

23. PROJECT OWNER'S INFORMATION

a. PROJECT OWNER

Leon County

b. POINT OF CONTACT NAME

Sam Ijeoma, PE

c. POINT OF CONTACT TELEPHONE NUMBER

850.606.1563

24. BRIEF DESCRIPTION OF PROJECT AND RELEVANCE TO THIS CONTRACT *(Include scope, size, and cost)*



Crowder Road Sidewalk project is a two-phase project for a 1.5-mile sidewalk design. The purpose of this project was to provide a safe walking path for pedestrians in this area of Crowder Road. The pedestrian users were being forced to walk on the roadway because of the existing ditches on the side of the road.

The first phase of this project was to evaluate the span of the roadway that the sidewalk would need to be located. This evaluation resulted in a report that gave a separate evaluation to each side of the road for benefit comparison. Defining factors included ease of construction and impacts to private properties. A final recommendation was given to Leon County, with a engineering opinion of cost estimate of each phase. It was recommended that the sidewalk be on the northside of Crowder Road.

The project would cover existing roadsides swales and replace them with an in-ground conveyance system to carry the overland stormwater from adjacent lots and roadway. Utility coordination tasks are also needed for the relocation of utilities within the right-of-way to make way for the new stormwater conveyance system.

- **COST** N/A
- **SERVICES**
 - Cost Estimates
 - Planning
 - Reports and Plans
 - Surveying
 - Sdiwalk Design
 - Community Infrastructure
 - Construction Administration

25. FIRMS FROM SECTION C INVOLVED WITH THIS PROJECT

a.	(1) FIRM NAME	(2) FIRM LOCATION <i>(City and State)</i>	(3) ROLE
	Dewberry Engineers Inc.	Tallahassee, FL	Primary Engineer

F. EXAMPLE PROJECTS WHICH BEST ILLUSTRATE PROPOSED TEAM'S QUALIFICATIONS FOR THIS CONTRACT
(Present as many projects as requested by the agency, or 10 projects, if not specified. Complete one Section F for each project.)

20. EXAMPLE PROJECT KEY NUMBER

#10

21. TITLE AND LOCATION *(City and State)*

Country Greens CDD (Sorrento Springs PD) (Lake County, FL)

22. YEAR COMPLETED

PROFESSIONAL SERVICES

Ongoing

CONSTRUCTION *(If applicable)*

N/A

23. PROJECT OWNER'S INFORMATION

a. PROJECT OWNER

InfraMark

b. POINT OF CONTACT NAME

Robert Koncar

c. POINT OF CONTACT TELEPHONE NUMBER

407.566.4122

24. BRIEF DESCRIPTION OF PROJECT AND RELEVANCE TO THIS CONTRACT *(Include scope, size, and cost)*



Sorrento Springs is a 680-acre Planned Development within the Country Greens CDD in Lake County, Florida. Developed by Hewitt Properties, Inc., the project will contain 678 single-family lots, and an 18-hole golf course and clubhouse facilities. The Country Greens CDD encompasses the entire 680 acres, and will construct, operate and maintain infrastructure to support the Sorrento Springs Community. In April 2002, construction of the first of four phases began.

As the CDD Engineer, Dewberry's services include engineering, planning, surveying, permitting, landscape architecture, owner coordination with City of Eustis and Lake County, and approval of all development and construction activities

- COST** \$320,000 (Consultant Fees to Date)

- SERVICES**

- Civil Engineering
- Construction Administration
- Due Diligence
- Landscape Architecture
- Permitting
- Planning
- Surveying

25. FIRMS FROM SECTION C INVOLVED WITH THIS PROJECT

a.	(1) FIRM NAME	(2) FIRM LOCATION <i>(City and State)</i>	(3) ROLE
	Dewberry Engineers Inc.	Orlando, FL	District Engineer

G. KEY PERSONNEL PARTICIPATION IN EXAMPLE PROJECTS

26. NAMES OF KEY PERSONNEL (From Section E, Block 12)	27. ROLE IN THIS CONTRACT (From Section E, Block 13)	28. EXAMPLE PROJECTS LISTED IN SECTION F (Fill in "Example Projects Key" section below before completing table. Place "X" under project key number for participation in same or similar role.)									
		1	2	3	4	5	6	7	8	9	10
Ayodeji Ajose-Adeogun, PE, LEED® Green Associate	District Engineer		●				●			●	
Rey Malavé, PE	Assistant District Engineer	●		●	●	●		●	●		●
Jonathan Sklarski, PE	Site/Civil Engineer										
Justin Ford, PE	Transportation Engineer										
Joshua Baxley, PE	Utilities Engineer						●			●	
Thomas Brannon, EI	Stormwater Management						●			●	
Kevin Easton, WPIT	Environmental Permitting						●			●	
Randall Jernigan	CADD Design		●				●			●	
Jonathan Gibson, PSM	Survey Project Manager										
Michael Urchuk, RLA	Sr. Landscape Architect	●						●			
Sarah Maier	GIS Technician/Planner	●		●	●	●		●	●		●
Keith Whitfield	Construction Inspector										

29. EXAMPLE PROJECTS KEY

NO.	TITLE OF EXAMPLE PROJECT (From Section F)	NO.	TITLE OF EXAMPLE PROJECT (From Section F)
1	Dowden West CDD , Orlando, FL	6	LDR5 Phase III at Southwood , Tallahassee, FL
2	Capital Place at Southwood , Tallahassee, FL	7	Live Oak Lake CDD (Twin Lakes Development) , Osceola County, FL
3	Cascades at Groveland CDD , Groveland, FL	8	Viera East CDD , Viera, FL
4	Montecito CDD , Satellite Beach, FL	9	Crowder Road Sidewalk , Tallahassee, FL
5	Narcooseee CDD , Orlando, FL	10	Country Greens CDD , Lake County, FL

FIRM QUALIFICATIONS

Dewberry is a leading, multi-disciplined firm with a proven history of providing professional services to a wide variety of public- and private-sector clients. Established in 1956, Dewberry is headquartered in Fairfax, Virginia, with 50 locations and over 2,000 professionals nationwide, including our local office in Tallahassee. Recognized for combining unsurpassed commitment to client service with deep subject matter expertise, Dewberry is dedicated to solving clients' most complex challenges and transforming their communities.

Dewberry's Florida operation is backed by the resources and stability of a national firm and specializes in site/civil, environmental, utility infrastructure, transportation engineering, surveying, architecture, and land development services. Dewberry has 15 office locations and over 300 employees in Florida, bringing expertise, qualifications, and resources to cities and counties throughout the state. Dewberry supports large and small projects in the following primary service areas:

- Alternative delivery
- Architecture
- Building engineering
- Disaster response and emergency management
- Energy services
- Environmental services
- Geospatial services
- Mechanical, electrical, and plumbing services
- Program management
- Site/civil services
- Surveying/mapping
- Sustainability
- Transportation
- Water/wastewater/reclaimed water services

We put clients first, we build strong and lasting relationships to become trusted advisors to our clients. Personal commitment to our clients and standing behind our work are central principles of the "Dewberry Way."

Relevant Experience

The absolute best predictor of future success is past performance and we have a lot of experience in all areas required for this contract. Whether we are providing professional design engineering services or as a previous District Engineer, our track record speaks for itself.

DEWBERRY HAS 300+ EMPLOYEES IN FLORIDA

Throughout our extensive work history, **no other firm has been more involved in Florida's explosive development.**

This is demonstrated by the work we have performed for hundreds of state-wide clients over four decades. We have developed a unique general approach to land development projects. Our approach is tried-and-true, and it has proven, time-and-time-again, to reduce the coordination efforts for our clients and, importantly, it produces successful projects.

Dewberry has also developed a Land Development Process Manual. All of our professional staff members are required to know our quality procedures and to stay abreast of regulatory changes. The purpose of this manual is to describe the method and process in which Dewberry provides planning, design and construction related services for Land Development projects. This process minimizes the opportunity for missed deadlines, decreases errors and omissions on the plans, plats, calculations and permits, and maximizes the opportunity to produce high quality, build-able projects, resulting in satisfied clients and a positive company reputation in the engineering community.

We have a defined, workable Quality Control Plan. Every submittal is checked by an independent reviewer using our written quality control procedures. These procedures include Sufficiency Checklists to ensure that the documents are complete. The quality control checks are scheduled within the project master schedule to ensure that time is allocated to make revisions. All of our firm's staff use Quality Control Manuals to ensure that the project is being prepared correctly the first time. All of this detail means that our clients can be confident that they are getting the best possible product from Dewberry.

The following CDD projects are representative of our relevant project experience:

- Cascades at Groveland CDD, Lake County
- Country Greens CDD, Lake County
- Covington Park CDD, Hillsborough County

H. ADDITIONAL INFORMATION

30. PROVIDE ANY ADDITIONAL INFORMATION REQUESTED BY THE AGENCY. ATTACH ADDITIONAL SHEETS AS NEEDED.

- Deer Run CDD, Flagler County
- Dowden West CDD, Orlando
- East Park CDD, Orange County
- Greater Lakes – Sawgrass Bay CDD, Lake Wales
- Highland Meadows CDD, Polk County
- Lake Ashton CDD, Lake Wales, Polk County
- Lakewood Ranch CDDs 1, 2, 4, 5, 6, Manatee County
- Lakewood Ranch Stewardship, Manatee County
- Live Oak Lake CDD, Osceola County
- Montecito CDD, Brevard County
- Narcoossee CDD, Orange County
- On-Top-of-the-World CDDs, Marion County
 - Chandler Hills East CDD, Marion County
 - Indigo East CDD, Marion County
 - Bay Laurel Center CDD, Marion County
- Osceola Chain of Lakes, Osceola County
- Reedy Creek Improvement District, Osceola County
- Reunion Resort CDD, Osceola County
- Verandas CDD, Pasco County
- Viera CDD, Brevard County
- VillaSol CDD, Osceola County

Project Approach

We have prepared an organizational approach to fit the specific categories of Canopy CDD organization and operations to support both large and small engineering projects. Through our many years of serving as District Engineer, we've been successful at becoming an extension of the CDD's Project Management group, with the ability to understand project needs and proposing only on what is necessary to complete the task at hand. Our management team is committed to a quality product that is consistent with Canopy CDD's policies and procedures.

Serving as District Engineer is **Ayodeji Ajose-Adeogun, PE, LEED® Green Associate**. Ayodeji has extensive experience in concept plans, site planning, cost estimating, design and permitting of commercial, public sector and residential projects in Florida and Georgia. Deji has lived, attended college, and worked in Tallahassee, Florida, for the last 25 years. He has experience in serving public sector clients including the Florida Department of Environmental Protection (FDEP) Recreation and Parks, Northwest Florida Water

Management District (NFWFMD), as well as Leon County, City of Tallahassee and City of Midway. His experience also includes project tasks for roadway design projects. His project experience in the City of Tallahassee includes Capital Cascade Park, Franklin Boulevard, Gaines Street, Lafayette Street, Victoria Grand Apartments.

Transportation Services

Dewberry has provided roadway and bridge design services to numerous governmental agencies throughout Florida for over 30 years. Our projects have ranged from minor intersection improvements and milling and resurfacing of existing roadways to capacity improvements and complex, multilevel interchanges. The extensive experience of our staff in the design, preparation of construction documents and post design services for roadways, bridges, and associated systems provides Canopy CDD with the expertise to handle any type of transportation related assignment. Our transportation design staff, coupled with the survey, drainage, environmental, and permitting capabilities, allows us to efficiently complete any assignment, as all disciplines required are available in-house.

Traffic design may include one or more of the following items, dependent upon a specific project: signing design, pavement marking design, signal warrant analysis, signalization design, lighting justification, lighting design and traffic studies. We have extensive experience in these phases of the project and we are qualified to perform all aspects of traffic engineering.

Engineering services related to structural design may be required for bridge widenings, bridge rail replacements, box culvert extensions, retaining walls, sheet piling, overhead sign structures, multi-post guide signs, signal poles, mast arms light poles and foundations for signs, signal poles and lighting. We have an experienced in-house staff to provide these services.

Water/Wastewater Services

Our team can provide both utility analyses of existing master systems, preparation and updates to master plans, as well as prepare utility construction plans. Dewberry can analyze the existing utility systems and make recommendations for upgrades or replacement. We have designed numerous utility collection and transmission facilities, gravity sewers, force mains, reuse water and potable water systems. We have also designed numerous wastewater and water pump stations. We also have experience in the transformation of septic tank systems by the installation of new sewer systems.

H. ADDITIONAL INFORMATION

30. PROVIDE ANY ADDITIONAL INFORMATION REQUESTED BY THE AGENCY. ATTACH ADDITIONAL SHEETS AS NEEDED.

Stormwater Management Services

Our integrated stormwater management services range from large basin studies to the design of collection systems. Our team has performed analysis on various projects throughout Florida, with our Tallahassee staff performing stormwater design locally for over 20 years. We have designed culvert replacements to extensions on numerous roadway projects, ranging from two-lane rural widening to multi-lane expressways.

Drainage design and permitting are critical parts of any project. We will provide essential data including total maximum daily loads, numeric nutrient criteria support, drainage, erosion and sediment control, stormwater basin modeling, assessment and evaluation drainage systems, design and construction plans for stormwater management systems and coordination with state and federal agencies, as well as the City of Tallahassee and Leon County.

Assumptions and/or omissions in this area can cause significant delays in the project schedule, increase costs during construction and even lead to possible litigation against the CDD. We are experienced in identifying, analyzing and addressing drainage impacts associated with a variety of project types. Our drainage staff is knowledgeable of City of Tallahassee, Leon County, and NFWFMD's criteria and are adept at developing creative and innovative solutions to drainage problems. We also have experience preparing flood studies with FEMA. At the heart of our approach is a thorough document review of the existing plans, City of Tallahassee historical data and GIS maps, USGS Quadrangle Maps, USDA Soil Survey, FEMA Flood Insurance Maps and aerial photographs. With this data in hand, we will perform a field review during the pre-scope meeting, identify all drainage and permitting issues, and discuss possible drainage solutions with the CDD. Existing drainage patterns, ponding concerns and erosion problems will be documented. We will contact the CDD's Maintenance Engineer to discuss any concerns regarding the project area.

Survey and Mapping Services

Dewberry has provided continuing surveying services for several counties and municipalities throughout the State of Florida. Our large in-house survey staff, with numerous crews out of our Orlando office, are well-versed in the rigors of on-call assignments and the immediate response time that they require. We utilize state-of-the-art equipment to provide cost effective surveying, right of way mapping, utility designation and Subsurface Utility Excavation (SUE) for roadway, municipal, and civil development projects. We have extensive experience in boundary surveys, topographic

design surveys, tree surveys, inventory surveys and underground utility mapping. Our survey team has a dedicated staff of Photogrammetrists who specialize in Aerial Photogrammetry, fixed and aerial LIDAR and GIS mapping. Dewberry recently completed a critical LiDAR update for the entire span of Leon County.

Our services for surveying and mapping may include: As-Built Surveys, Boundary Surveys, Eminent Domain Surveys, GIS, Legal Description Preparation, Plat Preparation, Property Sketches, Right-of-Way Mapping, SUE, Topographic Surveys and Utility Surveys.

SUE technology combines geophysics, surveying and civil engineering to better locate underground utilities. This service helps our clients avoid costly utility conflicts and construction delays caused by inaccurately plotted utilities. Our 3-D Laser Scanning equipment allows our survey crews to accurately collect field data comprehensively and, most importantly, safely. Dewberry is one of a select few firms in the state to have this technology.

Environmental/Permitting Services

From determining wetland lines, to the understanding of current rules and regulations for water management districts, our staff has full understanding and experience in providing these services for cities and other governmental agencies. We have obtained permits with the various local, State and Federal agencies for a variety of projects. We understand how to prepare permit applications, work closely with the agencies and obtain permits for your projects. Dewberry will track the permit status for each agency, keep the CDD informed of the progress of all permits and respond promptly to all requests for additional information.

As part of our efforts for Canopy CDD, we will assist in determining the permits needed for each development along with the anticipated schedules for obtaining each permit. Additionally, we have experience in permitting with governmental agencies such as Water Management Districts, FDEP, FWC, USACE, and FDOT. We have staff that consists of both engineers and environmental scientists, many of which have worked previously for various local, state, and federal permitting agencies.

Landscape Architecture/Planning

Dewberry has extensive landscape architecture experience throughout Florida. Our project experience includes residential, retail office, mixed-use, streetscapes and recreational uses as well as hardscape and irrigation design. Our hardscape designs have included corporate plazas, streetscapes, fountains, amenity areas for multi-family projects, and urban plazas.

H. ADDITIONAL INFORMATION

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Our planning services to Canopy CDD will include presentations to CDD Board Members and public meetings, where we would provide assistance to the CDD for the understanding of technical issues, proposed developments, projected roadway designs, possible right-of-way changes, and to provide a professional and expert opinion on issues that may be needed by the CDD. Dewberry can assist the CDD with the following planning services:

- Comprehensive planning
- Review of comprehensive plan amendments
- Preparing land development regulations, including form based codes, GIS and Mapping services
- Transportation planning
- Revitalization/redevelopment planning

Construction Administration/CEI

We have continually provided construction administration services to our clients on most of the projects we have designed. Dewberry understands the importance of establishing and maintaining budgets. As a project is constructed, it is imperative that our team monitor the project budget and keep the CDD consistently informed. We have worked with many cities and counties on providing all construction services, including the assistance in the preparation of bid documents, prebid meetings, pre-construction meetings, construction administration, site observation, pay application review and approvals. We also provide shop drawing reviews and approvals per construction documents. We will provide assistance to Canopy CDD staff in the administration of construction contracts. Our team is currently providing these services to many municipalities across the State of Florida.

Our Construction Administration staff is prepared to support the CDD in various construction management related tasks. We routinely perform these services for both our public and private clients. Our services include:

- Construction Inspection
- Shop Drawing Review
- Pay Application Verification
- Construction Scheduling
- Utility Company Coordination
- Final Regulatory Acceptance
- Record Drawings
- Project Value Engineering
- Bid Document Preparation

- Bid Summarization and Analysis
- Contract Preparation

Task Initiation

Our Project Approach will vary due to the type of assignment; however, the important first steps in task initiation involve Data Gathering and Scope Development.

Data Gathering

This phase consists of defining the project objectives, identifying elements involved in the task, conducting a field review meeting (if required) and developing a detailed scope of services.

This phase will begin once a specific task or project has been identified by the CDD. Once identified, we will coordinate with the CDD to obtain all existing information. This data collection effort is very important in that it provides us valuable information prior to developing the scope of services.

If applicable or desired, an on-site field review meeting will be held jointly with the CDD and other appropriate agencies to discuss the task objectives and identify areas of concern. Discussions regarding the projects background, scope requirements, project constraints and other relevant issues will be held to reach an understanding of the overall project goals. Based on the data collection effort and the initial on-site field meeting, the specific plan elements required for the task will be identified and agreed to with the CDD prior to developing a scope of services.

Scope Development

A detailed scope of services, fee estimate, and schedule for the each task will be developed based on the data gathering efforts and discussions. This scope and work effort will be heavily influenced by the quality of the data collected and the specific needs of each task. Man-hour estimates will be provided for each discipline involved. The scope and work effort will be prepared and negotiated quickly, so as not to affect the schedule.

Other Considerations

COST CONTROL

We constantly review our designs and look for ways to save our clients time and money. We exercise common sense engineering to provide practical design solutions and not merely based on the way things have always been done in the past.

H. ADDITIONAL INFORMATION

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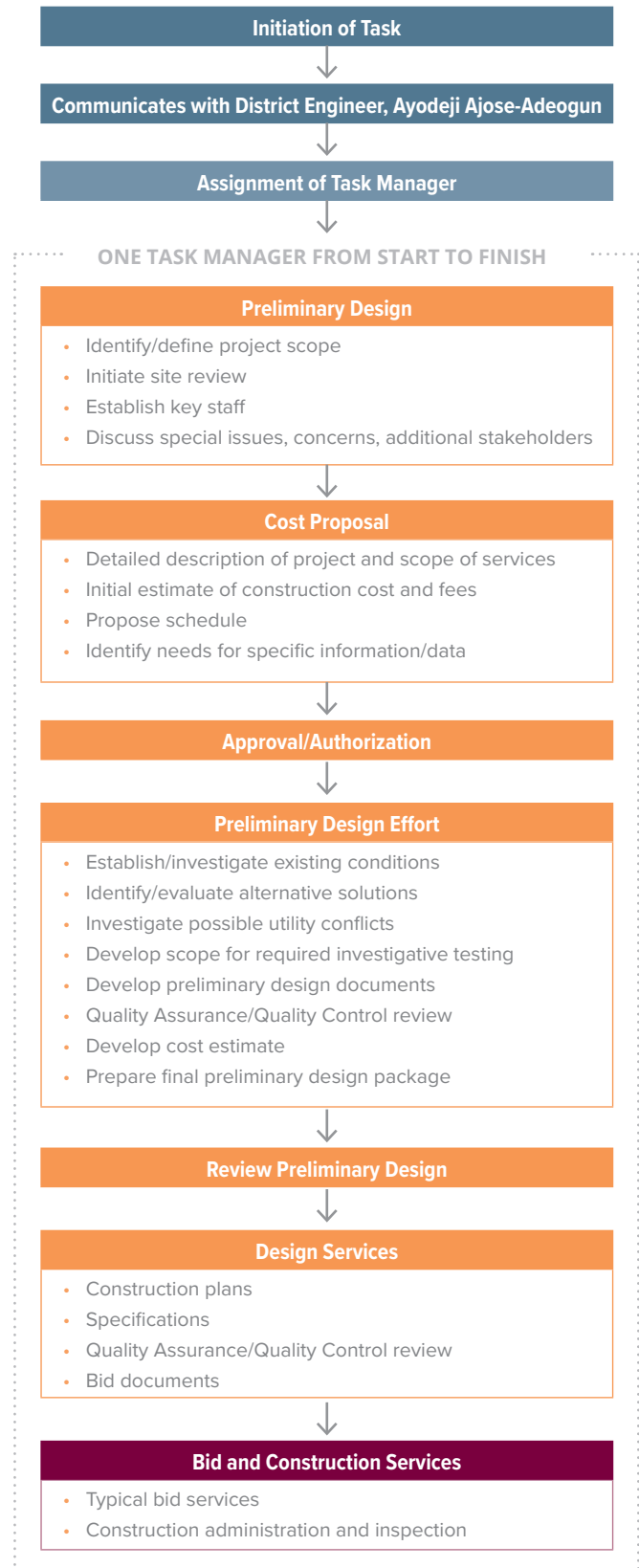
PROJECT COSTS

We understand the financial constraints that clients face, due to the budget cuts and rising construction and right-of-way costs. We will review all designs, prepared by Dewberry or others, for cost savings measures that will not affect the intention or safety of the project. Our recent experience has shown that minor changes in the design can save materials, and reduce or avoid costly business damage claims and/or right-of-way impacts. Another key to cost controls is to estimate costs early in the design process and as the design evolves, not just near the end of the design process. Early cost estimating allows for more options to be explored to keep projects within budget or to notify the CDD that budgets may need to be adjusted.

PROJECT SCHEDULE

The importance of maintaining the project schedule through the design or review process cannot be overstated. Dewberry is committed to developing and adhering to the project schedule for each assignment. This is important to us, as well, because if we fail to successfully complete any assignment on time, our ability to obtain additional assignments with Canopy will be limited. Furthermore, we will maintain an overall schedule of projects to help with internal and external coordination. We fully understand what is required to keep a project on schedule. The following proven actions will be used by our team to control the project schedule:

- **Experienced Client Manager.** Our District Engineer, Ayodeji, routinely manages multi discipline projects, where coordination is critical. Dewberry's wide range of in-house services ensures close coordination between each discipline, enabling us to direct our staffing resources.
- **Weekly Team Meetings.** Coordination will be ensured through weekly team meetings. These meetings will be used to track progress on individual tasks and as a planning tool.
- **Monthly Progress Reports.** Monthly progress reports will be supplied to Canopy CDD. These reports will be an effective snapshot of the status of each assignment and will be used to identify any potential schedule issues.
- **Being Proactive.** While managing the schedule, we will be proactive (vs. reactive) on all tasks. Emphasis will be placed on the activity start dates to ensure timely completion.



H. ADDITIONAL INFORMATION

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INDEPENDENT PEER REVIEW

An independent peer review is performed for each phase submittal. This review is performed by senior level staff not directly involved in the project and may be located in a separate office.

CONSTRUCTABILITY/BIDABILITY REVIEW

Prior to the 90 and 100 percent submittals, the plans will be subjected to a constructability/bidability review. This review will be performed by our in-house construction administrators.

Quality Assurance/Quality Control

Dewberry understands the value of repeat business. Our commitment to personalized client service is such that we guarantee we will respond to each client's needs promptly and effectively. From the beginning, we recognized that functional efficiency and technical excellence must be provided as a matter of course in engineering design. Each project produced by our firm reflects this corporate commitment to excellence and our insurance is our Quality Control Plan. Our Quality Assurance Plan and procedures are based on the philosophies that:

- **Plan.** Quality is controlled by adequate planning, coordination, supervision and technical direction, proper definition of job requirements and procedures and the involvement of experienced professionals.
- **Do.** Quality is achieved by individuals performing work functions carefully and "doing it right the first time".
- **Check.** Quality is verified through checking, reviewing and supervision of work activities, with documentation by objective individuals who were not directly responsible for performing the initial work.
- **Act.** Quality is ensured by having a manager perform quality assurance functions that involve monitoring and close review of not only the work but also the procedures used in performing the work.

Asset Management

Dewberry is a leader in developing comprehensive, strategic asset management programs for public infrastructure. We typically utilize and coordinate with IT, GIS, mapping, and other appropriate technologies. Our asset management services are part of an approach for helping clients build dynamic, sustainable organizations that are capable of and committed to delivering the highest possible level of value and service to their customers.

Our team brings a level of credibility to the process that cannot be gained from a strict management-only consulting approach. Over the coming future years, aging infrastructure will require an increasing higher portion of an organization's Capital and Renewal & Replacement (R&R) dollars. Planning today must focus on risk based assessments, including targeted condition assessment to quantify and prioritize limited R&R and capital dollars. The Dewberry team is comprised of subject matter experts that champion this innovative approach.

I. AUTHORIZED REPRESENTATIVE

The foregoing is a statement of facts.

31. SIGNATURE

32. DATE

04.30.2020

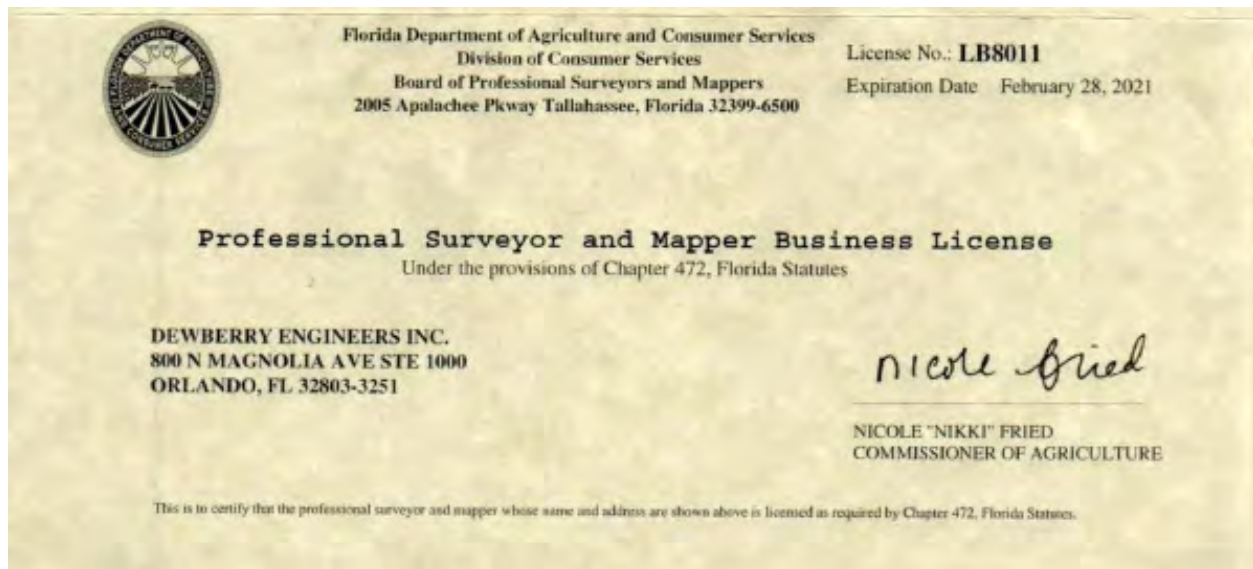
33. NAME AND TITLE

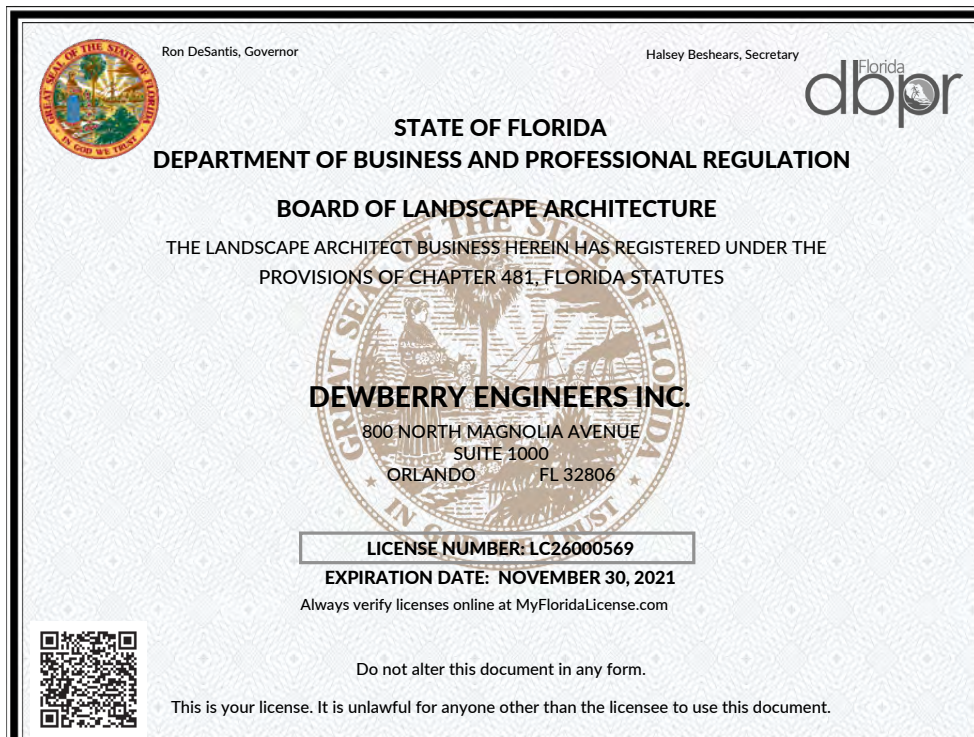
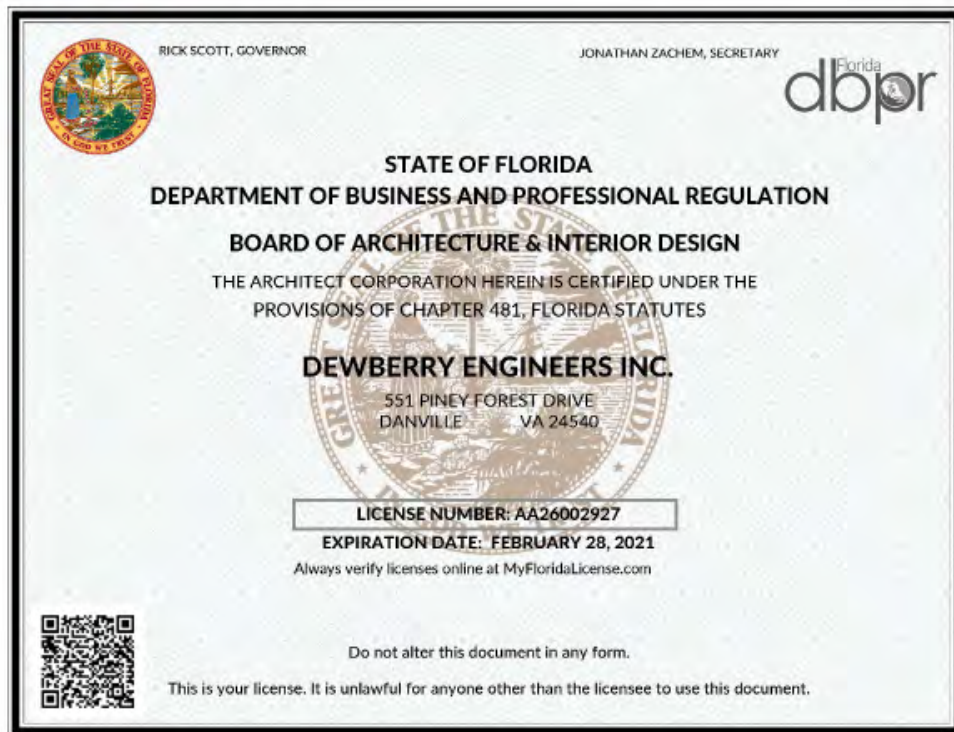
Ayodeji Ajose-Adeogun, PE, LEED® Green Associate, Senior Project Manager

SECTION 2: Firm Licenses



FIRM LICENSES





State of Florida Department of State

I certify from the records of this office that DEWBERRY ENGINEERS INC. is a New York corporation authorized to transact business in the State of Florida, qualified on December 26, 2000.

The document number of this corporation is F00000007242.

I further certify that said corporation has paid all fees due this office through December 31, 2019, that its most recent annual report/uniform business report was filed on April 19, 2019, and that its status is active.

I further certify that said corporation has not filed a Certificate of Withdrawal.

*Given under my hand and the
Great Seal of the State of Florida
at Tallahassee, the Capital, this
the Twenty-sixth day of April,
2019*

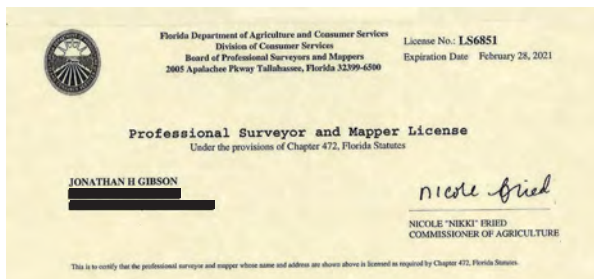
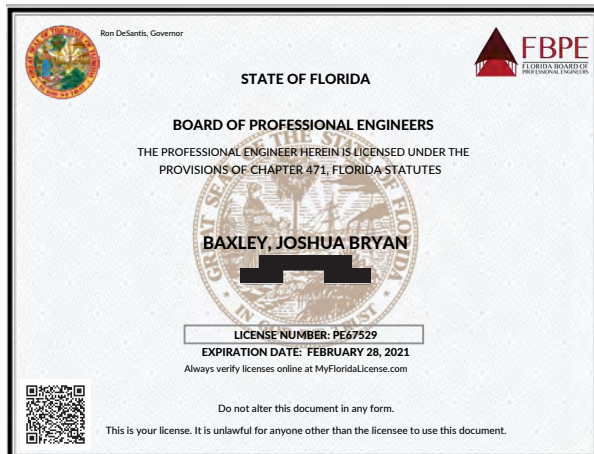
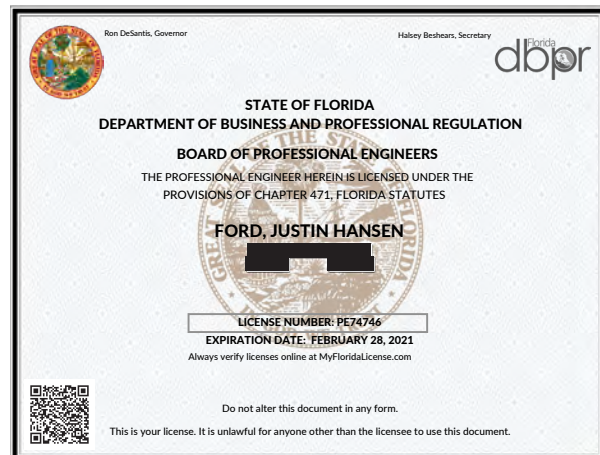
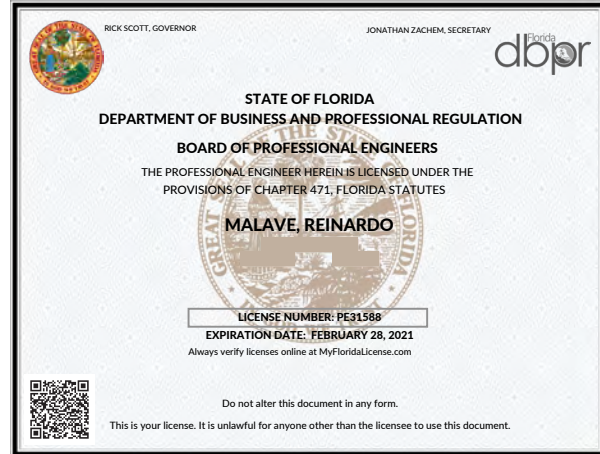
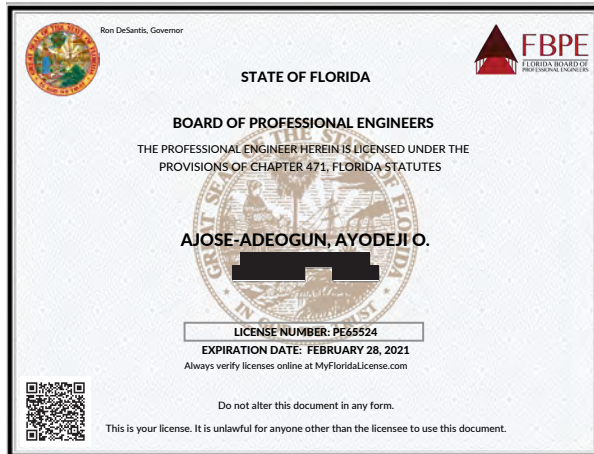


Ronald M. Bee
Secretary of State

Tracking Number: 1962947838CT

To authenticate this certificate, visit the following site, enter this number, and then follow the instructions displayed.

<https://services.sos.fl.gov/Filing-CertificateOfStatus/CertificateAuthentication>



SECTION 3: Qualifications and Experience



QUALIFICATIONS AND EXPERIENCE

Ability and Adequacy of Professional Personnel

We have carefully selected our team of professionals and technical experts to match our experience and expertise with the qualifications required. Our firm has a varied array of experience, disciplines, and available resources available to provide the required services to Canopy CDD. Our team can provide engineering design, planning management, technical, and administrative services as requested by Canopy CDD and will make a commitment to prioritize the CDD's needs.

Serving as District Engineer, **Ayodeji Ajose-Adeogun, PE, LEED® Green Associate** has designed many sites in Tallahassee within a variety of zoning areas. The rolling hills of Tallahassee have related challenges that have required him to provide innovative grading designs. In some cases, he has graded sites with fifty feet of elevation difference and provided drainage systems that collected the runoff without affecting the site or adjacent properties. Drainage is important part of design and capture of runoff at every opportunity is important to reduce structural flooding. Tallahassee has many closed basins. Ayodeji has prepared many stormwater designs for closed basins within the City of Tallahassee and Leon County.

He has extensive experience in site utility design and is experienced in working with the City's Underground Utilities group to obtain connection approvals. He also has extensive experience in driveway connections, landscaping requirements and parking studies specific to the City of Tallahassee codes. **His comprehensive design experience through the management of Dewberry's held continuing service contracts with the City of Tallahassee and Leon County, as well as multiple private development tasks, has afforded him the service experience and lessons learned to apply successful design solutions towards this Canopy CDD contract.**

Our Assistant District Engineer, **Rey Malavé, PE**, Associate Vice President at Dewberry, has 41 years of civil engineering experience for both public and private clients and has served as the project manager for numerous private commercial and residential developments across Florida. This includes Dowden West CDD in Orlando; Live Oak

Why Dewberry?



District Engineer for 25+ CDDs across Florida



Local, experienced District Engineer ready to work for you



Comprehensive understanding of CDD's infrastructure and operational needs



300+ employees in 15 offices within Florida, including a local office in Tallahassee



Cohesive group of professionals integrated across service areas to leverage success for our clients



60+ years helping clients build and shape communities

Lake CDD (Twin Lakes Development) in Osceola County; Cascades at Groveland CDD in Groveland; Lake Ashton CDD in Lake Wales; and the Lakewood Ranch CDDs in Manatee County. He will provide supporting contract services and will serve as a liaison between our District Engineer, Canopy CDD, and Governmental Management Services.

Our project management and organizational structure within each key service areas demonstrates our thorough understanding of the scope of this contract and our desire to meet the objectives of the project assignments.

Our senior experienced professionals are all well versed in addressing their particular specialty area and have associates working under their direction to efficiently tackle any assignment from Canopy CDD. This organizational structure has a long history of success as a model that Dewberry has implemented across the country for similar CDDs and public agencies.



FIGURE 3.1 We build strong and lasting relationships with our clients. The caliber of our people and combining unsurpassed client service with deep subject matter expertise is what sets us apart. We operate with the highest level of ethics and transparency. Our integrity—and that of our people—is second to none. Personal commitment to our clients and standing behind our work are two central tenants of our cultural statement, “Dewberry at Work.”

.....

We will continue to develop and apply innovative concepts and techniques to effectively and efficiently design and manage all tasks. It is important to note that Dewberry is a full-service civil engineering firm that can meet your needs for any project – large or small. Dewberry can react quickly to your requests and provide all technical support under one roof.

For more information on our project management team, we have provided résumés in our Standard Form 330 included in **Section 1: Standard Form 330** of our proposal.

Certified Minority Business

Dewberry Engineers Inc. is not a certified minority business.

Willingness to Meet Time and Budget Requirements

Dewberry recognizes the importance of maintaining project budgets. We have a long history of providing on-schedule services and projects that fit within the client’s budget. Over 85% of our work is from repeat clients - a testament to our ability to work within a budget and schedule.

The following proven actions will be used by our team to control the project budget:

- **Experienced Staff.** The most effective means of meeting the design budget and schedule is by using experienced staff with the knowledge, training and equipment necessary to perform their assigned tasks. Dewberry’s proposed team has these attributes.
- **Construction Budget Controls.** We are acutely aware of the volatile construction materials market and its impact on construction budgets. As such, we periodically update our cost data to ensure that the most current unit prices are being used for the construction cost estimates.
- **Project Schedule.** One way we keep costs in line is by developing and maintaining a schedule for each task. We build a design quality control checking date into every schedule prior to the submittal date for all project deliverables. We have found that focusing on the submittal date often results in rushed or incomplete quality control checks of

the plans. Therefore, we will schedule a quality check date at least two weeks prior to the submittal date to make sure that the process is completed. This also allows our District Engineer and team to focus on the quality control date, resulting in plenty of time for the process to work and thus further committing to the project's budget.

Past Experience and Performance

For more than 45 years, our land development professionals have combined an unsurpassed commitment to serving Florida developers with a deep subject matter expertise in a broad spectrum of professional services. We have served as District Engineer for over 25 CDDs across Florida, varying in size from 200 acres to close to 10,000 acres. We are experienced in CDDs from the creation to the continued operations.

Our clients benefit from our local experience and presence, and our familiarity with entitlement issues, plan development and review processes, and local codes and ordinances. We offer creative and cost-effective designs that transform communities.

DEWBERRY WAS NAMED ENR'S 2019 SOUTHEAST DESIGN FIRM OF THE YEAR

We provide our residential clients with a range of services that include land planning, entitlement approval, infrastructure design and permitting, surveying, stormwater modeling, environmental review and permitting, sustainable design, landscape architecture, and cost and schedule estimating. We envision and help realize possibilities to enrich communities, restore built and natural environments, and manage positive change.

The following table demonstrates our CDD experience throughout Florida:

CDD/Location	District Engineer	Planning	Due Diligence	Civil Engineering	Roadway Design	Stormwater Design	Environmental/Permitting	Landscape Architecture	Survey	Construction Admin
Cascades at Groveland CDD, Groveland, FL	●	●	●	●	●	●	●		●	●
Country Greens CDD (Sorrento Springs CDD), Lake County, FL	●	●	●	●	●	●	●	●	●	●
Covington Park CDD, Hillsborough County, FL	●	●		●	●	●	●	●	●	●
Deer Run CDD, Flagler County, FL	●	●		●	●	●		●	●	●
Dowden West CDD, Orange County, FL	●	●	●	●	●	●	●	●	●	●
East Park CDD, Orange County, FL	●	●		●			●		●	●
Greater Lakes - Sawgrass Bay CDD, Lake Wales, FL	●	●		●			●		●	●
Highland Meadows CDD, Polk County, FL	●	●		●	●	●	●	●	●	●
Lake Ashton CDD, Lake Wales, FL	●			●	●	●				●
Lakewood Ranch CDDs 1, 2, 4, 5, 6, Manatee County, FL	●	●		●			●	●	●	●
Lakewood Ranch Stewardship, Manatee County, FL	●	●		●	●	●			●	
Live Oak Lake (Twin Lakes Development) CDD, Osceola County, FL	●	●	●	●	●	●	●	●	●	●
Montecito CDD, Brevard County, FL	●			●					●	●

<u>CDD/Location</u>	District Engineer	Planning	Due Diligence	Civil Engineering	Roadway Design	Stormwater Design	Environmental/Permitting	Landscape Architecture	Survey	Construction Admin
Narcoossee CDD , Orange County, FL	●	●		●			●		●	●
On-Top-of-the-World CDDs , Marion County, FL	●	●		●	●	●			●	●
Osceola Chain of Lakes , Osceola County, FL	●	●	●	●	●	●	●	●	●	●
Reedy Creek Improvement District , Osceola County, FL	●	●		●			●		●	●
Reunion Resort CDD , Osceola County, FL	●	●		●		●			●	●
Verandas CDD , Pasco County, FL	●	●		●			●		●	●
Viera CDD , Brevard County, FL	●	●		●			●		●	●
VillaSol CDD , Osceola County, FL	●	●		●	●	●		●	●	●

Geographic Location

With 15 office locations and over 300 employees in Florida, we bring expertise, qualifications, and resources to clients throughout the State.

Located in our locally managing Tallahassee office, Ayodeji will be responsive, make frequent visits, and be readily available for meetings, presentations, or site visits. Additionally, our project team includes additional Tallahassee staff members proposed for this contract, which leads all components of our assignments to be developed concurrently by a cohesive team.

By utilizing our extensive presence within Northwest and Central Florida, our approach to the CDD's projects will combine our understanding of the various project assignments with our experience in identifying the CDD's needs to develop the appropriate project team for each assignment. This allows us to minimize the time needed from project request to "boots on the ground" activity.

In addition, our team is supported by nationally-recognized subject matter experts and dedicated quality control staff who have the required capacity to provide the array of required services to Canopy CDD. This depth of organization permits us to call upon specialists and a broad base of support to satisfy diverse or manpower intensive tasks.

Current and Projected Workloads

Dewberry has an excellent track record of meeting time and budget requirements on the projects we have highlighted in this response and will meet this goal with Canopy CDD. **We are fully available for this contract!**

Our team, supported by a strong in-house team of infrastructure design specialists, planners, surveyors, environmental scientists, right-of-way mappers, roadway engineers, maintenance of traffic engineers and construction inspection personnel, has the capacity to address all of the CDD's needs throughout the term of this contract.

Due to the capacity and availability of our proposed staff, we can commit to the CDD our dedicated team members for these important projects.

Volume of Work Previously Awarded to Consultant by District

Although Dewberry has not worked for Canopy CDD, we have extensive working experience with numerous CDDs. As demonstrated throughout our proposal, we currently serve as the District Engineer for over 25 CDDs in Florida, which allows us to provide Canopy CDD with the unique experience, familiarity, and understanding of the type of services that will be requested.



 **Dewberry®**

www.dewberry.com

SECTION B



CANOPY COMMUNITY DEVELOPMENT DISTRICT

Professional Engineering Services

APRIL 30, 2020



April 30, 2020

Darrin Mossing
Government Services Central Florida
Attn: Canopy Community Development District RFQ for Engineering Services
2005 Pan Am Circle, Suite 300
Tampa, FL 33607

RE: Engineering Services for Canopy Community Development District Request for Qualifications

Dear Mr. Mossing:

Halff would be honored to assist Canopy Community Development District (Canopy CDD) with Engineering Services for this master plan community located in Leon County, Florida. We are familiar with and understand the requirements of CDD funding and are well qualified to assume responsibility for any aspect of the CDD or project. Based on our past experience, the Halff team has a proven track record on similar projects and can provide the service, capacity, and expertise to help Canopy CDD achieve its goals.

Adequacy of Staff – The Halff team is comprised of engineering, planning, environmental, landscape architecture, and design professionals with both in-depth expertise and project experience related to community development districts and the operation, design and permitting of residential communities. David Hutcheson, PE, District Engineer, is very familiar with the City of Tallahassee and Leon County and all necessary elements required of a District Engineer.

Comparable Experience – The Halff team has experience with a wide range of public and private projects. In addition to our vast experience, members of our staff have served as Board Members on several other CDDs. Halff is currently the District Engineer for the Triple Creek CDD and the Reserve at Pradera CDD. This experience as Board Members, CDD Engineer, as well as Design and Permitting Engineer, provides valuable insight into the operation, budget, and engineering/design issues and considerations the CDD Engineer must understand and consider. Our considerable experience and contacts with Leon County provide valuable insight and creative recommendations on how to solve problems unique to a dynamic CDD such as Canopy.

Local Experience – With the immense local experience our key team members have with Leon County, the City of Tallahassee, along with CDD expertise, Canopy CDD will experience unsurpassed service from our team.

We are committed to being fully engaged on this assignment and look forward to the opportunity to work with you and the Canopy Community Development District staff.

Yours to count on,

David W. Hutcheson, PE, PSM

STANDARD FORM 330

ARCHITECT - ENGINEER QUALIFICATIONS

PART I - CONTRACT-SPECIFIC QUALIFICATIONS

A. CONTRACT INFORMATION

1. TITLE AND LOCATION (*City and State*)

Engineering Services for Canopy Community Development District

2. PUBLIC NOTICE DATE

4/12/2020

3. SOLICITATION OR PROJECT NUMBER

B. ARCHITECT-ENGINEER POINT OF CONTACT

4. NAME AND TITLE

David W. Hutcheson, PE, PSM

5. NAME OF FIRM

Halff Associates, Inc.



6. TELEPHONE NUMBER

(850) 848-9414

7. FAX NUMBER

(850) 681-3600

8. E-MAIL ADDRESS

dhutcheson@Halff.com

C. PROPOSED TEAM

(Complete this section for the prime contractor and all key subcontractors.)

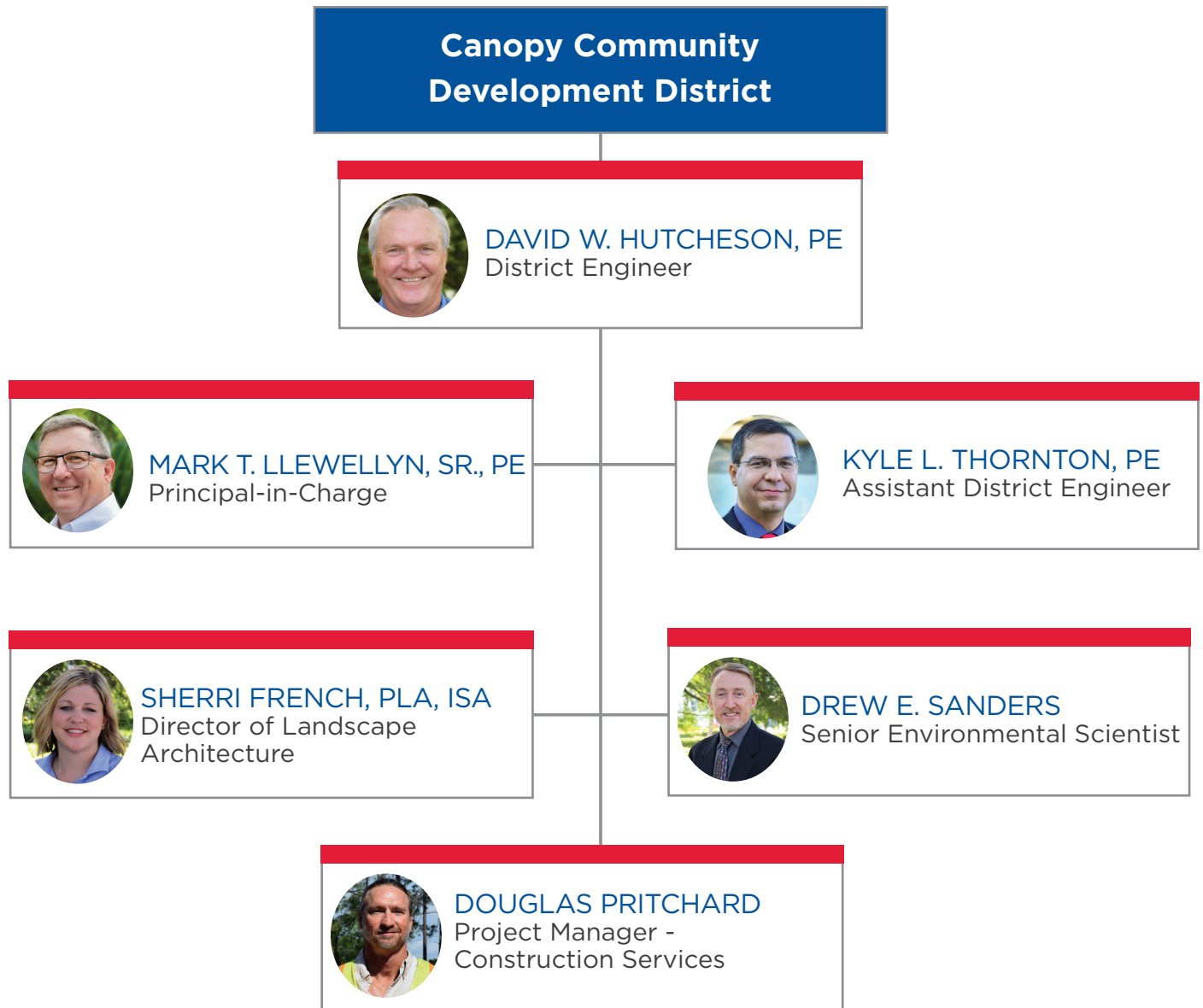
	(Check)				9. FIRM NAME	10. ADDRESS	11. ROLE IN THIS CONTRACT
	PRIME	J-V	PARTNER	SUBCON-TRACTOR			
a.	<input checked="" type="checkbox"/>				Halff Associates, Inc. <input checked="" type="checkbox"/> CHECK IF BRANCH OFFICE	2507 Callaway Road, Suite 100 Tallahassee, Florida 32303	Site/Civil Engineering, Landscape Architecture, Master Planning, Utilities, Transportation Engineering, Environmental
a.	<input checked="" type="checkbox"/>				Halff Associates, Inc. <input checked="" type="checkbox"/> CHECK IF BRANCH OFFICE	1000 N. Ashley Dr., Suite 900 Tampa, Florida 33602	Site/Civil Engineering, Landscape Architecture, Master Planning, Utilities, Transportation Engineering, Environmental

D. ORGANIZATIONAL CHART OF PROPOSED TEAM

☒ (Attached)




ORGANIZATIONAL CHART



CANOPY COMMUNITY DEVELOPMENT DISTRICT
REQUEST FOR QUALIFICATIONS FOR ENGINEERING SERVICES

E. RESUMES OF KEY PERSONNEL PROPOSED FOR THIS CONTRACT

(Complete one Section E for each key person.)

12. NAME David W. Hutcheson, PE	13. ROLE IN THIS CONTRACT District Engineer	14. YEARS EXPERIENCE	
		a. TOTAL 35	b. WITH CURRENT FIRM 5
15. FIRM NAME AND LOCATION (City and State) Halff Associates, Inc., Tallahassee, Florida			
15. EDUCATION (DEGREE AND SPECIALIZATION) Bachelor of Science - Civil Engineering Florida State University, FL 1985		17. CURRENT PROFESSIONAL REGISTRATION (STATE AND DISCIPLINE) Professional Engineer, FL: 38670, GA: 17573, TX 136364 Professional Surveyor and Mapper, FL: 5051, GA: 3232	
18. OTHER PROFESSIONAL QUALIFICATIONS (Publications, Organizations, Training, Awards, etc.) Florida Engineering Society; American Society of Civil Engineers			

19. RELEVANT PROJECTS


(1) TITLE AND LOCATION (City and State) Woodside Heights Wastewater Retrofit Tallahassee, FL	(2) YEAR COMPLETED	
	PROFESSIONAL SERVICES 2018	CONSTRUCTION (if applicable) Ongoing
a. (3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE <input checked="" type="checkbox"/> Check if project performed with current firm Mr. Hutcheson is Project Manager for this septic-to-sewer project located at the intersection of Capital Circle and Woodville Highway. The project involved community outreach; one-on-one resident involvement; survey coordination; design of lot-by-lot sewer and water service plans; and the design of central gravity sewer, pump station, and force main to serve an existing subdivision of over 200 homes. This project included all aspects of project management including permitting through Leon County DSEM, FDOT, FDEP, and NFWFMD, and coordination with the City of Tallahassee Utility Department.		
(1) TITLE AND LOCATION (City and State) Gardenia Gardens Water & Sewer Tallahassee, Florida	(2) YEAR COMPLETED	
	PROFESSIONAL SERVICES 2020	CONSTRUCTION (if applicable) Ongoing
b. (3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE <input checked="" type="checkbox"/> Check if project performed with current firm Provided professional engineering services for the design, permitting, and construction documents for the gravity sewer lines and potable water mains within the Gardenia Gardens subdivision. This subdivision was originally platted in the 1960s with Vitrified Clay Pipe sewer lines with numerous structural defects in need of repair. Rather than repair, the City opted for a complete replacement of the pipe with new sewer as well as replacing the entire water system including adding fire hydrants to provide better fire protection for the nearly 125 homes.		
(1) TITLE AND LOCATION (City and State) SE Gravity Sewer/Sembler Pump Station Tallahassee, FL	(2) YEAR COMPLETED	
	PROFESSIONAL SERVICES 2018	CONSTRUCTION (if applicable) Ongoing
c. (3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE <input checked="" type="checkbox"/> Check if project performed with current firm Provided professional engineering and surveying services for the design, permitting, and construction documents for the gravity sewer from the end of the recently completed 18-inch gravity sewer at Merchants Row Blvd. to a location approximately 6,000 feet south at the Sembler Pump Station site in addition to a 15-inch gravity sewer line from Capital Circle Southwest to the Sembler Pump Station site.		
(1) TITLE AND LOCATION (City and State) Evergreen at Southwood Apartments Tallahassee, FL	(2) YEAR COMPLETED	
	PROFESSIONAL SERVICES 2016	CONSTRUCTION (if applicable) 2018
d. (3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE <input checked="" type="checkbox"/> Check if project performed with current firm Land use planning, site plan design, grading, drainage, and environmental permitting were provided for this 28-acre site with 288 units that consisted of 1-, 2- and 3-bedroom apartments with a clubhouse and swimming pool area. Working with the City of Tallahassee to expand an existing stormwater facility to provide for rate and volume control in this closed basin. Offsite sewer extensions were needed to collect and transport the sewer from the development and other surrounding areas to the existing sewer system.		
(1) TITLE AND LOCATION (City and State) Benny Russell Park Expansion Phases 1-4 Santa Rosa County, FL	(2) YEAR COMPLETED	
	PROFESSIONAL SERVICES 2020	CONSTRUCTION (if applicable) 2021 (Proposed)
e. (3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE <input checked="" type="checkbox"/> Check if project performed with current firm The objective is to implement Phases 1-4 of the Park Master Site Plan completed by Halff and accepted by the Santa Rosa County Commission. The elements of the project include an interactive water park, restroom facility, multipurpose sports field, multiuse onsite walking path, a neighborhood interconnection multipurpose walking path and a space to construct a future building for community recreational activities.		



CANOPY COMMUNITY DEVELOPMENT DISTRICT
REQUEST FOR QUALIFICATIONS FOR ENGINEERING SERVICES

E. RESUMES OF KEY PERSONNEL PROPOSED FOR THIS CONTRACT

(Complete one Section E for each key person.)


12. NAME Mark T. Llewellyn, Sr., PE	13. ROLE IN THIS CONTRACT Principal-in-Charge	14. YEARS EXPERIENCE a. TOTAL 38 b. WITH CURRENT FIRM 33	
15. FIRM NAME AND LOCATION (City and State) Halff Associates, Inc., Tallahassee, Florida			
15. EDUCATION (DEGREE AND SPECIALIZATION) Bachelor of Science, Civil Engineering, Brigham Young University, Utah, 1982		17. CURRENT PROFESSIONAL REGISTRATION (STATE AND DISCIPLINE) Professional Engineer FL: 37307 GA: 21952 AL: 20925 NC: 025182 TX112243	
18. OTHER PROFESSIONAL QUALIFICATIONS (Publications, Organizations, Training, Awards, etc.) 2011 Engineer of the Year by FES; 2003 Engineer of the Year by FES; Florida Engineering Society Big Bend Chapter; American Society of Civil Engineers; Institute of Transportation Engineers			
19. RELEVANT PROJECTS			
(1) TITLE AND LOCATION (City and State) Capital Cascades Trail Master Plan & Cascades Park Tallahassee, FL		(2) YEAR COMPLETED PROFESSIONAL SERVICES 2003-2010 CONSTRUCTION (if applicable) 2010-2014	
a. (3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE Completed in 2006, the Trail Master Plan addressed a recreation development and extensive stormwater management facilities in a 5.2 mile corridor through downtown Tallahassee's Southeast quadrant. Park amenities include: Cascade Fountain waterfall and several pond overlooks; signature bridges; Smokey Hollow (historic community) Commemoration; Korean War Memorial; performing arts amphitheater; Discovery and Adventure Garden featuring interactive, nature-oriented activities for children and adults; an interactive fountain and water play area; 2.3 miles of walking and bicycle trails; restrooms; and other park amenities. Role: Project Manager		<input checked="" type="checkbox"/> Check if project performed with current firm comprehensive program for new passive	
(1) TITLE AND LOCATION (City and State) Cascades Development Tallahassee, FL		(2) YEAR COMPLETED PROFESSIONAL SERVICES 2018-2020 CONSTRUCTION (if applicable) 2019-2020	
b. (3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE Adjacent to Cascades Park, the Cascades Development will be the preeminent development in downtown Tallahassee. Designed on two parcels located in the elbow of the Park, the development will include residential units, commercial use including retail and restaurant uses, office use, a hotel and accessory use for the existing Amphitheater located at the southeast corner of the site. The site layout is designed to meet the vision of the City of a viable, mixed use development that attracts residents as well as providing employment, retail and entertainment opportunities. Role: Project Manager		<input checked="" type="checkbox"/> Check if project performed with current firm	
(1) TITLE AND LOCATION (City and State) Gaines Street Student Housing Tallahassee, FL		(2) YEAR COMPLETED PROFESSIONAL SERVICES 2013-2020 CONSTRUCTION (if applicable) 2015-2020	
c. (3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE North American Properties developed four mixed-use residential projects in the Gaines Street corridor. These projects included The Block, The Deck, The Axis, and The Lumberyard. Halff coordinated the land development permitting required for this project by the City. Role: Project Manager		<input checked="" type="checkbox"/> Check if project performed with current firm	
(1) TITLE AND LOCATION (City and State) Rhythm Community Design & Regional Planning Washington County, FL		(2) YEAR COMPLETED PROFESSIONAL SERVICES 2009-2012 CONSTRUCTION (if applicable) N/A	
d. (3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE The proposed Rhythm development is a 1,883-acre Active Adult Retirement Community in Washington County approximately three miles west of US 231; including 3,200 residential units, a Village Center with retail and office space, central water and wastewater treatment plants, and numerous civic amenities. These amenities include an extensive trail network, a grand lawn, an equestrian facility, community gardens and parks. Role: Project Manager		<input checked="" type="checkbox"/> Check if project performed with current firm	
(1) TITLE AND LOCATION (City and State) The Pinnacle at Cross Creek Tallahassee, FL		(2) YEAR COMPLETED PROFESSIONAL SERVICES 2006-2007 CONSTRUCTION (if applicable) N/A	
e. (3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE The Pinnacle at Cross Creek is a mixed-use Development of Regional Impact (DRI) located at the southwest quadrant of the intersection of Interstate 10 and US Highway 90. The project consists of approximately 1,000,000 square feet of commercial retail/office space and up to 400 residential units. Halff modeled the tributary using XP-SWMM, a storm water management modeler, to identify the existing flood prone areas to determine what improvements were needed to ensure the existing conditions were not impacted by the development. Role: Project Manager		<input checked="" type="checkbox"/> Check if project performed with current firm	



CANOPY COMMUNITY DEVELOPMENT DISTRICT
REQUEST FOR QUALIFICATIONS FOR ENGINEERING SERVICES

E. RESUMES OF KEY PERSONNEL PROPOSED FOR THIS CONTRACT

(Complete one Section E for each key person.)


12. NAME Kyle L. Thornton, PE	13. ROLE IN THIS CONTRACT Assistant District Engineer	14. YEARS EXPERIENCE a. TOTAL 20 b. WITH CURRENT FIRM 16			
15. FIRM NAME AND LOCATION (City and State) Halff Associates, Inc., Tampa, Florida					
15. EDUCATION (DEGREE AND SPECIALIZATION) BS/Civil Engineering University of South Florida		17. CURRENT PROFESSIONAL REGISTRATION (STATE AND DISCIPLINE) Professional Engineer, FL: 60279			
18. OTHER PROFESSIONAL QUALIFICATIONS (Publications, Organizations, Training, Awards, etc.) International Council of Shopping Centers, Tampa Bay Builders Association (TBBA)					
19. RELEVANT PROJECTS					
(1) TITLE AND LOCATION (City and State) Triple Creek Community Hillsborough County, Florida		(2) YEAR COMPLETED			
a. (3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE CDD Engineer and Engineer of Record. Halff provides master planning, design, permitting, construction services and also serves as the District Engineer for the CDD on the 1,050 acre, 2,000+ unit mixed use project. The project includes multiple amenity features including miles of paved trails, numerous wetlands, a lake, creek system and 100's of acres of preservation land. Additionally, there are several community pools, playgrounds and recreation areas. Monument signs, landscape and irrigation are also under the direction of the CDD Engineer. Example services include evaluation of flooding issues on District property, consideration of additional landscaping and/or fencing to provide buffering between District property and adjacent land, evaluation of resident complaints, negotiation of penalties resulting from unauthorized habitat impacts from adjacent property owners, oversight of District construction projects, oversight of District construction budgets, attendance at District public meetings, cost estimates, engineer's reports and assistance with bonding.		<input checked="" type="checkbox"/> Check if project performed with current firm <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; text-align: center;">PROFESSIONAL SERVICES Ongoing</td> <td style="width: 50%; text-align: center;">CONSTRUCTION (if applicable) Ongoing</td> </tr> </table>		PROFESSIONAL SERVICES Ongoing	CONSTRUCTION (if applicable) Ongoing
PROFESSIONAL SERVICES Ongoing	CONSTRUCTION (if applicable) Ongoing				
b. (1) TITLE AND LOCATION (City and State) Brooker Ridge Hillsborough County, Florida		(2) YEAR COMPLETED			
(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE Engineer of Record for the Design, Permitting and Construction of 120+/- infill subdivision on 36+/- acres within the Brandon area of Hillsborough County. Project included a new wastewater pump station, a 2,400+/- LF forcemain extension along John Moore Road, the replacement and upgrade of the adjacent potable watermain in John Moore Road and a new turn lane at the project entry.		<input checked="" type="checkbox"/> Check if project performed with current firm <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; text-align: center;">PROFESSIONAL SERVICES 2017</td> <td style="width: 50%; text-align: center;">CONSTRUCTION (if applicable) 2018</td> </tr> </table>		PROFESSIONAL SERVICES 2017	CONSTRUCTION (if applicable) 2018
PROFESSIONAL SERVICES 2017	CONSTRUCTION (if applicable) 2018				
c. (1) TITLE AND LOCATION (City and State) Reserve at Pradera Subdivision Hillsborough County, Florida		(2) YEAR COMPLETED			
(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE Project Manager. For the multi-phased design, engineering and permitting of a 182+/- acres, 350+ lot detached single family development in southern Hillsborough County. Project includes off site roadway widening and a new divided collector roadway with two roundabouts traversing through the development. Services also included Master Planning, Zoning, Amenity Theming, Enhanced Landscape Design, Surveying, Bidding Assistance and Construction Services.		<input checked="" type="checkbox"/> Check if project performed with current firm <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; text-align: center;">PROFESSIONAL SERVICES Ongoing</td> <td style="width: 50%; text-align: center;">CONSTRUCTION (if applicable) Ongoing</td> </tr> </table>		PROFESSIONAL SERVICES Ongoing	CONSTRUCTION (if applicable) Ongoing
PROFESSIONAL SERVICES Ongoing	CONSTRUCTION (if applicable) Ongoing				
d. (1) TITLE AND LOCATION (City and State) Hillsborough County Veterans Park - Memorials Hillsborough County, Florida		(2) YEAR COMPLETED			
(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE Project Manager/Engineer. Halff was requested by Hillsborough County to provide construction plans for two new phases of memorials at the Hillsborough County Veterans Memorial Park and Museum. The project was multi-phased and included refining the conceptual design provided by the various committees established for each memorial. Memorials include Medal of Honor, Seminole Wars, Civil War, WWI, WWII, Korea, Vietnam, Gulf War, Iraq War, Afghanistan, POW/MIA and Purple Heart. Individual budgets were prepared for each memorial including value add and value engineering suggestions. As part of the plan development process, Halff coordinated with various material providers, the Veteran's Memorial committee, individual memorial sub committees and County personnel. Upon acceptance of the plans Halff obtained permits and assisted with construction oversight. Drainage Permits were obtained from FDEP and Hillsborough County.		<input checked="" type="checkbox"/> Check if project performed with current firm <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; text-align: center;">PROFESSIONAL SERVICES 2017</td> <td style="width: 50%; text-align: center;">CONSTRUCTION (if applicable) 2017</td> </tr> </table>		PROFESSIONAL SERVICES 2017	CONSTRUCTION (if applicable) 2017
PROFESSIONAL SERVICES 2017	CONSTRUCTION (if applicable) 2017				



CANOPY COMMUNITY DEVELOPMENT DISTRICT
REQUEST FOR QUALIFICATIONS FOR ENGINEERING SERVICES

E. RESUMES OF KEY PERSONNEL PROPOSED FOR THIS CONTRACT

(Complete one Section E for each key person.)


12. NAME Sherri French, PLA	13. ROLE IN THIS CONTRACT Director of Landscape Architecture	14. YEARS EXPERIENCE a. TOTAL 11 b. WITH CURRENT FIRM 3	
15. FIRM NAME AND LOCATION (City and State) Halff Associates, Inc., Tampa, Florida			
15. EDUCATION (DEGREE AND SPECIALIZATION) Master of Landscape Architecture - Landscape Architecture & Environmental Planning, USU BS Horticulture Residential Design/Build, BYU		17. CURRENT PROFESSIONAL REGISTRATION (STATE AND DISCIPLINE) Registered Landscape Architect, FL: LA6667344 Registered Landscape Architect, ID: 16806 Certified Arborist, FL: 9297A	
18. OTHER PROFESSIONAL QUALIFICATIONS (Publications, Organizations, Training, Awards, etc.) American Society of Landscape Architects (National and Local Chapters) International Society of Arboriculture (National and Local Chapters)			
19. RELEVANT PROJECTS			
(1) TITLE AND LOCATION (City and State) Triple Creek Community Landscape Design Hillsborough County, FL		(2) YEAR COMPLETED PROFESSIONAL SERVICES 2017 CONSTRUCTION (if applicable) 2018	
a. (3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE Assisted in designing, drafting, and creating notes and specifications for multi-million-dollar enhanced landscape and irrigation for this master planned community. Participated in bid phase services including answering RFI's, evaluating bids and providing recommendations to client. Explored several options for pavement materials for community sidewalks and walking trails. Incorporated large trees and palms as appropriate to create a dramatic aesthetic. Designed unique site features at various locations to create a bold and unique appearance appropriate for viewing by vehicular and pedestrian traffic without interfering with the safety of the users.		<input type="checkbox"/> Check if project performed with current firm	
(1) TITLE AND LOCATION (City and State) The Reserve at Citrus Park Hillsborough County, FL		(2) YEAR COMPLETED PROFESSIONAL SERVICES 2017 CONSTRUCTION (if applicable) 2017	
b. (3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE Provided conceptual design alternatives for subdivision common areas including entry features, automated security gate access, tot lot, monument sign and pillars, and associated landscape and irrigation. Provided graphic renderings and construction estimating. Created construction documents for all proposed enhanced landscape enhancements.		<input checked="" type="checkbox"/> Check if project performed with current firm	
(1) TITLE AND LOCATION (City and State) Fowler and I-75 Landscape Improvements Hillsborough County, FL		(2) YEAR COMPLETED PROFESSIONAL SERVICES 2016 CONSTRUCTION (if applicable) 2017	
c. (3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE Prepare construction documentation including extensive notes and details for landscape plans at this major interchange along the I-75 corridor. Landscape enhancements provided aesthetic appeal without compromising the safety of the traveling public. Incorporated large tiered retaining walls as appropriate within infields to facilitate planting on steepest slopes.		<input checked="" type="checkbox"/> Check if project performed with current firm	
(1) TITLE AND LOCATION (City and State) SR 281/Avalon Blvd. at SR8 (I-10) Landscaping FDOT District 3 Hillsborough County, FL		(2) YEAR COMPLETED PROFESSIONAL SERVICES 2017 CONSTRUCTION (if applicable) 2019	
d. (3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE Prepared construction documentation for landscape improvements at major interchange. Ensured compliance with standard FDOT indexes. Aided in plant selection to ensure long term viability of plantings with no supplemental irrigation after initial establishment. Made design adjustments to ensure budgetary requirements were met without sacrificing aesthetics of the design.		<input checked="" type="checkbox"/> Check if project performed with current firm	
(1) TITLE AND LOCATION (City and State) New York Life Courtyard Enhancements Tampa, FL		(2) YEAR COMPLETED PROFESSIONAL SERVICES 2018 CONSTRUCTION (if applicable) 2019	
e. (3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE Provided phased concept and construction plans for a revitalized social space at the New York Life's corporate campus located in Tampa, Florida. The reinvigorated space was brought to life through the restoration and regrading of an existing pond, decorative hardscape materials, seat wall, site furniture, and an architectural shade structure as the focal point of the redesigned space.		<input checked="" type="checkbox"/> Check if project performed with current firm	



CANOPY COMMUNITY DEVELOPMENT DISTRICT
REQUEST FOR QUALIFICATIONS FOR ENGINEERING SERVICES

E. RESUMES OF KEY PERSONNEL PROPOSED FOR THIS CONTRACT

(Complete one Section E for each key person.)


12. NAME Doug Pritchard	13. ROLE IN THIS CONTRACT Project Manager - Construction Services	14. YEARS EXPERIENCE a. TOTAL 36 b. WITH CURRENT FIRM 20	
15. FIRM NAME AND LOCATION (City and State) Halff Associates, Inc., Crestview, Florida			
15. EDUCATION (DEGREE AND SPECIALIZATION) Bachelor of Science in Business Administration University of West Florida	17. CURRENT PROFESSIONAL REGISTRATION (STATE AND DISCIPLINE) Tin # P63217768; CTQP Asphalt Paving Level 2, CTQP Asphalt Plant Level 2, CTQP QC Manager, CTQP Final Estimates Level 2, CTQP Concrete Field Tech 1, CTQP Drilled Shaft Insp, ACI Concrete Field Tech Testing Tech, Prestressed Concrete Insp, Nuclear Safety Certification, Advanced MOT, Mutual Gains Negotiations, Manufacturer Trained Fiber Optic Cable Installation and Splicing, FDEP Stormwater Erosion & Sedimentation Control Insp., Guardrail Training, FDOT EDMS, Multi-Line Earthwork Basic & Advanced, Primavera Project Planner (P3), SSPC C-3 Supervisor/Competent Person Training for the Deleading		
18. OTHER PROFESSIONAL QUALIFICATIONS (Publications, Organizations, Training, Awards, etc.) of Industrial Structures, CTQP Pile Driving N/A			
19. RELEVANT PROJECTS			
(1) TITLE AND LOCATION (City and State) SR 30 (US 98) from Walton County Line to Tang-O Mar (T3579; 414132-4-52-01), Walton County, FL		(2) YEAR COMPLETED PROFESSIONAL SERVICES 2016 CONSTRUCTION (if applicable) Ongoing	
a. (3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE Serving as Project Administrator on this full reconstruction and widening of US 98 from 4-lane rural to 6-lane urban typical section. This 1090-day, \$42.5 million project includes extensive MOT phasing, 4 new detention ponds, conversion of drainage from open ditch to closed system, and 6 new mast arm signalized intersections. The project involves utility coordination and is located in a densely populated business corridor in Miramar Beach, a tourist destination with seasonal heavy traffic.		<input checked="" type="checkbox"/> Check if project performed with current firm	
(1) TITLE AND LOCATION (City and State) SR 8 (I-10) from East of SR 87 to Okaloosa County Line (T3564; 432736-1-52-01), Okaloosa County, FL		(2) YEAR COMPLETED PROFESSIONAL SERVICES 2016 CONSTRUCTION (if applicable) 2017	
b. (3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE Served as Project Administrator on this \$8.99 million, 260-day duration project, within Group 16E, to mill and resurface SR 8 (I-10) travel lanes, shoulders, and on/off ramps. Overbuild is included in the project for cross slope correction on SR 8 (I-10). In addition, this project includes guardrail upgrades, striping, and drainage.		<input checked="" type="checkbox"/> Check if project performed with current firm	
(1) TITLE AND LOCATION (City and State) SR 10 (US 90) from Shoal River to Walton County Line (E3070; 432541-1-52-01), Walton County, FL		(2) YEAR COMPLETED PROFESSIONAL SERVICES 2016 CONSTRUCTION (if applicable) 2016	
c. (3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE Served as Project Administrator on one (1) of the four (4) projects within Group 16-E. A 90-day duration project to mill and resurface SR 10 (US 90) travel lanes and shoulders. This project also includes striping, guardrail improvements, drainage, and turnout construction.		<input checked="" type="checkbox"/> Check if project performed with current firm	
(1) TITLE AND LOCATION (City and State) SR 10 (US 90) from Summertime Road to SR 4 (E3N74; 426969-1-52-01), Walton County, FL		(2) YEAR COMPLETED PROFESSIONAL SERVICES 2016 CONSTRUCTION (if applicable) 2016	
d. (3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE Served as Project Administrator on one (1) of the four (4) projects, within Group 16-E. A 125-day duration project to mill and resurface SR 10 (US 90) travel lanes and shoulders. Overbuild is included in this project for cross slope correction in super-elevated areas. In addition, the project includes striping, water blasting existing thermoplastic striping, guardrail upgrades, ditch pavement, and mitered-end sections (MES).		<input checked="" type="checkbox"/> Check if project performed with current firm	
(1) TITLE AND LOCATION (City and State) SR 8 (I-10) from East of Santa Rosa County Line to East of CR 189 in Okaloosa County (T3552; 432737-1-52-01), FL		(2) YEAR COMPLETED PROFESSIONAL SERVICES 2015 CONSTRUCTION (if applicable) 2016	
e. (3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE Served as Project Administrator on this \$3.67 million, 125-day duration project, within Group 16E, to mill and resurface SR 8 (I-10) travel lanes, shoulders, and on/off ramps. Overbuild is included in the project for cross slope correction on SR 8 (I-10). In addition, this project includes guardrail upgrades, striping, drainage, rumble strip reconstruction, and wildlife fence replacement.		<input checked="" type="checkbox"/> Check if project performed with current firm	



CANOPY COMMUNITY DEVELOPMENT DISTRICT
REQUEST FOR QUALIFICATIONS FOR ENGINEERING SERVICES


E. RESUMES OF KEY PERSONNEL PROPOSED FOR THIS CONTRACT

(Complete one Section E for each key person.)

12. NAME Drew E. Sanders	13. ROLE IN THIS CONTRACT Senior Environmental Scientist	14. YEARS EXPERIENCE a. TOTAL 27 b. WITH CURRENT FIRM 1	
15. FIRM NAME AND LOCATION (City and State) Halff Associates, Inc., Tampa, Florida			
15. EDUCATION (DEGREE AND SPECIALIZATION) BS/Biology, University of South Florida Graduate Courses, University of South Florida		17. CURRENT PROFESSIONAL REGISTRATION (STATE AND DISCIPLINE)	
18. OTHER PROFESSIONAL QUALIFICATIONS (Publications, Organizations, Training, Awards, etc.) N/A			
19. RELEVANT PROJECTS			
(1) TITLE AND LOCATION (City and State) Heights of Tampa Hillsborough County, FL		(2) YEAR COMPLETED PROFESSIONAL SERVICES 2009 CONSTRUCTION (if applicable)	
a. (3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE Assisted with site design and environmental permitting to allow conversion of the abandoned City of Tampa shipping port, industrial buildings, and single-family residences along the Hillsborough River in Tampa Heights into a mixed-use residential and commercial development and 101-slip marina to complement the City of Tampa's downtown revitalization efforts. The project also included the northward extension of the City of Tampa's Riverwalk through Water Works Park, maintenance dredging of the Hillsborough River to accommodate the proposed public marina, installation of riprap revetment, and the repair and replacement of approximately 1,000 feet of seawall along the river shoreline. Mr. Sanders provided wetland delineations, sediment and water quality sampling, habitat mapping in support of environmental permit applications. As a part of the environmental permitting effort, a preliminary mitigation plan to compensation for wetland losses and alterations associated with the redevelopment of the property was developed for Waterworks Park which included the planned creation of a 0.75-acre estuarine, tidal marsh along the southern extent of Water Works Park and the restoration of Ulele Spring, including a restored spring run to directly connect the headwater to the Hillsborough River.		<input type="checkbox"/> Check if project performed with current firm	
b. (1) TITLE AND LOCATION (City and State) Citrus Grove Development Okeechobee County, FL		(2) YEAR COMPLETED PROFESSIONAL SERVICES 2002 CONSTRUCTION (if applicable)	
(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE Completed wetland delineations, listed species surveys, and provided environmental permitting assistance for this 14,000-acre project. Listed wildlife species observed during surveys included the burrowing owl, caracara, gopher tortoise, Florida grasshopper sparrow, Florida sandhill crane, and a variety of wading birds.		<input type="checkbox"/> Check if project performed with current firm	
c. (1) TITLE AND LOCATION (City and State) Ashley Glen Pasco County, FL		(2) YEAR COMPLETED PROFESSIONAL SERVICES Ongoing CONSTRUCTION (if applicable) 2017	
(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE Mr. Sanders assisted the client with wildlife surveys, wetland delineations and environmental permitting assistance for a mixed-use community in Pasco County, Florida. As a part of this effort, he also assisted with developing a wetland mitigation plan and obtaining approvals to relocate listed wildlife.		<input type="checkbox"/> Check if project performed with current firm	
d. (1) TITLE AND LOCATION (City and State) Mira Bay Hillsborough County, FL		(2) YEAR COMPLETED PROFESSIONAL SERVICES 2019 CONSTRUCTION (if applicable) 2019	
(3) BRIEF DESCRIPTION (Brief scope, size, cost, etc.) AND SPECIFIC ROLE Provided assistance with the environmental analysis and preparation of the application of the Harbor Bay Development of Regional Impact (DRI) for this private 600-acre development. Mr. Sanders also completed wetland delineations, listed species surveys, and provided environmental permitting assistance, including the design of the wetland mitigation plan that included a mix of fresh and saltwater wetland creation and enhancement of both upland and wetland communities. As a part of this effort, Mr. Sanders also assisted in the preparation of a canal enhancement plan that included the maintenance dredging of approximately 5 miles of residential canals in Apollo Beach, Florida. He also assisted in the development and implementation of a Manatee Protection Plan for the adjacent Tampa Bay waters.		<input type="checkbox"/> Check if project performed with current firm	



CANOPY COMMUNITY DEVELOPMENT DISTRICT
REQUEST FOR QUALIFICATIONS FOR ENGINEERING SERVICES

F. EXAMPLE PROJECTS WHICH BEST ILLUSTRATE PROPOSED TEAM'S QUALIFICATIONS FOR THIS CONTRACT (Present as many projects as requested by the agency, or 10 projects, if not specified. Complete one Section E for each key person.)		20. EXAMPLE PROJECT KEY NUMBER <div style="font-size: 2em; font-weight: bold;">1</div>			
21. TITLE AND LOCATION (City and State) Woodside Heights Wastewater Retrofit Tallahassee, FL		22. YEAR COMPLETED <table style="width: 100%; border: none;"> <tr> <td style="width: 50%; border: none; text-align: center;"> PROFESSIONAL SERVICES <div style="font-size: 1.2em; font-weight: bold;">2018</div> </td> <td style="width: 50%; border: none; text-align: center;"> CONSTRUCTION (if applicable) <div style="font-size: 1.2em; font-weight: bold;">Ongoing</div> </td> </tr> </table>		PROFESSIONAL SERVICES <div style="font-size: 1.2em; font-weight: bold;">2018</div>	CONSTRUCTION (if applicable) <div style="font-size: 1.2em; font-weight: bold;">Ongoing</div>
PROFESSIONAL SERVICES <div style="font-size: 1.2em; font-weight: bold;">2018</div>	CONSTRUCTION (if applicable) <div style="font-size: 1.2em; font-weight: bold;">Ongoing</div>				
23. PROJECT OWNER'S INFORMATION					
a. PROJECT OWNER Leon County	b. POINT OF CONTACT NAME Tom Brantley, PE	c. POINT OF TELEPHONE NUMBER (850) 606-1551			
24. BRIEF DESCRIPTION OF PROJECT AND RELEVANCE TO THIS CONTRACT (Include scope, size, and cost) <p>This project provided a central sewer system to the Woodside Heights neighborhood in southern Leon County with approximately 13,000 LF of 8" gravity sanitary sewer and approximately 4,500 LF 6" force main. This is the initial phase of a grant-funded effort to reduce the number of septic systems within the Wakulla Springs Basin. Halff has worked with the County to entice as many residents as possible to accept service through the use of signage in the neighborhood and direct mailing. To date, nearly 80% of properties have agreed to service. In addition to the central sewer system, Halff designed service plans for each individual property owners. Septic tanks were abandoned, and City water service were provided to those properties currently on wells.</p> <p>Risk Management/Mitigation: To manage potential conflicts with individual property owners, Halff proactively met with each property owner to describe the benefits of the project. Through this proactive effort, all property owners were receptive to the proposed designs facilitating on time delivery.</p> <p>Design Fee: \$480,290 Construction: \$4,500,000</p>					
					
25. FIRMS FROM SECTION C INVOLVED WITH THIS PROJECT					
a.	(1) FIRM NAME Halff Associates, Inc.	(2) FIRM LOCATION (City and State) Tallahassee, Florida	(3) ROLE Prime		



**CANOPY COMMUNITY DEVELOPMENT DISTRICT
REQUEST FOR QUALIFICATIONS FOR ENGINEERING SERVICES**

F. EXAMPLE PROJECTS WHICH BEST ILLUSTRATE PROPOSED TEAM'S QUALIFICATIONS FOR THIS CONTRACT (Present as many projects as requested by the agency, or 10 projects, if not specified. Complete one Section E for each key person.)		20. EXAMPLE PROJECT KEY NUMBER <div align="center" style="font-size: 2em;">2</div>					
21. TITLE AND LOCATION (City and State) Gardenia Gardens Water & Sewer Tallahassee, Florida		22. YEAR COMPLETED <table border="1"> <tr> <td>PROFESSIONAL SERVICES</td> <td>CONSTRUCTION (if applicable)</td> </tr> <tr> <td align="center">1/2020</td> <td align="center">Ongoing</td> </tr> </table>		PROFESSIONAL SERVICES	CONSTRUCTION (if applicable)	1/2020	Ongoing
PROFESSIONAL SERVICES	CONSTRUCTION (if applicable)						
1/2020	Ongoing						
23. PROJECT OWNER'S INFORMATION							
a. PROJECT OWNER City of Tallahassee Utilities		b. POINT OF CONTACT NAME Charles Fowinkle					
		c. POINT OF TELEPHONE NUMBER (850) 891-6103					
24. BRIEF DESCRIPTION OF PROJECT AND RELEVANCE TO THIS CONTRACT (Include scope, size, and cost) <p>Halff provided professional engineering services for the design, permitting, and construction documents for the gravity sewer lines and potable water mains within the Gardenia Gardens subdivision. This subdivision was originally platted in the early 1960s and the sewer lines were constructed with Vitrified Clay Pipe and as such the lines have numerous structural defects that need repair. Rather than do the repairs the City decided to do a completed replacement of the pipe with new sewer as well as replace the entire water system including adding fire hydrants to provide better fire protection for the nearly 125 homes in the neighborhood.</p> <p>Cost: \$76,921 (Design); Construction Cost: \$2,600,000</p>							
<p>The figure consists of two parts: a plan view (top) and a profile view (bottom). The plan view shows a network of sewer and water main lines with various annotations for construction, replacement, and existing infrastructure. It includes a north arrow and a scale bar. The profile view shows the vertical alignment of the sewer and water main lines, with elevations and slopes indicated. It includes a legend for existing and proposed lines, and a scale of 1 inch = 20 feet horizontally and 1 inch = 5 feet vertically.</p>							
25. FIRMS FROM SECTION C INVOLVED WITH THIS PROJECT							
a. (1) FIRM NAME Halff Associates, Inc.	(2) FIRM LOCATION (City and State) Tallahassee, Florida	(3) ROLE Prime					



CANOPY COMMUNITY DEVELOPMENT DISTRICT
REQUEST FOR QUALIFICATIONS FOR ENGINEERING SERVICES

F. EXAMPLE PROJECTS WHICH BEST ILLUSTRATE PROPOSED TEAM'S QUALIFICATIONS FOR THIS CONTRACT (Present as many projects as requested by the agency, or 10 projects, if not specified. Complete one Section E for each key person.)		20. EXAMPLE PROJECT KEY NUMBER <div style="font-size: 24pt; font-weight: bold;">3</div>			
21. TITLE AND LOCATION (City and State) SE Gravity Sewer/Sembler Pump Station Tallahassee, FL		22. YEAR COMPLETED <table style="width: 100%; border: none;"> <tr> <td style="border: none; width: 50%; text-align: center;"> PROFESSIONAL SERVICES 2018 </td> <td style="border: none; width: 50%; text-align: center;"> CONSTRUCTION (if applicable) Ongoing </td> </tr> </table>		PROFESSIONAL SERVICES 2018	CONSTRUCTION (if applicable) Ongoing
PROFESSIONAL SERVICES 2018	CONSTRUCTION (if applicable) Ongoing				
23. PROJECT OWNER'S INFORMATION					
a. PROJECT OWNER City of Tallahassee		b. POINT OF CONTACT NAME Andrew Platt, PE			
		c. POINT OF TELEPHONE NUMBER (850) 891-6148			
24. BRIEF DESCRIPTION OF PROJECT AND RELEVANCE TO THIS CONTRACT (Include scope, size, and cost) <p>Halff provided professional engineering and surveying services for the design, permitting, and construction documents for the gravity sewer from the end of the recently completed 18-inch gravity sewer at Merchants Row Blvd. to a location approximately 6,000 feet south at the previously identified Sembler Pump Station site in addition to a 15-inch gravity sewer line from Capital Circle Southwest to the Sembler Pump Station site. The services also included the design of a new triplex submersible pump station that provides a firm pumping capacity of 3,400 gpm. The pump station also included an on-site diesel operated variable speed 475 HP jockey pump.</p> <p>Design Fee: \$181,188 Construction: \$3,700,000</p>					
					
25. FIRMS FROM SECTION C INVOLVED WITH THIS PROJECT					
a. (1) FIRM NAME Halff Associates, Inc.	(2) FIRM LOCATION (City and State) Tallahassee, Florida		(3) ROLE Prime		



CANOPY COMMUNITY DEVELOPMENT DISTRICT
REQUEST FOR QUALIFICATIONS FOR ENGINEERING SERVICES

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21. TITLE AND LOCATION (City and State) Cascades Park Tallahassee, FL		22. YEAR COMPLETED <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; border-bottom: 1px solid black; text-align: center; padding: 5px;"> PROFESSIONAL SERVICES 2010 </td> <td style="width: 50%; border-bottom: 1px solid black; text-align: center; padding: 5px;"> CONSTRUCTION (if applicable) 2014 </td> </tr> </table>		PROFESSIONAL SERVICES 2010	CONSTRUCTION (if applicable) 2014
PROFESSIONAL SERVICES 2010	CONSTRUCTION (if applicable) 2014				
23. PROJECT OWNER'S INFORMATION					
a. PROJECT OWNER Blueprint 2000 Intergovernmental Agency	b. POINT OF CONTACT NAME Wayne Tedder, AICP	c. POINT OF TELEPHONE NUMBER (850) 891-8200			
24. BRIEF DESCRIPTION OF PROJECT AND RELEVANCE TO THIS CONTRACT (Include scope, size, and cost) <p>Halff has been involved in the planning and design of the Capital Cascades Trail and Cascades Park since 2002. Completed in 2006, the Capital Cascades Trail Master Plan addressed a comprehensive program for new passive recreation development and extensive stormwater management facilities in a 5.2-mile corridor through downtown Tallahassee's Southeast quadrant. Cascades Park, the centerpiece of this new green urban corridor, lies on a former EPA Superfund site and is a model for reuse of an abandoned industrial site for recreational uses and stormwater management. Park amenities included: 1,546-seat amphitheater, the Cascade Fountain waterfall; Signature bridges; Smokey Hollow (historic community) Commemoration; Korean War Memorial; Meridian Plaza; Discovery and Adventure Garden; an interactive fountain and water play area; 2.3 miles of trails; plus, many others.</p> <p>Services Provided: Civil Engineering; Hardscape & Landscape Design; Park Amenities; Roadway Design; Site Lighting Design; Stormwater Master Planning; Utility Coordination; Water & Wastewater; Engineering; Wetland Permitting & Mitigation</p> <p>Project Fee: \$33,000,000</p>					
					
					
25. FIRMS FROM SECTION C INVOLVED WITH THIS PROJECT					
a. (1) FIRM NAME Halff Associates, Inc.	(2) FIRM LOCATION (City and State) Tallahassee, Florida	(3) ROLE Prime			




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CANOPY COMMUNITY DEVELOPMENT DISTRICT
REQUEST FOR QUALIFICATIONS FOR ENGINEERING SERVICES

F. EXAMPLE PROJECTS WHICH BEST ILLUSTRATE PROPOSED TEAM'S QUALIFICATIONS FOR THIS CONTRACT (Present as many projects as requested by the agency, or 10 projects, if not specified. Complete one Section E for each key person.)		20. EXAMPLE PROJECT KEY NUMBER <div style="font-size: 2em; font-weight: bold; margin: 10px 0;">5</div>			
21. TITLE AND LOCATION (City and State) Triple Creek Community Hillsborough County, Florida		22. YEAR COMPLETED <table style="width: 100%; border: none;"> <tr> <td style="width: 50%; border: none; text-align: center;"> PROFESSIONAL SERVICES Ongoing </td> <td style="width: 50%; border: none; text-align: center;"> CONSTRUCTION (if applicable) Ongoing </td> </tr> </table>		PROFESSIONAL SERVICES Ongoing	CONSTRUCTION (if applicable) Ongoing
PROFESSIONAL SERVICES Ongoing	CONSTRUCTION (if applicable) Ongoing				
23. PROJECT OWNER'S INFORMATION					
a. PROJECT OWNER Triple Creek CDD / Green Pointe Communities, LLC	b. POINT OF CONTACT NAME Justin Croom / Rick Harcrow	c. POINT OF TELEPHONE NUMBER (850) 334-9055 (813) 453-9897			
24. BRIEF DESCRIPTION OF PROJECT AND RELEVANCE TO THIS CONTRACT (Include scope, size, and cost) <p>Halff provides master planning, design, permitting, construction services and also serves as the District Engineer for the CDD on the 1,050 acre, 2,000+ unit mixed-use project. The project includes multiple amenity features including miles of paved trails, numerous wetlands, a lake, creek system and 100's of acres of preservation land. Additionally, there are several community pools, playgrounds and recreation areas. Monument signs, landscape and irrigation are also under the direction of the CDD Engineer. Example services include evaluation of flooding issues on District property, consideration of additional landscaping and/or fencing to provide buffering between District property and adjacent land, evaluation of resident complaints, negotiation of penalties resulting from unauthorized habitat impacts from adjacent property owners, oversight of District construction projects, oversight of District construction budgets, attendance at District public meetings, cost estimates, engineer's reports and assistance with bonding. Services related to this project have been provided for multiple clients in numerous phases spanning more than 15 years.</p> <p>Cost: \$1,500,000 (Service Fees)</p>					
					
25. FIRMS FROM SECTION C INVOLVED WITH THIS PROJECT					
a.	(1) FIRM NAME Halff Associates, Inc.	(2) FIRM LOCATION (City and State) Tampa, Florida	(3) ROLE Prime		



CANOPY COMMUNITY DEVELOPMENT DISTRICT
REQUEST FOR QUALIFICATIONS FOR ENGINEERING SERVICES

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21. TITLE AND LOCATION (City and State) Reserve at Pradera Hillsborough County, Florida		22. YEAR COMPLETED <table style="width: 100%; border: none;"> <tr> <td style="width: 50%; border: none; text-align: center;"> PROFESSIONAL SERVICES Ongoing </td> <td style="width: 50%; border: none; text-align: center;"> CONSTRUCTION (if applicable) Ongoing </td> </tr> </table>		PROFESSIONAL SERVICES Ongoing	CONSTRUCTION (if applicable) Ongoing
PROFESSIONAL SERVICES Ongoing	CONSTRUCTION (if applicable) Ongoing				
23. PROJECT OWNER'S INFORMATION					
a. PROJECT OWNER Reserve at Pradera c/o Rizzetta & Company	b. POINT OF CONTACT NAME Bryan Radcliff	c. POINT OF TELEPHONE NUMBER (813) 533-2950			
24. BRIEF DESCRIPTION OF PROJECT AND RELEVANCE TO THIS CONTRACT (Include scope, size, and cost) <p>Located in southern Hillsborough County, the Reserve at Pradera is a multi-phased master planned community consisting of 358 lots on approximately 182 acres. The project includes a master amenity center with recreation fields, sports courts and a swimming pool. Other community amenities included miles of paved trails, lakes/ponds, a dog park, and numerous community gathering areas. The community also includes an extensive landscaped entry with community sign. All of these items are under the operation and maintenance purview of the CDD. Halff serves as the Engineer of Record and the CDD Engineer for this project.</p> <p>Cost: \$5,000 (CDD Engineer) / \$600,000 (Engineer of Record)</p> <div style="text-align: center; margin-top: 20px;">  </div>					
25. FIRMS FROM SECTION C INVOLVED WITH THIS PROJECT					
a.	(1) FIRM NAME Halff Associates, Inc.	(2) FIRM LOCATION (City and State) Tampa, Florida	(3) ROLE Prime		



CANOPY COMMUNITY DEVELOPMENT DISTRICT
REQUEST FOR QUALIFICATIONS FOR ENGINEERING SERVICES

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21. TITLE AND LOCATION (City and State) Bloomington Community Design Services Hillsborough County, Florida		22. YEAR COMPLETED <table style="width: 100%; border: none;"> <tr> <td style="width: 50%; border: none; text-align: center;"> PROFESSIONAL SERVICES <div style="font-size: 1.2em; font-weight: bold;">2019</div> </td> <td style="width: 50%; border: none; text-align: center;"> CONSTRUCTION (if applicable) </td> </tr> </table>		PROFESSIONAL SERVICES <div style="font-size: 1.2em; font-weight: bold;">2019</div>	CONSTRUCTION (if applicable)
PROFESSIONAL SERVICES <div style="font-size: 1.2em; font-weight: bold;">2019</div>	CONSTRUCTION (if applicable)				
23. PROJECT OWNER'S INFORMATION					
a. PROJECT OWNER Bloomington Special Tax District	b. POINT OF CONTACT NAME Tom Leech	c. POINT OF TELEPHONE NUMBER (813) 681-2051			
24. BRIEF DESCRIPTION OF PROJECT AND RELEVANCE TO THIS CONTRACT (Include scope, size, and cost) Bloomington Special Tax District includes 32 neighborhoods and approximately 5,500 home sites, constructed over a 30-year period. The resulting community includes a variety of signs, common areas, entry features, and landscaping. In an effort to revitalize and provide a cohesive brand, the Taxing District has retained Halff's expert professionals. Cost: \$50,000+					
					
25. FIRMS FROM SECTION C INVOLVED WITH THIS PROJECT					
a.	(1) FIRM NAME Halff Associates, Inc.	(2) FIRM LOCATION (City and State) Tampa, Florida	(3) ROLE Prime		




CANOPY COMMUNITY DEVELOPMENT DISTRICT
REQUEST FOR QUALIFICATIONS FOR ENGINEERING SERVICES

F. EXAMPLE PROJECTS WHICH BEST ILLUSTRATE PROPOSED TEAM'S QUALIFICATIONS FOR THIS CONTRACT (Present as many projects as requested by the agency, or 10 projects, if not specified. Complete one Section E for each key person.)		20. EXAMPLE PROJECT KEY NUMBER <div style="font-size: 2em; font-weight: bold;">8</div>			
21. TITLE AND LOCATION (City and State) Lake St. Charles Hillsborough County, Florida		22. YEAR COMPLETED <table style="width: 100%; border: none;"> <tr> <td style="width: 50%; border: none; text-align: center;"> PROFESSIONAL SERVICES <div style="font-size: 1.2em; font-weight: bold;">2004</div> </td> <td style="width: 50%; border: none; text-align: center;"> CONSTRUCTION (if applicable) </td> </tr> </table>		PROFESSIONAL SERVICES <div style="font-size: 1.2em; font-weight: bold;">2004</div>	CONSTRUCTION (if applicable)
PROFESSIONAL SERVICES <div style="font-size: 1.2em; font-weight: bold;">2004</div>	CONSTRUCTION (if applicable)				
23. PROJECT OWNER'S INFORMATION					
a. PROJECT OWNER Lake St. Charles	b. POINT OF CONTACT NAME Brian Lamb	c. POINT OF TELEPHONE NUMBER (813) 933-5571			
24. BRIEF DESCRIPTION OF PROJECT AND RELEVANCE TO THIS CONTRACT (Include scope, size, and cost) <p>The 400+/- acre Lake St. Charles Community is located off of US 301, south of Bloomingdale Avenue, near the Brandon area of Hillsborough County. This mixed use, multi-phased master planned community includes a community center, large 70-acre central lake and nearly 800 homes. Amenities include more than 15 acres of outdoor park facilities.</p> <p>Cost: \$5,000 (CDD Engineer)</p> <div style="text-align: center; margin-top: 20px;">  </div>					
25. FIRMS FROM SECTION C INVOLVED WITH THIS PROJECT					
a. (1) FIRM NAME Halff Associates, Inc.	(2) FIRM LOCATION (City and State) Tampa, Florida	(3) ROLE Prime			




CANOPY COMMUNITY DEVELOPMENT DISTRICT
REQUEST FOR QUALIFICATIONS FOR ENGINEERING SERVICES

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21. TITLE AND LOCATION (City and State) Grand Haven Palm Coast, Florida		22. YEAR COMPLETED <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; text-align: center; padding: 2px;">PROFESSIONAL SERVICES</td> <td style="width: 50%; text-align: center; padding: 2px;">CONSTRUCTION (if applicable)</td> </tr> <tr> <td style="text-align: center; padding: 5px;">2004</td> <td></td> </tr> </table>		PROFESSIONAL SERVICES	CONSTRUCTION (if applicable)	2004	
PROFESSIONAL SERVICES	CONSTRUCTION (if applicable)						
2004							
23. PROJECT OWNER'S INFORMATION							
a. PROJECT OWNER Grand Haven CDD	b. POINT OF CONTACT NAME Craig Wrathell	c. POINT OF TELEPHONE NUMBER (954) 426-2105					
24. BRIEF DESCRIPTION OF PROJECT AND RELEVANCE TO THIS CONTRACT (Include scope, size, and cost) <p>The Grand Haven CDD encompasses more than 1,300 acres in northeastern Florida. Infrastructure design services provided for the District included the design, permitting and construction monitoring of additional parking lots in support of the community's amenities.</p> <p>Cost: \$150,000</p> <div style="text-align: center; margin-top: 20px;">  </div>							
25. FIRMS FROM SECTION C INVOLVED WITH THIS PROJECT							
a. (1) FIRM NAME Halff Associates, Inc.	(2) FIRM LOCATION (City and State) Tampa, Florida	(3) ROLE Prime					



CANOPY COMMUNITY DEVELOPMENT DISTRICT
REQUEST FOR QUALIFICATIONS FOR ENGINEERING SERVICES

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21. TITLE AND LOCATION (City and State) Deer Creek Asphalt Resurfacing Tampa, FL		22. YEAR COMPLETED <table style="width: 100%; border: none;"> <tr> <td style="width: 50%; border: none; text-align: center;"> PROFESSIONAL SERVICES <div style="font-size: 18pt; font-weight: bold;">2016</div> </td> <td style="width: 50%; border: none; text-align: center;"> CONSTRUCTION (if applicable) <div style="font-size: 18pt; font-weight: bold;">2017</div> </td> </tr> </table>		PROFESSIONAL SERVICES <div style="font-size: 18pt; font-weight: bold;">2016</div>	CONSTRUCTION (if applicable) <div style="font-size: 18pt; font-weight: bold;">2017</div>
PROFESSIONAL SERVICES <div style="font-size: 18pt; font-weight: bold;">2016</div>	CONSTRUCTION (if applicable) <div style="font-size: 18pt; font-weight: bold;">2017</div>				
23. PROJECT OWNER'S INFORMATION					
a. PROJECT OWNER Deer Creek HOA	b. POINT OF CONTACT NAME David Wheeler	c. POINT OF TELEPHONE NUMBER (813) 936-4153			
24. BRIEF DESCRIPTION OF PROJECT AND RELEVANCE TO THIS CONTRACT (Include scope, size, and cost) Deer Creek was constructed as a gated community with approximately one (1) mile of private streets. Halff assisted with the repaving/improvements to the existing roads with the start point at the gated entry. Cost: \$150,000					
					
25. FIRMS FROM SECTION C INVOLVED WITH THIS PROJECT					
a. (1) FIRM NAME Halff Associates, Inc.	(2) FIRM LOCATION (City and State) Tampa, Florida	(3) ROLE Prime			



G. KEY PERSONNEL PARTICIPATION IN EXAMPLE PROJECTS

[illegible]

29. EXAMPLE PROJECTS KEY

NO	TITLE OF EXAMPLE PROJECT (FROM SECTION F)	NO	TITLE OF EXAMPLE PROJECT (FROM SECTION F)
1.	Woodside Heights Subdivision	6.	Reserve at Pradera
2.	Gardenia Gardens Subdivision	7.	Bloomington Community Design Services
3.	Sembler Pump Station	8.	Lake St. Charles CDD
4.	Cascades Park	9.	Grand Haven CDD General Engineering
5.	Triple Creek Subdivision	10.	Deer Creek Asphalt Resurfacing

H. ADDITIONAL INFORMATION

30. PROVIDE ANY ADDITIONAL INFORMATION REQUESTED BY THE AGENCY. ATTACH ADDITIONAL SHEETS AS NEEDED.



A. Ability and Adequacy of Personnel

Halff's record of successful projects range from more than 30 years of working with federal, state, county, municipal, and private developer clients. We maintain a consistent workload and are conscious of the time we commit to serving our clients. We pride ourselves on maintaining a balance of projects that does not detract from our ability to provide our best work for our clients.

Project management is one of the key qualifications we offer to Canopy CDD. We pride ourselves on meeting project deadlines and can often expedite our efforts based on our client's needs, which we believe says great things about our internal processes and the quality of project managers we develop within our firm. Upon selection for a project, Halff will prepare a detailed preliminary schedule for review with the Canopy CDD based on the project-specific scope and the critical milestone dates as determined by the CDD. District Engineer, *David Hutcheson, PE*, will evaluate and update the project schedule weekly to illustrate forecasted versus actual progress. The schedule will be reviewed as part of internal meetings and be used to more clearly communicate progress and anticipated actions of all parties.

David Hutcheson will stay in constant contact with the CDD and provide monthly progress reports, which will incorporate the monthly invoice and documentation from the weekly internal meetings and updated schedule. The monthly report will describe progress-to-date and outline the forecasted services for the upcoming month.

B. Minority Business Enterprise

Halff is not a certified minority business, but has a long history of teaming with minority business firms. We work with our clients to support their minority business programs and maintain strong relationships with a large number of minority business firms that compliment our services.

C. Ability to Meet Time & Budget Requirements

Halff is committed to meet the schedule and budget requirements established by the Canopy CDD. Having worked with numerous public and private clients during our many years in practice, Halff is acutely aware of the importance of completing assignments within budget constraints. We have developed specific steps to maintain control of project budgets from initiation through completion. Halff will work closely with the CDD to develop a clear and detailed scope of work. We utilize a web-based program to track all charges on projects. This data is updated weekly, thus allowing current budget reports/details to be monitored by the project manager and provided to the CDD at any time. For construction and cost estimates, we maintain local relationships with contractors to ensure current cost data.

D. Past Experience

The Halff team has a long history of working with federal, state, county, municipal, and private developer clients. From our past project experiences, Halff has gained an understanding of the needs, desires, and challenges of CDDs.

H. ADDITIONAL INFORMATION

30. PROVIDE ANY ADDITIONAL INFORMATION REQUESTED BY THE AGENCY. ATTACH ADDITIONAL SHEETS AS NEEDED.

We understand this contract includes a variety of services. Listed in the SF 330 project section are some of the project areas that we focus on when working with CDDs.

Knowledge of Community Development Districts

Halff has developed master plans, infrastructure improvement plans, cost estimates, district reports, engineering designs, and specifications for CDDs throughout Florida. We understand the constraints and requirements associated with CDDs.

Stormwater Management

A fundamental aspect of each community is stormwater management. Halff has been fortunate to work on the cutting edge of stormwater management technology including LID and community retrofit.

Water & Sewer Utilities

Halff has extensive experience in design of water and sewer utility infrastructure improvements. This includes the design, construction, and rehabilitation of pump stations.

Roadway Design

Whether for new development or City/County infrastructure, Halff has successfully designed roadway infrastructure for projects ranging from small subdivisions to multi-lane highways. Our experience and dedication to the project will provide the experience needed.

Landscape & Irrigation

Nothing engages a community more than vibrant, healthy landscaping, active and functional parks, and amenities. Our landscape professionals routinely create open spaces that enhance the value of the community.

Construction Engineering & Inspection

As with all continuing service projects, this project will require close coordination with the CDD. Coordination will be essential to keep the District notified on the progress of the project and to assure construction is carried out according to the design and specifications and within contract price.

Environmental

Florida has unique regulations that often require an environmental scientist. Halff has the environmental expertise to provide guidance and solutions to these unique concerns.



**ON TIME
ON BUDGET**

Project Approach

The Halff Team is confident our approach, relevant experience, team qualifications, and (most importantly) our understanding of project expectations will demonstrate our interest, commitment, and ability to exceed your CDD's needs.



H. ADDITIONAL INFORMATION

30. PROVIDE ANY ADDITIONAL INFORMATION REQUESTED BY THE AGENCY. ATTACH ADDITIONAL SHEETS AS NEEDED.

Our approach and qualifications center on the following key points:

Listening – We understand the scope of services outlined in this contract. The Halff team has extensive experience with these services and will prioritize specific elements to discuss opportunities, constraints, and any conflicts identified by the client or Halff team. The Halff team is fully committed to listening to CDD staff and to the community throughout this planning and design process.

Responsiveness – The Halff team is committed to working with Canopy CDD. Our staff will provide solutions to concerns/challenges and answers to questions that may occur throughout the planning and design process. We are dedicated to a collaborative, coordinated approach throughout the project process to avoid minor questions today turning into major pitfalls tomorrow.

By placing emphasis on open and continuous dialogue with collaborative discussion sessions, we will quickly test ideas, solicit feedback, and develop concepts that ensure the design meets Canopy CDD's expectations for quality within the established budget.

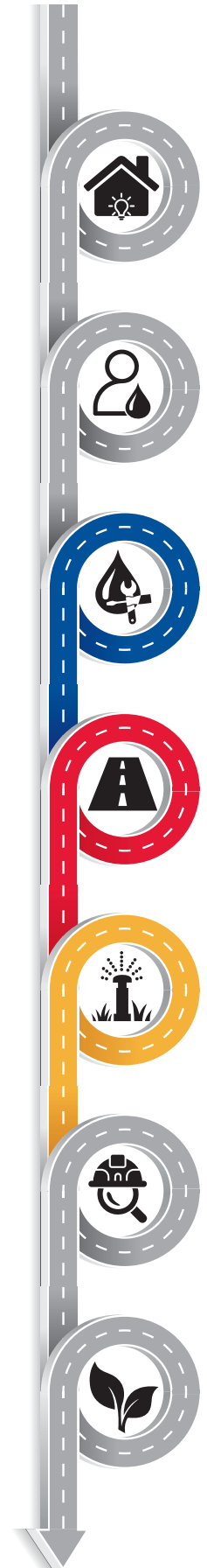
Staff & Schedule – We understand the importance of schedules and have significant support staff available to work on this project. We have worked with communities to expedite the planning and design to meet scheduling and budget needs without sacrificing quality. Our team members are specialists at identifying critical path elements through the design process and limits of the project time-frames to preserve the final project schedule.

Use of Graphics to Communicate Design Concepts – We will create high-quality graphic plans and illustrations to communicate the “vision” and the intent for Canopy CDD. In this way, we can explore options, communicate ideas and alternatives quickly, and get a “real” idea as to what the community will look like when in full operation.

Quality Control Procedures

Halff has developed and implements a Quality Assurance/Quality Control Program resulting from years of experience gained working on numerous planning and design projects. Throughout a project's duration, we will conduct quality reviews and propose actions for resolution of project issues. Communication throughout each project will be the key to implementing quality control procedures.

HALFF'S QUALITY ASSURANCE/QUALITY CONTROL PROCESS



H. ADDITIONAL INFORMATION

30. PROVIDE ANY ADDITIONAL INFORMATION REQUESTED BY THE AGENCY. ATTACH ADDITIONAL SHEETS AS NEEDED.

History of Cost Controls & Construction Budgets

Our systematic approach to developing an opinion of probable construction cost (OPCC) is a fundamental benefit to Canopy CDD. We routinely develop OPCCs that approach the median of bids received on planning and design projects that review the area of developable land, building architecture, quality of life improvements, public infrastructure, and streets and roadways. Our structured approach and intensive QA/QC process ensures our estimated quantities and bid items are accurate, concise, and verifiable. Our ability to track cost changes occurring in the architectural and engineering industry is focused, with a clear understanding of the global impacts and changes occurring in the marketplace at any given time. We understand our OPCCs are of great value to the Canopy CDD in meeting its budget constraints.

Our Promise

Our team will provide you with a quality product for the projects you assign. Halff has unique experience and approaches that result in our clients thinking of us as an extension of their staff. The bottom line is Halff provides designs for your needs, you are kept seamlessly updated as each project progresses, and Halff is persistent in completing the work on time and within budget.

E. Geographic Location

The Halff Tallahassee branch will fully execute this contract. Dedicated staff will always be available by phone and email. Dedicated office space for all the team members will be maintained in our Tallahassee office for the duration of the project.

Additional Halff offices are located in Tampa, Jacksonville, Miramar Beach, Chipley, and Clearwater. Halff is supported by more than 900 employees in 22 offices, nationally.



F. Current & Projected Workload

The Halff team is fully prepared to undertake this assignment. Our key professional and technical staff has the available time to fully commit to any project identified by the CDD.

We believe that the key to business success lies in remaining responsive to our client's frequently changing project requirements while balancing levels of work for our personnel and maintaining a reasonable backlog of future work. Due to the changing nature of staffing and work assignments, Halff uses forecasting software to track and balance staffing with current and projected workload. Doing so is key to maintaining the highest quality product for our clients.

G. Volume of Work Previously Awarded

Halff Associates, Inc., has no previously awarded work by the Canopy CDD.

I. AUTHORIZED REPRESENTATIVE

The foregoing is a statement of facts.

31. SIGNATURE

32. DATE


04/30/2020

33. NAME AND TITLE

David W. Hutcheson, PE, PSM, Senior Vice President



**CANOPY COMMUNITY DEVELOPMENT DISTRICT
REQUEST FOR QUALIFICATIONS FOR ENGINEERING SERVICES**

ARCHITECT - ENGINEER QUALIFICATIONS						1. Solicitation Number (If any):
PART II - GENERAL QUALIFICATIONS						
<i>(If a firm has branch offices, complete for each specific branch office seeking work)</i>						
2a. FIRM (OR BRANCH NAME) Halff Associates, Inc.			3. YEAR ESTABLISHED 1950		4. UNIQUE ENTITY IDENTIFIER 75-1308699 (FEID)	
2b. STREET 2507 Callaway Road, Suite 100			5. OWNERSHIP			
2c. CITY Tallahassee	2d. STATE FL	2e. ZIP 32303	5a. TYPE Corporation			
6a. POINT OF CONTACT NAME AND TITLE David W. Hutcheson, PE, PSM Senior Vice President			5b. SMALL BUSINESS STATUS Large Business			
6b. TELEPHONE NUMBER 850-848-9414		6c. EMAIL ADDRESS dhutcheson@Halff.com		7. NAME OF FIRM (If a block 2a is a branch office) Halff Associates, Inc.		
8a. FORMER FIRM NAME(S) (If any) Genesis Halff, Inc.			8b. YR. ESTABLISHED 2019		8c. UNIQUE ENTITY IDENTIFIER	
9. EMPLOYEES BY DISCIPLINE				10. PROFILE OF FIRM'S EXPERIENCE AND ANNUAL AVERAGE REVENUE FOR LAST 5 YEARS		
a. Function Code	b. Discipline	c. No. of Employees		a. Profile Code	b. Experience	c. Revenue Index Number (see below)
		(1) Firm	(2) Branch			
02	Administrative	119	4	T03	Traffic & Transportation Engineering	6
06	Architect	15		H07	Highways, Streets, Airfield, Parking	5
08	CADD Technician	55	2	S04	Sewage Collection, Treatment	4
10	Chemical Engineer	8		R04	Recreation Facilities	5
12	Civil Engineer	179	6	I04	Intelligent Transportation Systems	5
14	Computer Programmer	29		H11	Housing	5
15	Construction Inspector	35		L03	Landscape Architecture	4
16	Construction Manager	12		U02	Urban Renewals; Community Development	4
21	Electrical Engineer	12		S13	Stormwater Handling & Facilities	4
24	Enviro. Specialist	22		P12	Power Generation, Transmission, Distribution	4
29	GIS Specialist	34		E02	Educational Facilities; Classrooms	3
30	Geologist	9		C10	Commercial Building (Low Res)	2
38	Land Surveyor	104		C11	Community Facilities	2
39	Landscape Architect	44		W03	Water Supply; Treatment & Distribution	2
42	Mechanical Engineer	22		P05	Planning (Community, Regional)	2
47	Planner Urban/Reg.	21		O01	Office Buildings	2
57	Structural Engineer	11		P06	Planning (Site, Installation & Project)	2
58	Technician/Analyst	56		E22	Expert Witness Services	2
60	Transportation Engineer	92	10	G01	Garages; Vehicle Maintenance Facilities	1
62	Water Resources Engineer	79		H10	Hotels; Motels	1
				G04	Geographic Information System Services	1
	Total	958	22	C06	Churches; Chapels	1
11. ANNUAL AVERAGE PROFESSIONAL SERVICES REVENUE OF FIRM FOR LAST 3 YEARS (Insert revenue index number shown at right)		PROFESSIONAL SERVICES REVENUE INDEX NUMBER				
a. Federal Work	1	1. Less Than \$100,000	6. \$2 million to less than \$5 million			
b. Non-Federal Work	8	2. \$100,000 to less than \$250,000	7. \$5 million to less than \$10 million			
c. Total Work	8	3. \$250,000 to less than \$500,000	8. \$10 million to less than \$25 million			
		4. \$500,000 to less than \$1 million	9. \$25 million to less than \$50 million			
		5. \$1 million to less than \$2 million	10. \$50 million or greater			
12. AUTHORIZED REPRESENTATIVE						
The foregoing is a statement of facts						
a. SIGNATURE 						b. DATE 4/30/2020
c. NAME AND TITLE David W. Hutcheson, PE, PSM, Vice President						

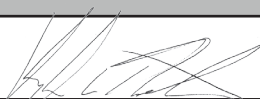


CANOPY COMMUNITY DEVELOPMENT DISTRICT

PART II - GENERAL QUALIFICATIONS

(If a firm has branch offices, complete for each specific branch office seeking work)

1. Solicitation Number (If any):

2a. FIRM (OR BRANCH NAME) Halff Associates, Inc.			3. YEAR ESTABLISHED 1950		4. UNIQUE ENTITY IDENTIFIER 75-1308699 (FEID)	
2b. STREET 1000 North Ashley Drive, Suite 900			5. OWNERSHIP			
2c. CITY Tampa		2d. STATE FL	2e. ZIP 33602		5a. TYPE Corporation	
6a. POINT OF CONTACT NAME AND TITLE Kyle L. Thornton, PE Vice President			5b. SMALL BUSINESS STATUS			
6b. TELEPHONE NUMBER 813-620-4500		6c. EMAIL ADDRESS kthornton@Halff.com		7. NAME OF FIRM (If a block 2a is a branch office) Halff Associates, Inc.		
8a. FORMER FIRM NAME(S) (If any) Genesis Halff, Inc.			8b. YR. ESTABLISHED 2019		8c. UNIQUE ENTITY IDENTIFIER	
9. EMPLOYEES BY DISCIPLINE				10. PROFILE OF FIRM'S EXPERIENCE AND ANNUAL AVERAGE REVENUE FOR LAST 5 YEARS		
a. Function Code	b. Discipline	c. No. of Employees		a. Profile Code	b. Experience	c. Revenue Index Number (see below)
		(1) Firm	(2) Branch			
02	Administrative	119	5	H11	Housing (Residential, Multi-Family)	6
06	Architect	15		L03	Landscape Architecture	6
08	CADD Technician	55	5	Z01	Zoning; Land Use Studies	5
10	Chemical Engineer	8		P06	Planning (Site, Installation & Project)	4
12	Civil Engineer	179	12	C10	Commercial Building (Low Rise); Shopping Centers	4
14	Computer Programmer	29	1	H07	Highways; Streets; Airfield Paving; Parking	4
15	Construction Inspector	35		S13	Stormwater Handling & Facilities	4
16	Construction Manager	12	1	H10	Hotels; Motels	4
21	Electrical Engineer	12		C15	Construction Management	3
24	Enviro. Specialist	22	2	P05	Planning (Community, Regional)	3
29	GIS Specialist	34	2	W03	Water Supply; Treatment & Distribution	3
30	Geologist	9		R04	Recreation Facilities (Parks, Marinas, etc.)	3
38	Land Surveyor	104		W01	Warehouses & Depots	2
39	Landscape Architect	44	4	H09	Hospital & Medical Facilities	2
42	Mechanical Engineer	22		E21	Eminent Domain	2
47	Planner Urban/Reg.	21	4	E02	Educational Facilities; Classrooms	2
57	Structural Engineer	11		T03	Traffic & Transportation Engineering	2
58	Technician/Analyst	56		I01	Industrial Buildings; Manufacturing	2
60	Transportation Engineer	92		O01	Office Buildings; Industrial Parks	2
62	Water Resources Engineer	79		S12	Swimming Pools	2
				G01	Garages; Vehicle Maintenance Facilities	1
	Total	958	36	D20	Development of Regional Impact	1
11. ANNUAL AVERAGE PROFESSIONAL SERVICES REVENUE OF FIRM FOR LAST 3 YEARS (Insert revenue index number shown at right)		PROFESSIONAL SERVICES REVENUE INDEX NUMBER				
a. Federal Work	1	1. Less Than \$100,000		6. \$2 million to less than \$5 million		
b. Non-Federal Work	8	2. \$100,000 to less than \$250,000		7. \$5 million to less than \$10 million		
c. Total Work	8	3. \$250,000 to less than \$500,000		8. \$10 million to less than \$25 million		
		4. \$500,000 to less than \$1 million		9. \$25 million to less than \$50 million		
		5. \$1 million to less than \$2 million		10. \$50 million or greater		
12. AUTHORIZED REPRESENTATIVE The foregoing is a statement of facts						
a. SIGNATURE 					b. DATE 4/30/2020	
c. NAME AND TITLE Kyle L. Thornton, PE, Vice President						



SECTION VI

**AGREEMENT BETWEEN CANOPY COMMUNITY DEVELOPMENT DISTRICT AND
FOR PROFESSIONAL ENGINEERING SERVICES
THIS AGREEMENT** (“Agreement”) made and entered into effective the ____ day of
_____, 2020, by and between:

Canopy Community Development District, a local unit of special-purpose government established and existing pursuant to Chapter 190, *Florida Statutes*, being situated in Leon County, Florida, with a mailing address of 219 East Livingston Street, Orlando, Florida 32801 (“District”), and

_____, a _____, with a mailing address of _____ (“Engineer”).

WHEREAS, the District is a local unit of special-purpose government established pursuant to the Uniform Community Development District Act of 1980, as codified in Chapter 190, *Florida Statutes* (“Uniform Act”); and

WHEREAS, the District is authorized to plan, finance, construct, install, acquire and/or maintain improvements, facilities and services in conjunction with the development of the lands within the District; and

WHEREAS, pursuant to Sections 190.033 and 287.055, *Florida Statutes*, the District solicited statements of qualification from qualified firms to provide professional engineering services on a continuing basis; and

WHEREAS, Engineer submitted a statement of qualification to serve in this capacity; and

WHEREAS, the District's Board of Supervisors ranked Engineer as the most qualified firm to provide professional engineering services for the District on a continuing basis, and authorized the negotiation of a contract pursuant to Section 287.055, *Florida Statutes*; and

WHEREAS, the District intends to employ Engineer to perform professional engineering services on a continuing basis for the District’s stormwater management system, roadway improvements, portable water, sewer and reuse systems, landscaping and hardscaping improvements, parks and amenities, and other public improvements, as defined by a separate work authorization or work authorizations; and

WHEREAS, the Engineer shall serve as District’s professional representative in each service or project to which this Agreement applies and will give consultation and advice to the District during performance of these services.

NOW, THEREFORE, for and in consideration of the mutual covenants herein contained, the acts and deeds to be performed by the parties and the payments by the District to the Engineer of the sums of money herein specified, it is mutually covenanted and agreed as follows:

ARTICLE 1. SCOPE OF SERVICES

- A. The Engineer will provide general engineering services, including:
 - 1. Preparation of any necessary reports and attendance at meetings of the District's Board of Supervisors.
 - 2. Providing professional engineering services including but not limited to review and execution of documents under the District's Trust Indentures, if any, and monitoring of District projects. Performance of any other duties related to the provision of infrastructure and services as requested by the Board, District Manager, or District Counsel.
 - 3. Any other items requested by the Board of Supervisors.
- B. Engineer shall, when authorized by the Board, provide general services related to construction of any District projects including, but not limited to:
 - 1. Periodic visits to the site, or full-time construction management of District projects, as directed by District.
 - 2. Processing of contractor's pay estimates.
 - 3. Preparation of, and/or assistance with the preparation of, work authorizations, requisitions, change orders and acquisitions for review by the District Manager, District Counsel and the Board.
 - 4. Final inspection and requested certificates for construction including the final certificate of construction.
 - 5. Consultation and advice during construction, including performing all roles and actions required of any construction contract between District and any contractor(s) in which Engineer is named as owner's representative or "Engineer."
 - 6. Any other activity related to construction, including but not limited to construction administration and/or construction engineering inspection services, as authorized by the Board.
- C. With respect to maintenance of the facilities, Engineer shall render such services as authorized by the Board.

ARTICLE 2. REPRESENTATIONS. The Engineer hereby represents to the District that:

- A. It has the experience and skill to perform the services required to be performed by this Agreement.
- B. It shall design to and comply with applicable federal, state, and local laws, and codes, including without limitation, professional registration and licensing requirements (both corporate and individual for all required basic disciplines) in effect during the term of this Agreement, and shall, if requested by District, provide certification of compliance with all registration and licensing requirements.

C. It shall perform said services in accordance with generally accepted professional standards in the most expeditious and economical manner, and to the extent consistent with the best interests of District.

D. It is adequately financed to meet any financial obligations it may be required to incur under this Agreement.

ARTICLE 3. METHOD OF AUTHORIZATION. Each service or project shall be authorized in writing by the District. The written authorization shall be incorporated in a work authorization which shall include the scope of work, compensation, project schedule, and special provisions or conditions specific to the service or project being authorized, a form of which is attached hereto as **Attachment A** (“Work Authorization”). Authorization of services or projects under the contract shall be at the sole option of the District.

ARTICLE 4. COMPENSATION. It is understood and agreed that the payment of compensation for services under this Agreement shall be stipulated in each Work Authorization. One of the following methods will be utilized:

A. Lump Sum Amount - The District and Engineer shall mutually agree to a lump sum amount for the services to be rendered payable monthly in direct proportion to the work accomplished. For any lump-sum or cost-plus-a-fixed-fee professional service contract over the threshold amount provided in section 287.017, *Florida Statutes*, for CATEGORY FOUR, the District shall require the Engineer to execute a truth-in-negotiation certificate stating that wage rates and other factual unit costs supporting the compensation are accurate, complete, and current at the time of contracting. The price for any lump sum Work Authorization, and any additions thereto, will be adjusted to exclude any significant sums by which the District determines the Work Authorization was increased due to inaccurate, incomplete, or noncurrent wage rates and other factual unit costs. All such adjustments must be made within one (1) year following the completion of the work contemplated by the lump sum Work Authorization.

B. Hourly Personnel Rates - For services or projects where scope of services is not clearly defined, or recurring services or other projects where the District desires to use the hourly compensation rates outlined in **Attachment B** attached hereto. The District and Engineer may agree to a “not to exceed” amount when utilizing hourly personnel rates for a specific work authorization.

ARTICLE 5. REIMBURSABLE EXPENSES. Reimbursable expenses consist of actual expenditures made by Engineer, its employees, or its consultants in the interest of the project for the incidental expenses as listed as follows:

A. Expenses of transportation and living when traveling in connection with a project, for long distance phone calls and telegrams, and fees paid for securing approval of authorities having jurisdiction over the project. All expenditures shall be made in accordance with Chapter 112, *Florida Statutes*, and with the District’s travel policy.

B. Expense of reproduction, postage and handling of drawings and specifications.

ARTICLE 6. TERM OF CONTRACT. It is understood and agreed that this Agreement is for engineering services. It is further understood and agreed that the term of this Agreement will be from the time of execution of this Agreement until terminated pursuant to Article 21.

ARTICLE 7. SPECIAL SERVICES. When authorized in writing by the District, additional special consulting services may be utilized by Engineer and paid for on a cost basis.

ARTICLE 8. BOOKS AND RECORDS. Engineer shall maintain comprehensive books and records relating to any services performed under this Agreement, which shall be retained by Engineer for a period of at least four (4) years from and after completion of any services hereunder, or such further time as required under Florida's public records law. The District, or its authorized representative, shall have the right to audit such books and records at all reasonable times upon prior notice to Engineer.

ARTICLE 9. OWNERSHIP OF DOCUMENTS.

A. All rights in and title to all plans, drawings, specifications, ideas, concepts, designs, sketches, models, programs, software, creation, inventions, reports, or other tangible work product originally developed by Engineer pursuant to this Agreement (the "Work Product") shall be and remain the sole and exclusive property of the District when developed and shall be considered work for hire.

B. The Engineer shall deliver all Work Product to the District upon completion thereof unless it is necessary for Engineer in the District's sole discretion, to retain possession for a longer period of time. Upon early termination of Engineer's services hereunder, Engineer shall deliver all such Work Product whether complete or not. The District shall have all rights to use any and all Work Product. Engineer shall retain copies of the Work Product for its permanent records, provided the Work Product is not used without the District's prior express written consent. Engineer agrees not to recreate any Work Product contemplated by this Agreement, or portions thereof, which if constructed or otherwise materialized, would be reasonably identifiable with the Project. If said Work Product is used by the District for any purpose other than that purpose which is intended by this Agreement, the District shall indemnify Engineer from any and all claims and liabilities which may result from such re-use, in the event Engineer does not consent to such use.

C. The District exclusively retains all manufacturing rights to all materials or designs developed under this Agreement. To the extent the services performed under this Agreement produce or include copyrightable or patentable materials or designs, such materials or designs are work made for hire for the District as the author, creator, or inventor thereof upon creation, and the District shall have all rights therein including, without limitation, the right of reproduction, with respect to such work. Engineer hereby

assigns to the District any and all rights Engineer may have including, without limitation, the copyright, with respect to such work. The Engineer acknowledges that the District is the motivating factor for, and for the purpose of copyright or patent, has the right to direct and supervise the preparation of such copyrightable or patentable materials or designs.

ARTICLE 10. ACCOUNTING RECORDS. Records of Engineer pertaining to the services provided hereunder shall be kept on a basis of generally accepted accounting principles and shall be available to the District or its authorized representative for observation or audit at mutually agreeable times.

ARTICLE 11. INDEPENDENT CONTRACTOR. Engineer and District agree that Engineer is and shall remain at all times an independent contractor and shall not in any way claim or be considered an employee of District. Engineer shall not have authority to hire persons as employees of District.

ARTICLE 12. REUSE OF DOCUMENTS. All documents including drawings and specifications furnished by Engineer pursuant to this Agreement are instruments of service. They are not intended or represented to be suitable for reuse by District or others on extensions of the work for which they were provided or on any other project. Any reuse without specific written consent by Engineer will be at the District's sole risk and without liability or legal exposure to Engineer. All documents including drawings, plans and specifications furnished by Engineer to District are subject to reuse in accordance with section 287.055(10), *Florida Statutes*.

ARTICLE 13. ESTIMATE OF COST. Since Engineer has no control over the cost of labor, materials or equipment or over a contractor's methods of determining prices, or over competitive bidding or market conditions, his opinions of probable cost provided as a service hereunder are to be made on the basis of his experience and qualifications and represent his best judgment as a design professional familiar with the construction industry, but Engineer cannot and does not guarantee that proposals, bids, or the construction costs will not vary from opinions of probable cost prepared by him. If the District wishes greater assurance as to the construction costs, it shall employ an independent cost estimator at its own expense. Services to modify approved documents to bring the construction cost within any limitation established by the District will be considered additional services and justify additional fees.

ARTICLE 13. INSURANCE. Engineer shall, at its own expense, maintain insurance during the performance of its services under this Agreement, with limits of liability not less than the following:

Workers' Compensation	Statutory
General Liability	
Bodily Injury (including Contractual)	\$1,000,000/\$2,000,000
Property Damage (including Contractual)	\$1,000,000/\$2,000,000

Automobile Liability Bodily Injury / Property Damage	Combined Single Limit \$500,000
Professional Liability for Errors and Omissions	\$1,000,000

The District, its officers, supervisors, agents, staff, and representatives shall be named as additional insured parties, except on Worker's Compensation Insurance and Professional Liability for Errors and Omissions Insurance. The Engineer shall furnish the District with the Certificate of Insurance evidencing compliance with the requirements of this Article. No certificate shall be acceptable to the District unless it provides that any change or termination within the policy periods of the insurance coverage, as certified, shall not be effective within thirty (30) days of prior written notice of cancellation to the District. Insurance coverage shall be from a reputable insurance carrier, licensed to conduct business in the state of Florida.

If the Engineer fails to have secured and maintained the required insurance, the District has the right (without any obligation to do so, however), to secure such required insurance in which event, the Engineer shall pay the cost for that required insurance and shall furnish, upon demand, all information that may be required in connection with the District's obtaining the required insurance.

ARTICLE 14. CONTINGENT FEE. The Engineer warrants that it has not employed or retained any company or person, other than a bona fide employee working solely for the Engineer, to solicit or secure this Agreement and that it has not paid or agreed to pay any person, company, corporation, individual, or firm, other than a bona fide employee working solely for the Engineer, any fee, commission, percentage, gift, or other consideration contingent upon or resulting from the award or making of this Agreement.

ARTICLE 15. AUDIT. The Engineer agrees that the District or any of its duly authorized representatives shall, until the expiration of three years after expenditure of funds under this Agreement, have access to and the right to examine any books, documents, papers, and records of the Engineer involving transactions related to the Agreement. The Engineer agrees that payment made under the Agreement shall be subject to reduction for amounts charged thereto that are found on the basis of audit examination not to constitute allowable costs. All required records shall be maintained until an audit is completed and all questions arising therefrom are resolved, or three years after completion of all work under the Agreement.

ARTICLE 16. INDEMNIFICATION. Engineer agrees to indemnify and hold the District and the District's officers and employees harmless from liabilities, damages, losses, and costs, including, but not limited to, reasonable attorney's fees, which may come against the District and the District's officers and employees, to the extent caused wholly or in part by negligent, reckless, or intentionally wrongful acts, omissions, or defaults by Engineer or persons employed or utilized by Engineer the course of any work done in connection with any of the matters set out in these specifications. To the extent a limitation on liability is required by Section 725.06 of the *Florida*

Statutes or other applicable law, liability under this section shall in no event exceed the sum of Two Million Dollars (\$2,000,000), and Engineer shall carry, at his own expense, insurance in a company satisfactory to District to cover the aforementioned liability. Engineer agrees such limitation bears a reasonable commercial relationship to the contract and was part of the project specifications or bid documents.

ARTICLE 17. SOVEREIGN IMMUNITY. The Engineer agrees and covenants that nothing in this Agreement shall constitute or be construed as a waiver of District's limitations on liability pursuant to Section 768.28, *Florida Statutes*, or any other statute or law.

ARTICLE 18. PUBLIC RECORDS. The Engineer agrees and understands that Chapter 119, *Florida Statutes*, may be applicable to documents prepared in connection with work provided to the District and agrees to cooperate with public record requests made thereunder. In connection with this Agreement, Engineer agrees to comply with all provisions of Florida's public records laws, including but not limited to Section 119.0701, *Florida Statutes*, the terms of which are incorporated herein. Among other requirements, Engineer must:

- a. Keep and maintain public records required by the District to perform the service.
- b. Upon request from the District's custodian of public records, provide the District with a copy of the requested records or allow the records to be inspected or copied within a reasonable time at a cost that does not exceed the cost provided in Chapter 119, *Florida Statutes* or as otherwise provided by law.
- c. Ensure that public records that are exempt or confidential and exempt from public records disclosure requirements are not disclosed except as authorized by law for the duration of the contract term and following completion of the Agreement if the Engineer does not transfer the records to the District.
- d. Upon completion of this Agreement, transfer, at no cost, to the District all public records in possession of the Engineer or keep and maintain public records required by the District to perform the service. If the Engineer transfers all public records to the District upon completion of this Agreement, the Engineer shall destroy any duplicate public records that are exempt or confidential and exempt from public records disclosure requirements. If the Engineer keeps and maintains public records upon completion of the Agreement, the Engineer shall meet all applicable requirements for retaining public records. All records stored electronically must be provided to the District, upon request from the District's custodian of public records, in a format that is compatible with the information technology systems of the District.

IF THE ENGINEER HAS QUESTIONS REGARDING THE APPLICATION OF CHAPTER 119, *FLORIDA STATUTES*, TO THE ENGINEER'S DUTY TO PROVIDE PUBLIC RECORDS RELATING TO THIS AGREEMENT, CONTACT THE CUSTODIAN OF PUBLIC RECORDS AT (407) 841-5524, RECORDREQUEST@GMSFCFL.COM, OR 219 EAST LIVINGSTON STREET, ORLANDO, FLORIDA 32801.

ARTICLE 18. EMPLOYMENT VERIFICATION. The Engineer agrees that it shall bear the responsibility for verifying the employment status, under the Immigration Reform and Control Act of 1986, of all persons it employs in the performance of this Agreement.

ARTICLE 19. CONTROLLING LAW; JURISDICTION AND VENUE. Engineer and the District agree that this Agreement shall be controlled and governed by the laws of the State of Florida. Jurisdiction and venue for any proceeding with respect to this Agreement shall be in Leon County, Florida.

ARTICLE 20. ASSIGNMENT. Neither the District nor the Engineer shall assign, sublet, or transfer any rights under or interest in this Agreement without the express written consent of the other. Nothing in this paragraph shall prevent the Engineer from employing such independent professional associates and consultants as Engineer deems appropriate, pursuant to the terms of this Agreement.

ARTICLE 21. TERMINATION. The District may terminate this Agreement for cause immediately upon notice to Engineer. The District or the Engineer may terminate this Agreement without cause upon thirty (30) days' written notice. At such time as the Engineer receives notification of the intent of the District to terminate the contract, the Engineer shall not perform any further services unless directed to do so in writing by the District. In the event of any termination or breach of any kind, the Engineer shall not be entitled to consequential or other damages of any kind (including but not limited to lost profits), but instead the Engineer's sole remedy will be to recover payment for services rendered to the date of the notice of termination, subject to any offsets.

ARTICLE 22. NOTICES. All notices, requests, consents and other communications under this Agreement ("Notices") shall be in writing and shall be delivered, transmitted by electronic mail (e-mail) and mailed by First Class Mail, postage prepaid, or overnight delivery service, to the parties, as follows:

If to the District:	Canopy Community Development District c/o Governmental Management Services – Central Florida, LLC 219 East Livingston Street Orlando, Florida 32801 Attn: District Manager
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With a copy to:	Hopping Green & Sams, P.A. 119 S. Monroe Street, Suite 300 Post Office Box 6526 Tallahassee, Florida 32314 Attn: District Counsel
------------------------	-----------------------------------------------------------------------------------------------------------------------------------------------

If to Engineer:	_____ _____
------------------------	----------------

Attn: _____

Except as otherwise provided in this Agreement, any Notice shall be deemed received only upon actual delivery at the address set forth above. Notices delivered after 5:00 p.m. (at the place of delivery) or on a non-business day, shall be deemed received on the next business day. If any time for giving Notice contained in this Agreement would otherwise expire on a non-business day, the Notice period shall be extended to the next succeeding business day. Saturdays, Sundays, and legal holidays recognized by the United States government shall not be regarded as business days. Counsel for District and counsel for Engineer may deliver Notice on behalf of District and Engineer, respectively. Any party or other person to whom Notices are to be sent or copied may notify the other parties and addressees of any change in name or address to which Notices shall be sent by providing the same on five (5) days' written notice to the parties and addressees set forth herein.

ARTICLE 23. RECOVERY OF COSTS AND FEES. In the event either party is required to enforce this Agreement by court proceedings or otherwise, then the substantially prevailing party shall be entitled to recover from the other party all costs incurred, including reasonable attorneys' fees.

ARTICLE 24. COMPLIANCE WITH PROFESSIONAL STANDARDS. In performing its obligations under this Agreement, the Engineer and each of its agents, servants, employees or anyone directly or indirectly employed by Engineer, shall maintain the highest standard of care, skill, diligence and professional competency for such work and/or services. Any designs, drawings, reports or specifications prepared or furnished by the Engineer that contain errors, conflicts or omissions will be promptly corrected by Engineer at no cost to the District.

ARTICLE 25. ACCEPTANCE. Acceptance of this Agreement is indicated by the signature of the authorized representative of the District and the Engineer in the spaces provided below.

[SIGNATURES ON FOLLOWING PAGE]

IN WITNESS WHEREOF, the parties hereto have caused these present to be executed the day and year first above written.

**CANOPY COMMUNITY
DEVELOPMENT DISTRICT**

Secretary/Assistant Secretary

Chairman, Board of Supervisors

_____,
a _____

Witness

By: _____

Its: _____

Witness

Attachment A – Form of Work Authorization

Attachment B – Rate Schedule

ATTACHMENT A
Form of Work Authorization

WORK AUTHORIZATION #____

_____, 20__

Canopy Community Development District
219 E. Livingston St.
Orlando, FL 32801

Subject: **Work Authorization Number** ____, **Canopy Community Development District**

Dear Chairperson, Board of Supervisors:

_____ (“Engineering Professional”) is pleased to submit this work authorization to provide professional services for the Canopy Community Development District. We will provide these services pursuant to our current agreement dated _____, 2020 (“Agreement”) as follows:

I. Scope of Work

Canopy Community Development District (“District”) hereby engages the services of Engineering Professional to perform the work described in **Schedule A**, attached hereto.

II. Fees

The District will compensate Engineering Professional in accordance with the terms of the Agreement and **Schedule A**.

This proposal, together with the Agreement, represents the entire understanding between the District and Engineering Professional with regard to the referenced work authorization. If you wish to accept this work authorization, please sign both copies where indicated, and return one complete copy to our office. Upon receipt, we will promptly schedule our services.

Thank you for considering _____. We look forward to helping you create a quality project.

Sincerely,

Authorized Representative of

APPROVED AND ACCEPTED

By: _____
Authorized Representative of
Canopy Community Development District

Date: _____

Schedule A: [to be attached to each Work Authorization]

ATTACHMENT B
Rate Schedule

SECTION VIII



Keep It Grassy LLC
Craig Shelton, Owner
(850) 542-1055
Licensed & Insured

QUOTE #1328

Prepared for:

Canopy Community Development District & Officers
Fleischmann Road & Welaunee Blvd
Tallahassee, FL 32308

Green Space/HOA Maintenance Package

Service	Description	Monthly Cost
Lawn Maintenance	Cut and trim grass bi-weekly during the growing season in all common/green space areas. Remove leaves & other debris during winter months and mow as needed. Weed eat around trees or other structures the mower cannot reach.	\$2,800
Sidewalk Maintenance	Edge walkways and concrete areas 2x/month. Blow off sidewalks and keep free from leaves, grass cuttings and other debris weekly.	\$900
Flower Bed Maintenance	Spread mulch in all flower beds twice yearly and replenish throughout the year as necessary (mulch invoiced separately). Prune flowers/plants throughout the year to promote fresh growth.	\$350
Shrub Maintenance	Prune shrubbery/hedges twice yearly and trim hedges monthly in between prunings to maintain shape.	\$400
Weed Control	Remove weeds from flower beds weekly. Apply weed control fertilization for all turf areas 4x/year. (fertilizer invoiced separately).	\$600
Cleaning	Remove trash & debris from common areas, sidewalks and roads on a weekly basis.	\$200
Monthly Total:		\$5,250

All prices are per month based on a 4 month trial period followed by an 8 month contract.

(Area inside fence of large holding pond between Sweet Ridge and Fleischmann Road and pond between Sweet Ridge & Centerville Road not included in quote)

The package above is a full-service lawn maintenance package designed for a master-planned community to keep the neighborhood looking pristine no matter the time of the year or month. A specialized technician will be on-site 5 days a week between the hours of 8am - 5pm. To move forward with a contract for services, please contact us via phone or email and reference your quote #.

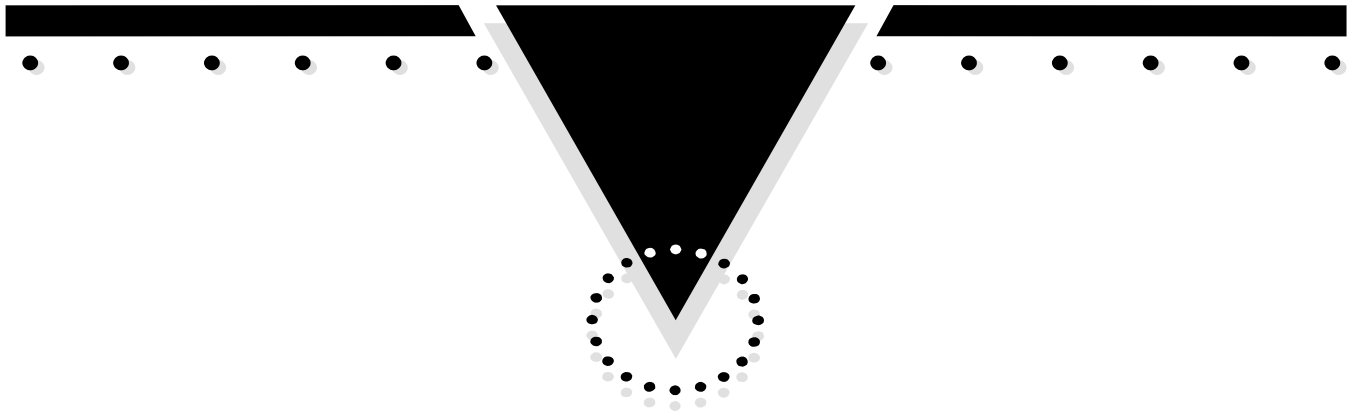
(850) 542-1055 | keepitgrassytlh@gmail.com

ACORD™ CERTIFICATE OF LIABILITY INSURANCE		DATE (MM/DD/YYYY) 3/27/2020												
PRODUCER Waterhouse & Associates, Inc. 2880 Apalachee Parkway Tallahassee, Florida 32301 (850)412-1099 Office	Phone# 850-412-1099	THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.												
INSURED LLC KEEP IT GRASSY 2717 HASTINGS DR tallahassee, FL 32303	<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <th style="width: 80%;">INSURERS AFFORDING COVERAGE</th> <th style="width: 20%;">NAIC #</th> </tr> <tr> <td>INSURER A: FRANK CRUM GENERAL AGENCY</td> <td></td> </tr> <tr> <td>INSURER B: LEADER SPECIALTY INSURANCE CO</td> <td></td> </tr> <tr> <td>INSURER C:</td> <td></td> </tr> <tr> <td>INSURER D:</td> <td></td> </tr> <tr> <td>INSURER E: FRANK CRUM GENERAL AGENCY</td> <td></td> </tr> </table>		INSURERS AFFORDING COVERAGE	NAIC #	INSURER A: FRANK CRUM GENERAL AGENCY		INSURER B: LEADER SPECIALTY INSURANCE CO		INSURER C:		INSURER D:		INSURER E: FRANK CRUM GENERAL AGENCY	
INSURERS AFFORDING COVERAGE	NAIC #													
INSURER A: FRANK CRUM GENERAL AGENCY														
INSURER B: LEADER SPECIALTY INSURANCE CO														
INSURER C:														
INSURER D:														
INSURER E: FRANK CRUM GENERAL AGENCY														

COVERAGES							
THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.							
INSR	ADD'L	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
A	<input checked="" type="checkbox"/>	GENERAL LIABILITY	BGFL0020959900	03/26/20	03/26/21	EACH OCCURRENCE	\$ 1,000,000
		<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 300,000
		<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				MED EXP (Any one person)	\$ 10,000
						PERSONAL & ADV INJURY	\$ 1,000,000
						GENERAL AGGREGATE	\$ 2,000,000
GEN'L AGGREGATE LIMIT APPLIES PER:						PRODUCTS - COMP/OP AGG	\$ 2,000,000
<input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC							
B	<input checked="" type="checkbox"/>	AUTOMOBILE LIABILITY	509221741230001	03/26/20	03/26/21	COMBINED SINGLE LIMIT (Ea accident)	\$ 100,000
		<input type="checkbox"/> ANY AUTO				BODILY INJURY (Per person)	\$ 500,000
		<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident)	\$ 100,000
		<input type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident)	\$
		<input type="checkbox"/> HIRED AUTOS					
<input type="checkbox"/> NON-OWNED AUTOS							
	<input type="checkbox"/>	GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT	\$
		<input type="checkbox"/> ANY AUTO			OTHER THAN EA ACC	\$	
				AUTO ONLY: AGG	\$		
	<input type="checkbox"/>	EXCESS/UMBRELLA LIABILITY				EACH OCCURRENCE	\$
		<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE			AGGREGATE	\$	
		<input type="checkbox"/> DEDUCTIBLE				\$	
		RETENTION \$				\$	
						\$	
E	<input type="checkbox"/>	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	FWFL0020959600	03/26/20	03/26/21	WC STATU-TORY LIMITS	\$ 300,000CSL
		ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED?				E.L. EACH ACCIDENT	\$
		If yes, describe under SPECIAL PROVISIONS below				E.L. DISEASE - EA EMPLOYEE	\$
		OTHER				E.L. DISEASE - POLICY LIMIT	\$
DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS LAWN CARE SERVICES / LANDSCAPE GARDENING Canopy Community Development District and Officers are considered additionally insured per the insured's AI blanket							

CERTIFICATE HOLDER	CANCELLATION
Canopy Community Development District and Officers 219 East Livingston Street Orlando, FL, 32801	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL <u>10</u> DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.
AUTHORIZED REPRESENTATIVE H. CECIL SPEAR	

SECTION IX



Canopy Community Development District

**Proposed Budget
FY 2021**



Table of Contents

1-4	General Fund
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16-18	Assessment Area 2 - Special Assessment Bonds Series 2018A-1
19-21	Assessment Area 2 - Special Assessment Bonds Series 2018A-2
22-24	Assessment Area 3 - Special Assessment Bonds Series 2018A-3

**Canopy Community Development District
General Fund Budget**

Description	Adopted Budget FY 2020	Actual Thru 4/30/20	Projected Next 5 Months	Projected Thru 9/30/20	Proposed Budget FY 2021	Buildout Budget
Revenues						
Assessments - Tax Roll	\$ 47,052	\$ 46,150	\$ 902	\$ 47,052	\$ 47,052	\$ 754,593
Assessments - Direct (Administrative Only)	\$ 99,406	\$ 58,021	\$ 41,385	\$ 99,406	\$ 99,022	\$ -
Developer Contributions	\$ 174,267	\$ -	\$ 62,634	\$ 62,634	\$ 174,651	\$ -
Interest Income	\$ 500	\$ -	\$ -	\$ -	\$ 500	\$ 2,500
Miscellaneous Income (Rentals)	\$ 2,500	\$ -	\$ -	\$ -	\$ 2,500	\$ 10,000
Total Revenues	\$ 323,725	\$ 104,170	\$ 104,922	\$ 209,092	\$ 323,725	\$ 767,093

Expenditure

Administrative

Supervisor Fees	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 12,000
FICA	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 918
Engineering	\$ 12,000	\$ -	\$ 12,000	\$ 12,000	\$ 12,000	\$ 6,000
Arbitrage	\$ 2,400	\$ 450	\$ -	\$ 450	\$ 450	\$ 900
Assessment Roll	\$ 2,500	\$ 2,500	\$ -	\$ 2,500	\$ 2,500	\$ 7,500
Dissemination	\$ 8,000	\$ 4,667	\$ 3,333	\$ 8,000	\$ 8,000	\$ 8,000
Attorney	\$ 25,000	\$ 43,298	\$ 15,000	\$ 58,298	\$ 25,000	\$ 25,000
Annual Audit	\$ 5,000	\$ 5,000	\$ -	\$ 5,000	\$ 5,000	\$ 7,500
Trustee Fees	\$ 10,000	\$ 8,346	\$ -	\$ 8,346	\$ 10,000	\$ 10,000
Management Fees	\$ 35,000	\$ 20,417	\$ 14,583	\$ 35,000	\$ 35,000	\$ 50,000
Information Technology	\$ 3,700	\$ 1,458	\$ 2,242	\$ 3,700	\$ 3,700	\$ 5,000
Travel	\$ 50	\$ -	\$ -	\$ -	\$ 50	\$ 250
Telephone	\$ 250	\$ 18	\$ 50	\$ 68	\$ 250	\$ 250
Postage	\$ 500	\$ 124	\$ 200	\$ 324	\$ 500	\$ 1,500
Printing & Binding	\$ 1,500	\$ 483	\$ 500	\$ 983	\$ 1,500	\$ 1,500
Insurance-Liability	\$ 6,000	\$ 5,125	\$ -	\$ 5,125	\$ 6,000	\$ 6,000
Legal Advertising	\$ 2,500	\$ 978	\$ 1,522	\$ 2,500	\$ 2,500	\$ 5,000
Other Current Charges	\$ 1,000	\$ 1,844	\$ 1,500	\$ 3,344	\$ 3,000	\$ 1,000
Office Supplies	\$ 1,000	\$ 22	\$ 200	\$ 222	\$ 500	\$ 1,000
Dues	\$ 175	\$ 175	\$ -	\$ 175	\$ 175	\$ 175
Total Administrative	\$ 116,575	\$ 94,904	\$ 51,130	\$ 146,035	\$ 116,125	\$ 149,493

Maintenance

Common Area:

Field Services	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 25,000
Porter Services	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 15,000
Landscape Maintenance	\$ 62,500	\$ 5,250	\$ 26,250	\$ 31,500	\$ 63,000	\$ 125,000
Landscape Contingency	\$ 10,600	\$ -	\$ 4,417	\$ 4,417	\$ 10,600	\$ 25,000
Plant Replacement	\$ 7,500	\$ -	\$ 3,125	\$ 3,125	\$ 7,500	\$ 15,000
Irrigation - Repairs	\$ 5,000	\$ -	\$ 2,083	\$ 2,083	\$ 5,000	\$ 10,000
Irrigation - Water	\$ 10,000	\$ -	\$ 4,167	\$ 4,167	\$ 10,000	\$ 20,000
Irrigation - Electric	\$ 2,500	\$ -	\$ 1,042	\$ 1,042	\$ 2,500	\$ 5,000
Wetland Mitigation and Monitoring	\$ 6,900	\$ 7,870	\$ -	\$ 7,870	\$ 8,400	\$ 7,500
Street Lights	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Lake Maintenance	\$ 7,500	\$ -	\$ 3,125	\$ 3,125	\$ 7,500	\$ 15,000
Repairs and Maintenance	\$ 12,500	\$ -	\$ 5,208	\$ 5,208	\$ 12,500	\$ 25,000
Operating Supplies	\$ 1,250	\$ -	\$ 521	\$ 521	\$ 1,250	\$ 2,500

**Canopy Community Development District
General Fund Budget**

Description	Adopted Budget FY 2020	Actual Thru 4/30/20	Projected Next 5 Months	Projected Thru 9/30/20	Proposed Budget FY 2021	Buildout Budget
<u>Common Area-Continued:</u>						
Road and Sidewalk	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Trail Maintenance	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Signage	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Walls - Repair/Cleaning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Fencing	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
<u>Amenity Center</u>						
Amenity Management Staffing	\$ 18,750	\$ -	\$ -	\$ -	\$ 18,750	\$ 75,000
Pool Attendants	\$ 3,750	\$ -	\$ -	\$ -	\$ 3,750	\$ 15,000
Janitorial	\$ 3,750	\$ -	\$ -	\$ -	\$ 3,750	\$ 15,000
Pool Maintenance	\$ 3,750	\$ -	\$ -	\$ -	\$ 3,750	\$ 15,000
Pool Chemicals	\$ 1,875	\$ -	\$ -	\$ -	\$ 1,875	\$ 7,500
Pool Permits	\$ 188	\$ -	\$ -	\$ -	\$ 188	\$ 750
Pool - Electric	\$ 3,750	\$ -	\$ -	\$ -	\$ 3,750	\$ 15,000
Pool - Water	\$ 250	\$ -	\$ -	\$ -	\$ 250	\$ 1,000
Telephone	\$ 625	\$ -	\$ -	\$ -	\$ 625	\$ 2,500
Water/Sewer	\$ 1,250	\$ -	\$ -	\$ -	\$ 1,250	\$ 5,000
Gas	\$ 125	\$ -	\$ -	\$ -	\$ 125	\$ 500
Trash	\$ 600	\$ -	\$ -	\$ -	\$ 600	\$ 2,400
Pest Control	\$ 300	\$ -	\$ -	\$ -	\$ 300	\$ 1,200
Termite Bond	\$ 188	\$ -	\$ -	\$ -	\$ 188	\$ 750
Insurance - Property	\$ 6,250	\$ -	\$ -	\$ -	\$ 6,250	\$ 25,000
Cable/Internet	\$ 1,875	\$ -	\$ -	\$ -	\$ 1,875	\$ 7,500
Access Cards	\$ 625	\$ -	\$ -	\$ -	\$ 625	\$ 2,500
Activities	\$ 3,750	\$ -	\$ -	\$ -	\$ 3,750	\$ 15,000
Security/Alarms/Repair	\$ 8,750	\$ -	\$ -	\$ -	\$ 8,750	\$ 35,000
Repairs and Maintenance	\$ 8,750	\$ -	\$ -	\$ -	\$ 8,750	\$ 35,000
Office Supplies	\$ 500	\$ -	\$ -	\$ -	\$ 500	\$ 2,000
Holiday Decorations	\$ 1,250	\$ -	\$ -	\$ -	\$ 1,250	\$ 5,000
<u>Other</u>						
Contingency	\$ 1,250	\$ -	\$ -	\$ -	\$ 1,250	\$ 5,000
Capital Reserve (1)	\$ 8,750	\$ -	\$ -	\$ -	\$ 7,200	\$ 39,000
Total Maintenance	\$ 207,150	\$ 13,120	\$ 49,938	\$ 63,058	\$ 207,600	\$ 617,600
Total Expenditures	\$ 323,725	\$ 108,024	\$ 101,068	\$ 209,092	\$ 323,725	\$ 767,093
Excess Revenues (Expenditures)	\$ 0	\$ 3,854	\$ 3,854	\$ 0	\$ -	\$ -

	<u>Current</u>	<u>Buildout</u>
Net Assessments	\$ 320,725	\$ 754,593
Collection Fees (7%)	\$ 24,141	\$ 56,797
Gross Assessments	<u>\$ 344,866</u>	<u>\$ 811,390</u>
No of Assessable Units	1,001.50	1,001.50
Net Assessment Per Unit	\$ 320	\$ 753
Gross Assessment Per Unit (Includes 7% Collection Cost)	\$ 344	\$ 810

**Canopy Community Development District
General Fund Budget**

Description	Adopted Budget FY 2020	Actual Thru 4/30/20	Projected Next 5 Months	Projected Thru 9/30/20	Proposed Budget FY 2021	Buildout Budget
<u>Administative Assessment :</u>						
Administrative Budget'					\$ 116,125	
Assessable Units					1001.50	
Net Assessment Per Unit					<u>\$ 115.95</u>	
Assessments - Tax Roll (147 Units)					\$ 17,045	
Undeveloped Planned Residential Units (854)					\$ 99,022	
Religious Facility (.5)					<u>\$ 58</u>	
Total Net Assessments					<u><u>\$ 116,125</u></u>	

(1) Capital Reserve amount is subject to change upon further completion of infrastructure supported by professional reserve study or engineer's estimate for annual funding.

**Canopy Community Development District
Assessment Chart**

Product Types	No. of Units	%	Total Net Assessments	Net Assessments Per Unit	Gross Assessments Per Unit
Single Family - 20'	58	5.79%	\$ 18,564.92	\$ 320	\$ 344
Single Family - 30'	42	4.19%	\$ 13,443.56	\$ 320	\$ 344
Single Family - 30' (Attached)	207	20.66%	\$ 66,257.56	\$ 320	\$ 344
Single Family - 40'	174	17.37%	\$ 55,694.76	\$ 320	\$ 344
Single Family - 40' (Attached)	24	2.40%	\$ 7,682.04	\$ 320	\$ 344
Single Family - 50'	212	21.16%	\$ 67,857.98	\$ 320	\$ 344
Single Family - 60'	225	22.46%	\$ 72,019.09	\$ 320	\$ 344
Single Family - 70'	17	1.70%	\$ 5,441.44	\$ 320	\$ 344
Single Family - 80'	42	4.19%	\$ 13,443.56	\$ 320	\$ 344
Church	1	0.10%	\$ 320.08	\$ 320	\$ 344
Total Units	1,002	100.00%	\$ 320,725.00		

Assessments Area I

Product Type	Units	O&M	Debt	Total	O&M Total
Single Family - 40'	19	\$ 344	\$ 650	\$ 994	\$ 6,539
Single Family - 50'	47	\$ 344	\$ 750	\$ 1,094	\$ 16,176
Single Family - 60'	27	\$ 344	\$ 850	\$ 1,194	\$ 9,293
Total Units	93				\$ 32,008

Assessments Area 2 (Platted)

Product Type	Units	O&M	Debt	Total	O&M Total
Single Family - 20'	10	\$ 344	\$ 450	\$ 794	\$ 3,442
Single Family - 30'	21	\$ 344	\$ 550	\$ 894	\$ 7,228
Single Family - 40'	14	\$ 344	\$ 650	\$ 994	\$ 4,818
Single Family - 50'	4	\$ 344	\$ 750	\$ 1,094	\$ 1,377
Single Family - 60'	5	\$ 344	\$ 850	\$ 1,194	\$ 1,721
Total Units	54				\$ 18,586

Total Gross Assessment Platted Lots	\$ 50,594
--------------------------------------------	------------------

Canopy

Community Development District

GENERAL FUND BUDGET

REVENUES:

Assessments

The District will levy a non-ad valorem special assessment and on taxable property and unplatted lots within the District to fund general operating and maintenance expenditures for the Fiscal Year.

Developer Contributions

The District will enter into a Funding Agreement with the Developer to fund the General Fund expenditures for the Fiscal Year.

Interest Income

Represents estimated interest earnings from cash balances in the District's operating account with Suntrust.

Miscellaneous Income

Income received from rentals and other miscellaneous income.

EXPENDITURES:

Administrative:

Supervisor Fees

The Florida Statutes allows each supervisor to be paid per meeting, for the time devoted to District business and board meetings. The amount is based upon 5 Supervisors attending 6 meetings during the fiscal year.

FICA Expense

Represents the Employer's share of Social Security and Medicare taxes withheld from Board of Supervisor checks.

Engineering

The District's engineer will be providing general engineering services to the District, e.g. attendance and preparation for monthly board meetings, review invoices, etc. The District is currently contracted with Greenman-Pedersen, Inc.

Arbitrage

The District will contract with an independent certified public accountant to annually calculate the District's Arbitrage Rebate Liability on the new Special Assessment Revenue Bonds.

Canopy

Community Development District

GENERAL FUND BUDGET

Dissemination

The District is required by the Security and Exchange Commission to comply with Rule 15c2-12(b) (5) which relates to additional reporting requirements for unrated bond issues.

Attorney

The District's legal counsel, Hopping, Green & Sams, will be providing general legal services to the District, e.g. attendance and preparation for monthly meetings, preparation and review of agreements, resolutions, etc.

Annual Audit

The District is required by Florida Statutes to arrange for an independent audit of its financial records on an annual basis by an Independent Certified Public Accounting Firm. The District has contracted with Carr Riggs & Ingram CPAs and Advisors for these services. (\$5,000/year for 3 years)

Trustee Fees

The District's new Special Assessments Revenue Bonds will be held and administered with a Trustee.

Management Fees

The District has contracted with Governmental Management Services - Central Florida, LLC to provide Management, Accounting and Recording Secretary Services for the District. The services include, but are not limited to, recording and transcription of board meetings, administrative services, budget preparation, all financials reporting, annual audits, etc.

Information Technology

The District incurs costs related to the District's accounting and information systems, District's website creation and maintenance, electronic compliance with Florida Statutes and other electronic data requirements.

Travel

The Board of Supervisors can be reimbursed for travel expenditures related to the conducting of District business.

Telephone

Telephone and fax machine.

Postage

Mailing of agenda packages, overnight deliveries, checks for vendors, and any other required correspondence, etc.

Canopy

Community Development District

GENERAL FUND BUDGET

Printing & Binding

Printing and Binding agenda packages for board meetings, printing of computerized checks, stationary, envelopes etc

Insurance - Liability

Represents the District's general liability, public officials liability and property insurance coverage, which will be provided by Florida Insurance Alliance (FIA). FIA specializes in providing insurance coverage to governmental agencies.

Legal Advertising

Advertising of monthly board meetings, public hearings, and any services that are required to be advertised for public bidding, i.e. audit services, engineering service, maintenance contracts and any other advertising that may be required.

Other Current Charges

Bank charges and any other miscellaneous expenses incurred during the fiscal year.

Office Supplies

The District incurs charges for supplies that need to be purchased during the fiscal year, including copier and printer toner cartridges, paper, file folders, binders, pens, paper clips, and other such office supplies.

Dues, Licenses & Subscriptions

The District is required to pay an annual fee to the Department of Community Affairs for \$175. This is the only expense under this category for the District.

Maintenance (Common Area):

Field Services

The District will contract to provide onsite field management of contracts for District Services such as landscape maintenance. Services to include weekly site inspections, meetings with contractors, monitoring of utility accounts, attend Board meetings and receive and respond to property owner phone calls and emails.

Porter Services

The District will incur cost for street sweeping and/or cleaning.

Canopy

Community Development District

GENERAL FUND BUDGET

Landscape Maintenance

The District will incur landscape maintenance expenses, which include mowing, edging, string-trimming, annual flower replacements, shrub and palm pruning, weeding, fertilization, pine straw, pest control and irrigation inspections during the fiscal year.

Landscape Contingency

To record the cost of landscape enhancements as well as any miscellaneous landscape items currently not budgeted or covered in landscape contract.

Plant Replacement

Unscheduled maintenance consists of tree, shrub and other plant material replacements as well as annual bed enhancements

Irrigation Repairs

To record the cost of repairs to the irrigation system and preventative maintenance on the irrigation pump station.

Irrigation -Water

The District incurs cost for water. The District will contract with a utility company to provide this service.

Irrigation - Electric

The District will incur cost for electric for irrigation timers.

Wetland Mitigation and Monitoring

Task 1A: Baseline Monitoring:

- Within 30 days of planting, FELSI will provide FDEP a baseline monitoring report for approval showing sampling locations, Photo Stations, the mitigation wetland area and location of plants planted as directed in the FDEP permit

Task 1B: Wetland Monitoring:

- Long term monitoring will determine the likelihood of success of the mitigation project and will be conducted semi-annually for the first year and annually for two through five. Monitoring reports will be submitted to FDEP within 30 days of the monitoring event and include criteria listed in the permitted monitoring plan.

Task 1C Release from Monitoring Request:

- Release from Monitoring can be requested when all criteria of the monitoring plan has been continuously met for a period of at least one growing season and not prior to two years post-

Canopy

Community Development District

GENERAL FUND BUDGET

planting. The release request will include preparation of a written request to FDEP detailing that the monitoring plan criteria has been met. The release cost includes site visits with the agencies, if needed.

Task 1D: Wetland Maintenance:

- As part of the DEP and COT requirements, maintenance of the mitigation areas must be conducted to remove any nuisance and/or exotic vegetation affecting project compliance and should not exceed 1% of the total cover.

- The treatment of exotics within the 17.23 acres of wetland creation will be undertaken per the maintenance procedures in the permitted monitoring plan and performed by a State of Florida licensed commercial use pesticide applicator. The 27.34 acre wetland preservation area is also to be maintained free from exotics. Inspection and treatments, if necessary, in the mitigation site will be conducted quarterly for four years (total 16 inspections) and continue until permit success criteria has been met. The cost represented below is a per event/quarter cost for quarterly inspections of exotics. This task includes report preparation and submission.

- The cost for treatment will be related to site conditions, which will determine the level of effort needed to bring the project into compliance.

Task 2: Installation and Maintenance of Wood Duck Boxes:

- As part of the Wetland Mitigation Report, duck boxes are to be installed within the pond. No number was given in the approved document. Based upon the estimated potential suitable habitat around the lake, we would recommend 8 boxes. Typically wooden boxes are cheaper, but only last a few years. The price included is for 8 boxes that are more durable. The cost includes all materials and installation of the boxes. Boxes can be maintained after nesting seasons ends in August and prepared for spring nesting the following year. The price included is for maintenance to occur once per year in combination with the scheduled monitoring events.

Task 3: Environmental Permit Management:

- The FDEP and City permits have many conditions to keep track of. FELSI can summarize these conditions, timelines and responsible parties and provide limited oversight of task completion and reporting. It was noted that there are several inconsistencies in the DEP permit and the approved environmental considerations report. These inconsistencies may create problems or they may be easily explained and rectified. Management would continue until Success Criteria has been met. The cost provided is divided into Year 1, which is expected to take more effort and then subsequent years on an annual basis.

Wetland Mitigation & Monitoring Tasks	Year 1 (FY 19 - 20)	Year 2 (FY 20 - 21)	Year 3 (FY 21 - 22)	Year 4 (FY 22 - 23)	Year 5 (FY 23-24)	Total Per Task
Task 1A: Baseline Monitoring (within 30 days of planting will provide report)	\$2,900	\$0	\$0	\$0	\$0	\$2,900
Task 1B: Wetland Monitoring (\$1850 per annual event)(Semi-Annual Year One)	\$3,700	\$1,850	\$1,850	\$1,850	\$1,850	\$11,100
Task 1C: Release from Monitoring Request (after two years of post planting we may request)	\$0	\$0	\$1,250	\$0	\$0	\$1,250
Task 1D: Wetland Maintenance (monitoring) (\$950 per quarterly event)	\$3,800	\$3,800	\$3,800	\$3,800	\$0	\$15,200
Task 1D: Wetland Maintenance (treatment)(\$400 -\$2,500 per event)(\$10k max for 4 years)	\$400	\$2,100	\$2,500	\$2,500	\$2,500	\$10,000
Task 2: Installation and Maintenance of Wood Duck Boxes	\$2,500	\$0	\$0	\$0	\$0	\$2,500
Task 3: Environmental Permit Management	\$800	\$650	\$650	\$650	\$650	\$3,400
Total Per Year	\$14,100	\$8,400	\$10,050	\$8,800	\$5,000	\$46,350

Canopy

Community Development District

GENERAL FUND BUDGET

Lake Maintenance

The District will contract to provide for the few Stormwater management facilities that the CDD will own and maintain.

Repairs and Maintenance

Cost of repairs and maintenance throughout the common area of the District.

Operating Supplies

Purchase of supplies for the District.

Amenity Center:

Amenity Management Staffing

Staff cost associated with helping and running the amenity center.

Pool Attendants

The cost to hire and supervise pool attendants used to help with running the amenity center's pool. Account line includes staff hours for the fiscal year, all related benefits, and a contingency for projects and pay increase.

Janitorial

The cost to provide cleaning for amenity center.

Pool Maintenance

The District will contract with a vendor to provide for the maintenance of the Amenity Center swimming pool.

Pool Chemicals

The District will contract with a vendor to provide pool chemicals to maintain the pool.

Pool Permits

Represents Permit Fees paid to the Department of Health for the swimming pool.

Pool Electric

The cost of electric to run the amenity pool.

Pool – Water

The cost of water used for the amenity pool.

Canopy
Community Development District
GENERAL FUND BUDGET

Telephone

The cost of phone services for amenity center.

Water/Sewer

The cost of water and sewer associated with amenity center restrooms and irrigation.

Gas

The cost associated with providing propane gas services to heat the pool.

Trash

The cost of providing garbage disposal services.

Pest Control

This represents pest control of amenity center by contracted vendor.

Termite Bond

This represents cost to maintain termite warranty for the amenity center.

Insurance - Property

The District's Property Insurance policy will contract with Florida Insurance Alliance (FIA). FIA specializes in providing insurance coverage to governmental agencies. The amount budgeted represents the estimated premium for property insurance related to the Amenity Center.

Cable/Internet

The cost of cable and internet services for amenity center.

Access Cards

Represents the estimated cost for access cards used for entry to the District's Amenity Center.

Activities

Represents estimated costs for the District to host special events for the community throughout the Fiscal Year.

Security/Alarms/Repair

The monthly service fee and maintenance costs associated with security alarms/cameras provided by contracted vendor.

Canopy

Community Development District

GENERAL FUND BUDGET

Repairs and Maintenance

Represents regular repairs and replacements for District's Amenity Center.

Office Supplies

The cost of supplies used by Amenity Center Staff to run the center includes postage, printer ink, and office supplies.

Holiday Decorations

Estimated cost for installation of holiday lights and décor as well as supplies.

Other:

Contingency

To record the cost of any maintenance expenses not properly classified in any of the other accounts.

Capital Reserve

This amount is subject to change upon further completion of infrastructure supported by professional reserve study or engineer's estimate for annual funding.

Canopy Community Development District

Debt Service Fund Budget

Assessment Area 1 - Series 2018A-4 Bonds

Description	Adopted Budget FY 2020	Actual Thru 4/30/20	Projected Next 5 Months	Projected Thru 9/30/20	Proposed Budget FY 2021
Revenues					
Assessments - Tax Roll (Platted Lots)	\$ 65,612	\$ 64,386	\$ 1,226	\$ 65,612	\$ 65,612
Assessments - Direct (Unplatted Lots)	\$ -	\$ -	\$ -	\$ -	\$ -
Bond Proceeds	\$ -		\$ -	\$ -	\$ -
Interest Income	\$ 250	\$ 633	\$ 300	\$ 933	\$ 250
Carry Forward Surplus	\$ 42,999	\$ 43,012	\$ -	\$ 43,012	\$ 45,226
Total Revenues	\$ 108,861	\$ 108,030	\$ 1,526	\$ 109,556	\$ 111,088

Expenditure					
Interest - 11/1	\$ 24,523	\$ 24,523	\$ -	\$ 24,523	\$ 24,148
Principal - 5/1	\$ 15,000	\$ -	\$ 15,000	\$ 15,000	\$ 15,000
Interest - 5/1	\$ 24,523	\$ -	\$ 24,523	\$ 24,523	\$ 24,148
Transfer Out	\$ -	\$ 285	\$ -	\$ 285	\$ -
Total Expenditures	\$ 64,045	\$ 24,807	\$ 39,523	\$ 64,330	\$ 63,296

Excess Revenues	\$ 44,816	\$ 83,223	-\$ 37,997	\$ 45,226	\$ 47,792
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Excess Revenues	\$ 75,724	Interest - 11/1	\$ 23,773
Less: Debt Service Reserve	\$ (32,713)		
Carry Forward Surplus	<u>\$ 43,012</u>		

Assessments Area I

Product Type	Units	O&M	Debt	Total	Debt Total
Single Family - 40'	19	\$ 344	\$ 650	\$ 994	\$ 12,350
Single Family - 50'	47	\$ 344	\$ 750	\$ 1,094	\$ 35,250
Single Family - 60'	27	\$ 344	\$ 850	\$ 1,194	\$ 22,950
Total Units	93				\$ 70,550

Total Net Assessments	\$ 65,612
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**Canopy Community Development District
Series 2018A-4, Special Assessment Bonds
(Combined)**

Amortization Schedule

Date	Balance	Principal	Interest	Annual
11/1/20	\$ 950,000	\$ -	\$ 24,148	\$ 63,670
5/1/21	\$ 950,000	\$ 15,000	\$ 24,148	\$ -
11/1/21	\$ 935,000	\$ -	\$ 23,773	\$ 62,920
5/1/22	\$ 935,000	\$ 15,000	\$ 23,773	\$ -
11/1/22	\$ 920,000	\$ -	\$ 23,398	\$ 62,170
5/1/23	\$ 920,000	\$ 15,000	\$ 23,398	\$ -
11/1/23	\$ 905,000	\$ -	\$ 23,023	\$ 61,420
5/1/24	\$ 905,000	\$ 15,000	\$ 23,023	\$ -
11/1/24	\$ 890,000	\$ -	\$ 22,648	\$ 60,670
5/1/25	\$ 890,000	\$ 20,000	\$ 22,648	\$ -
11/1/25	\$ 870,000	\$ -	\$ 22,148	\$ 64,795
5/1/26	\$ 870,000	\$ 20,000	\$ 22,148	\$ -
11/1/26	\$ 850,000	\$ -	\$ 21,648	\$ 63,795
5/1/27	\$ 850,000	\$ 20,000	\$ 21,648	\$ -
11/1/27	\$ 830,000	\$ -	\$ 21,148	\$ 62,795
5/1/28	\$ 830,000	\$ 20,000	\$ 21,148	\$ -
11/1/28	\$ 810,000	\$ -	\$ 20,648	\$ 61,795
5/1/29	\$ 810,000	\$ 20,000	\$ 20,648	\$ -
11/1/29	\$ 790,000	\$ -	\$ 20,148	\$ 60,795
5/1/30	\$ 790,000	\$ 25,000	\$ 20,148	\$ -
11/1/30	\$ 765,000	\$ -	\$ 19,523	\$ 64,670
5/1/31	\$ 765,000	\$ 25,000	\$ 19,523	\$ -
11/1/31	\$ 740,000	\$ -	\$ 18,898	\$ 63,420
5/1/32	\$ 740,000	\$ 25,000	\$ 18,898	\$ -
11/1/32	\$ 715,000	\$ -	\$ 18,273	\$ 62,170
5/1/33	\$ 715,000	\$ 25,000	\$ 18,273	\$ -
11/1/33	\$ 690,000	\$ -	\$ 17,648	\$ 60,920
5/1/34	\$ 690,000	\$ 30,000	\$ 17,648	\$ -
11/1/34	\$ 660,000	\$ -	\$ 16,898	\$ 64,545
5/1/35	\$ 660,000	\$ 30,000	\$ 16,898	\$ -
11/1/35	\$ 630,000	\$ -	\$ 16,148	\$ 63,045
5/1/36	\$ 630,000	\$ 30,000	\$ 16,148	\$ -
11/1/36	\$ 600,000	\$ -	\$ 15,398	\$ 61,545
5/1/37	\$ 600,000	\$ 35,000	\$ 15,398	\$ -
11/1/37	\$ 565,000	\$ -	\$ 14,523	\$ 64,920
5/1/38	\$ 565,000	\$ 35,000	\$ 14,523	\$ -

**Canopy Community Development District
Series 2018A-4, Special Assessment Bonds
(Combined)**

Amortization Schedule

Date	Balance	Principal	Interest	Annual
11/1/38	\$ 530,000	\$ -	\$ 13,648	\$ 63,170
5/1/39	\$ 530,000	\$ 35,000	\$ 13,648	\$ -
11/1/39	\$ 495,000	\$ -	\$ 12,746	\$ 61,394
5/1/40	\$ 495,000	\$ 40,000	\$ 12,746	\$ -
11/1/40	\$ 455,000	\$ -	\$ 11,716	\$ 64,463
5/1/41	\$ 455,000	\$ 40,000	\$ 11,716	\$ -
11/1/41	\$ 415,000	\$ -	\$ 10,686	\$ 62,403
5/1/42	\$ 415,000	\$ 45,000	\$ 10,686	\$ -
11/1/42	\$ 370,000	\$ -	\$ 9,528	\$ 65,214
5/1/43	\$ 370,000	\$ 45,000	\$ 9,528	\$ -
11/1/43	\$ 325,000	\$ -	\$ 8,369	\$ 62,896
5/1/44	\$ 325,000	\$ 45,000	\$ 8,369	\$ -
11/1/44	\$ 280,000	\$ -	\$ 7,210	\$ 60,579
5/1/45	\$ 280,000	\$ 50,000	\$ 7,210	\$ -
11/1/45	\$ 230,000	\$ -	\$ 5,923	\$ 63,133
5/1/46	\$ 230,000	\$ 55,000	\$ 5,923	\$ -
11/1/46	\$ 175,000	\$ -	\$ 4,506	\$ 65,429
5/1/47	\$ 175,000	\$ 55,000	\$ 4,506	\$ -
11/1/47	\$ 120,000	\$ -	\$ 3,090	\$ 62,596
5/1/48	\$ 120,000	\$ 60,000	\$ 3,090	\$ -
11/1/48	\$ 60,000	\$ -	\$ 1,545	\$ 64,635
5/1/49	\$ 60,000	\$ 60,000	\$ 1,545	\$ 61,545
Totals		\$ 965,000	\$ 947,038	\$ 1,912,038

Canopy Community Development District

Debt Service Fund Budget Assessment Area 2 - Series 2018A-1 Bonds

Description	Adopted Budget FY 2020	Actual Thru 4/30/20	Projected Next 5 Months	Projected Thru 9/30/20	Proposed Budget FY 2021
Revenues					
Assessments - Tax Roll (Platted Lots)	\$ 30,132	\$ 29,569	\$ 563	\$ 30,132	\$ 30,132
Assessments - Direct (Unplatted Lots)	\$ 134,594	\$ 67,263	\$ 67,332	\$ 134,594	\$ 134,594
Bond Proceeds	\$ -	\$ -	\$ -	\$ -	\$ -
Interest Income	\$ 250	\$ -	\$ 250	\$ 250	\$ 250
Carry Forward Surplus	\$ 67,784	\$ 67,784	\$ -	\$ 67,784	\$ 71,603
Total Revenues	\$ 232,760	\$ 164,616	\$ 68,145	\$ 232,760	\$ 236,579
Expenditure					
Interest - 11/1	\$ 67,721	\$ 67,721	\$ -	\$ 67,721	\$ 66,971
Principal - 5/1	\$ 25,000	\$ -	\$ 25,000	\$ 25,000	\$ 30,000
Interest - 5/1	\$ 67,721	\$ -	\$ 67,721	\$ 67,721	\$ 66,971
Transfer Out	\$ -	\$ 715		\$ 715	\$ -
Total Expenditures	\$ 160,443	\$ 68,436	\$ 92,721	\$ 161,157	\$ 163,942
Excess Revenues	\$ 72,318	\$ 96,179	-\$ 24,577	\$ 71,603	\$ 72,637

Interest - 11/1 \$ 66,071

Product Type	Platted Units	Debt	Total Platted
Single Family - 20'	10	\$ 450	\$ 4,500
Single Family - 30'	21	\$ 550	\$ 11,550
Single Family - 30' (Attached)	0	\$ 450	\$ -
Single Family - 40'	14	\$ 650	\$ 9,100
Single Family - 40' (Attached)	0	\$ 550	\$ -
Single Family - 50'	4	\$ 750	\$ 3,000
Single Family - 60'	5	\$ 850	\$ 4,250
Single Family - 80'	0	\$ 1,000	\$ -
Church	0	\$ 750	\$ -
Total	54		\$ 32,400

Total Net Assessment	\$ 30,132
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Unplatted Units	Debt	Total Unplatted
20	\$ 450	\$ 9,000
0	\$ 550	\$ -
18	\$ 450	\$ 8,100
42	\$ 650	\$ 27,300
12	\$ 550	\$ 6,600
29	\$ 750	\$ 21,750
76	\$ 850	\$ 64,600
7	\$ 1,000	\$ 7,000
0.5	\$ 750	\$ 375
204.5	4250	\$ 144,725

Total Net Assessment	\$ 134,594
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**Canopy Community Development District
Series 2018A-1, Special Assessment Bonds
(Combined)**

Amortization Schedule

Date	Balance	Principal	Interest	Annual
11/1/20	\$ 2,200,000	\$ -	\$ 66,971	\$ 159,693
5/1/21	\$ 2,200,000	\$ 30,000	\$ 66,971	\$ -
11/1/21	\$ 2,170,000	\$ -	\$ 66,071	\$ 163,043
5/1/22	\$ 2,170,000	\$ 30,000	\$ 66,071	\$ -
11/1/22	\$ 2,140,000	\$ -	\$ 65,171	\$ 161,243
5/1/23	\$ 2,140,000	\$ 35,000	\$ 65,171	\$ -
11/1/23	\$ 2,105,000	\$ -	\$ 64,121	\$ 164,293
5/1/24	\$ 2,105,000	\$ 35,000	\$ 64,121	\$ -
11/1/24	\$ 2,070,000	\$ -	\$ 63,071	\$ 162,193
5/1/25	\$ 2,070,000	\$ 35,000	\$ 63,071	\$ -
11/1/25	\$ 2,035,000	\$ -	\$ 62,021	\$ 160,093
5/1/26	\$ 2,035,000	\$ 40,000	\$ 62,021	\$ -
11/1/26	\$ 1,995,000	\$ -	\$ 60,821	\$ 162,843
5/1/27	\$ 1,995,000	\$ 40,000	\$ 60,821	\$ -
11/1/27	\$ 1,955,000	\$ -	\$ 59,621	\$ 160,443
5/1/28	\$ 1,955,000	\$ 45,000	\$ 59,621	\$ -
11/1/28	\$ 1,910,000	\$ -	\$ 58,271	\$ 162,893
5/1/29	\$ 1,910,000	\$ 45,000	\$ 58,271	\$ -
11/1/29	\$ 1,865,000	\$ -	\$ 56,921	\$ 160,193
5/1/30	\$ 1,865,000	\$ 50,000	\$ 56,921	\$ -
11/1/30	\$ 1,815,000	\$ -	\$ 55,421	\$ 162,343
5/1/31	\$ 1,815,000	\$ 50,000	\$ 55,421	\$ -
11/1/31	\$ 1,765,000	\$ -	\$ 53,921	\$ 159,343
5/1/32	\$ 1,765,000	\$ 55,000	\$ 53,921	\$ -
11/1/32	\$ 1,710,000	\$ -	\$ 52,271	\$ 161,193
5/1/33	\$ 1,710,000	\$ 60,000	\$ 52,271	\$ -
11/1/33	\$ 1,650,000	\$ -	\$ 50,471	\$ 162,743
5/1/34	\$ 1,650,000	\$ 65,000	\$ 50,471	\$ -
11/1/34	\$ 1,585,000	\$ -	\$ 48,521	\$ 163,993
5/1/35	\$ 1,585,000	\$ 65,000	\$ 48,521	\$ -
11/1/35	\$ 1,520,000	\$ -	\$ 46,571	\$ 160,093
5/1/36	\$ 1,520,000	\$ 70,000	\$ 46,571	\$ -
11/1/36	\$ 1,450,000	\$ -	\$ 44,471	\$ 161,043
5/1/37	\$ 1,450,000	\$ 75,000	\$ 44,471	\$ -
11/1/37	\$ 1,375,000	\$ -	\$ 42,221	\$ 161,693
5/1/38	\$ 1,375,000	\$ 80,000	\$ 42,221	\$ -

**Canopy Community Development District
Series 2018A-1, Special Assessment Bonds
(Combined)**

Amortization Schedule

Date	Balance	Principal	Interest	Annual
11/1/38	\$ 1,295,000	\$ -	\$ 39,821	\$ 162,043
5/1/39	\$ 1,295,000	\$ 85,000	\$ 39,821	\$ -
11/1/39	\$ 1,210,000	\$ -	\$ 37,208	\$ 162,029
5/1/40	\$ 1,210,000	\$ 90,000	\$ 37,208	\$ -
11/1/40	\$ 1,120,000	\$ -	\$ 34,440	\$ 161,648
5/1/41	\$ 1,120,000	\$ 95,000	\$ 34,440	\$ -
11/1/41	\$ 1,025,000	\$ -	\$ 31,519	\$ 160,959
5/1/42	\$ 1,025,000	\$ 100,000	\$ 31,519	\$ -
11/1/42	\$ 925,000	\$ -	\$ 28,444	\$ 159,963
5/1/43	\$ 925,000	\$ 110,000	\$ 28,444	\$ -
11/1/43	\$ 815,000	\$ -	\$ 25,061	\$ 163,505
5/1/44	\$ 815,000	\$ 115,000	\$ 25,061	\$ -
11/1/44	\$ 700,000	\$ -	\$ 21,525	\$ 161,586
5/1/45	\$ 700,000	\$ 125,000	\$ 21,525	\$ -
11/1/45	\$ 575,000	\$ -	\$ 17,681	\$ 164,206
5/1/46	\$ 575,000	\$ 130,000	\$ 17,681	\$ -
11/1/46	\$ 445,000	\$ -	\$ 13,684	\$ 161,365
5/1/47	\$ 445,000	\$ 140,000	\$ 13,684	\$ -
11/1/47	\$ 305,000	\$ -	\$ 9,379	\$ 163,063
5/1/48	\$ 305,000	\$ 150,000	\$ 9,379	\$ -
11/1/48	\$ 155,000	\$ -	\$ 4,766	\$ 164,145
5/1/49	\$ 155,000	\$ 155,000	\$ 4,766	\$ 159,766
Totals		\$ 2,225,000	\$ 2,696,363	\$ 4,921,363

Canopy Community Development District

Debt Service Fund Budget

Assessment Area 2 - Series 2018A-2 Bonds

Description	Adopted Budget FY 2020	Actual Thru 4/30/20	Projected Next 5 Months	Projected Thru 9/30/20	Proposed Budget FY 2021
Revenues					
Assessments - Tax Roll (Platted Lots)	\$ -	\$ -	\$ -	\$ -	\$ -
Assessments - Direct (Unplatted Lots)	\$ 311,498	\$ 133,069	\$ 274,519	\$ 407,587	\$ 282,286
Assessments - Prepayments	\$ -	\$ 99,309	\$ -	\$ 99,309	\$ -
Interest Income	\$ 250	\$ 2,614	\$ -	\$ 2,614	\$ 250
Carry Forward Surplus	\$ 455,752	\$ 571,889	\$ -	\$ 571,889	\$ 306,432
Total Revenues	\$ 767,500	\$ 806,880	\$ 274,519	\$ 1,081,399	\$ 588,968

Expenditure					
Interest - 11/1	\$ 155,749	\$ 155,749	\$ -	\$ 155,749	\$ 141,143
Special Call - 11/1	\$ 300,000	\$ 405,000	\$ -	\$ 405,000	\$ -
Interest 2/1	\$ -	\$ 923	\$ -	\$ 923	\$ -
Special Call - 2/1	\$ -	\$ 60,000	\$ -	\$ 60,000	\$ -
Interest - 5/1	\$ 155,749	\$ -	\$ 143,295	\$ 143,295	\$ 141,143
Special Call - 5/1	\$ -	\$ -	\$ 10,000	\$ 10,000	\$ -
Total Expenditures	\$ 611,498	\$ 621,672	\$ 153,295	\$ 774,967	\$ 282,286

Excess Revenues	\$ 156,002	\$ 185,208	\$ 121,224	\$ 306,432	\$ 306,682
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Interest - 11/1 \$ 141,143

**Canopy Community Development District
Series 2018A-2, Special Assessment Bonds
(Term due 5/1/49)**

Amortization Schedule

Date	Balance	Principal	Interest	Annual
11/1/20	\$ 4,590,000		\$ 141,143	\$ -
5/1/21	\$ 4,590,000		\$ 141,143	\$ 282,285
11/1/21	\$ 4,590,000		\$ 141,143	\$ -
5/1/22	\$ 4,590,000	\$ 65,000	\$ 141,143	\$ 347,285
11/1/22	\$ 4,525,000		\$ 139,144	\$ -
5/1/23	\$ 4,525,000	\$ 70,000	\$ 139,144	\$ 348,288
11/1/23	\$ 4,455,000		\$ 136,991	\$ -
5/1/24	\$ 4,455,000	\$ 70,000	\$ 136,991	\$ 343,983
11/1/24	\$ 4,385,000		\$ 134,839	\$ -
5/1/25	\$ 4,385,000	\$ 75,000	\$ 134,839	\$ 344,678
11/1/25	\$ 4,310,000		\$ 132,533	\$ -
5/1/26	\$ 4,310,000	\$ 80,000	\$ 132,533	\$ 345,065
11/1/26	\$ 4,230,000		\$ 130,073	\$ -
5/1/27	\$ 4,230,000	\$ 85,000	\$ 130,073	\$ 345,145
11/1/27	\$ 4,145,000		\$ 127,459	\$ -
5/1/28	\$ 4,145,000	\$ 90,000	\$ 127,459	\$ 344,918
11/1/28	\$ 4,055,000		\$ 124,691	\$ -
5/1/29	\$ 4,055,000	\$ 100,000	\$ 124,691	\$ 349,383
11/1/29	\$ 3,955,000		\$ 121,616	\$ -
5/1/30	\$ 3,955,000	\$ 105,000	\$ 121,616	\$ 348,233
11/1/30	\$ 3,850,000		\$ 118,388	\$ -
5/1/31	\$ 3,850,000	\$ 110,000	\$ 118,388	\$ 346,775
11/1/31	\$ 3,740,000		\$ 115,005	\$ -
5/1/32	\$ 3,740,000	\$ 115,000	\$ 115,005	\$ 345,010
11/1/32	\$ 3,625,000		\$ 111,469	\$ -
5/1/33	\$ 3,625,000	\$ 125,000	\$ 111,469	\$ 347,938
11/1/33	\$ 3,500,000		\$ 107,625	\$ -
5/1/34	\$ 3,500,000	\$ 135,000	\$ 107,625	\$ 350,250
11/1/34	\$ 3,365,000		\$ 103,474	\$ -
5/1/35	\$ 3,365,000	\$ 140,000	\$ 103,474	\$ 346,948
11/1/35	\$ 3,225,000		\$ 99,169	\$ -
5/1/36	\$ 3,225,000	\$ 150,000	\$ 99,169	\$ 348,338
11/1/36	\$ 3,075,000		\$ 94,556	\$ -
5/1/37	\$ 3,075,000	\$ 160,000	\$ 94,556	\$ 349,113
11/1/37	\$ 2,915,000		\$ 89,636	\$ -
5/1/38	\$ 2,915,000	\$ 170,000	\$ 89,636	\$ 349,273
11/1/38	\$ 2,745,000		\$ 84,409	\$ -
5/1/39	\$ 2,745,000	\$ 180,000	\$ 84,409	\$ 348,818
11/1/39	\$ 2,565,000		\$ 78,874	\$ -
5/1/40	\$ 2,565,000	\$ 190,000	\$ 78,874	\$ 347,748
11/1/40	\$ 2,375,000		\$ 73,031	\$ -
5/1/41	\$ 2,375,000	\$ 205,000	\$ 73,031	\$ 351,063
11/1/41	\$ 2,170,000		\$ 66,728	\$ -
5/1/42	\$ 2,170,000	\$ 215,000	\$ 66,728	\$ 348,455
11/1/42	\$ 1,955,000		\$ 60,116	\$ -
5/1/43	\$ 1,955,000	\$ 230,000	\$ 60,116	\$ 350,233
11/1/43	\$ 1,725,000		\$ 53,044	\$ -
5/1/44	\$ 1,725,000	\$ 245,000	\$ 53,044	\$ 351,088

**Canopy Community Development District
Series 2018A-2, Special Assessment Bonds
(Term due 5/1/49)**

Amortization Schedule

Date	Balance	Principal	Interest	Annual
11/1/44	\$ 1,480,000		\$ 45,510	\$ -
5/1/45	\$ 1,480,000	\$ 260,000	\$ 45,510	\$ 351,020
11/1/45	\$ 1,220,000		\$ 37,515	\$ -
5/1/46	\$ 1,220,000	\$ 275,000	\$ 37,515	\$ 350,030
11/1/46	\$ 945,000		\$ 29,059	\$ -
5/1/47	\$ 945,000	\$ 295,000	\$ 29,059	\$ 353,118
11/1/47	\$ 650,000		\$ 19,988	\$ -
5/1/48	\$ 650,000	\$ 315,000	\$ 19,988	\$ 354,975
11/1/48	\$ 335,000		\$ 10,301	\$ -
5/1/49	\$ 335,000	\$ 335,000	\$ 10,301	\$ 355,603
Totals		\$ 4,590,000	\$ 5,455,050	\$ 10,045,050

Canopy Community Development District

Debt Service Fund Budget

Assessment Area 3 - Series 2018A-3 Bonds

Description	Adopted Budget FY 2020	Actual Thru 4/30/20	Projected Next 5 Months	Projected Thru 9/30/20	Proposed Budget FY 2021
Revenues					
Assessments - Tax Roll (Platted Lots)	\$ -	\$ -	\$ -	\$ -	\$ -
Assessments - Direct (Unplatted Lots)	\$ 170,938	\$ 85,469	\$ 85,469	\$ 170,938	\$ 170,938
Interest Income	\$ 250	\$ 983	\$ -	\$ 983	\$ 500
Carry Forward Surplus	\$ 85,469	\$ 85,545	\$ -	\$ 85,545	\$ 85,617
Total Revenues	\$ 256,657	\$ 171,997	\$ 85,469	\$ 257,466	\$ 257,055

Expenditure					
Interest - 11/1	\$ 85,469	\$ 85,469	\$ -	\$ 85,469	\$ 85,469
Principal - 5/1	\$ -	\$ -	\$ -	\$ -	\$ -
Interest - 5/1	\$ 85,469	\$ -	\$ 85,469	\$ 85,469	\$ 85,469
Transfer Out	\$ 500	\$ 911	\$ -	\$ 911	\$ 500
Total Expenditures	\$ 171,438	\$ 86,380	\$ 85,469	\$ 171,849	\$ 171,438

Excess Revenues	\$ 85,220	\$ 85,617	\$ 0	\$ 85,617	\$ 85,618
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Excess Revenues	\$ 190,233	Interest - 11/1	\$ 85,469
Less: Debt Service Reserve	\$ (104,688)		
Carry Forward Surplus	<u>\$ 85,545</u>		

**Canopy Community Development District
Series 2018A-3, Special Assessment Bonds
(Term due 5/1/49)**

Amortization Schedule

Date	Balance	Principal	Interest	Annual
11/1/20	\$ 2,735,000		\$ 85,469	\$ -
5/1/21	\$ 2,735,000		\$ 85,469	\$ 170,938
11/1/21	\$ 2,735,000		\$ 85,469	\$ -
5/1/22	\$ 2,735,000	\$ 35,000	\$ 85,469	\$ 205,938
11/1/22	\$ 2,700,000		\$ 84,375	\$ -
5/1/23	\$ 2,700,000	\$ 40,000	\$ 84,375	\$ 208,750
11/1/23	\$ 2,660,000		\$ 83,125	\$ -
5/1/24	\$ 2,660,000	\$ 40,000	\$ 83,125	\$ 206,250
11/1/24	\$ 2,620,000		\$ 81,875	\$ -
5/1/25	\$ 2,620,000	\$ 45,000	\$ 81,875	\$ 208,750
11/1/25	\$ 2,575,000		\$ 80,469	\$ -
5/1/26	\$ 2,575,000	\$ 50,000	\$ 80,469	\$ 210,938
11/1/26	\$ 2,525,000		\$ 78,906	\$ -
5/1/27	\$ 2,525,000	\$ 50,000	\$ 78,906	\$ 207,813
11/1/27	\$ 2,475,000		\$ 77,344	\$ -
5/1/28	\$ 2,475,000	\$ 55,000	\$ 77,344	\$ 209,688
11/1/28	\$ 2,420,000		\$ 75,625	\$ -
5/1/29	\$ 2,420,000	\$ 55,000	\$ 75,625	\$ 206,250
11/1/29	\$ 2,365,000		\$ 73,906	\$ -
5/1/30	\$ 2,365,000	\$ 60,000	\$ 73,906	\$ 207,813
11/1/30	\$ 2,305,000		\$ 72,031	\$ -
5/1/31	\$ 2,305,000	\$ 65,000	\$ 72,031	\$ 209,063
11/1/31	\$ 2,240,000		\$ 70,000	\$ -
5/1/32	\$ 2,240,000	\$ 70,000	\$ 70,000	\$ 210,000
11/1/32	\$ 2,170,000		\$ 67,813	\$ -
5/1/33	\$ 2,170,000	\$ 75,000	\$ 67,813	\$ 210,625
11/1/33	\$ 2,095,000		\$ 65,469	\$ -
5/1/34	\$ 2,095,000	\$ 80,000	\$ 65,469	\$ 210,938
11/1/34	\$ 2,015,000		\$ 62,969	\$ -
5/1/35	\$ 2,015,000	\$ 85,000	\$ 62,969	\$ 210,938
11/1/35	\$ 1,930,000		\$ 60,313	\$ -
5/1/36	\$ 1,930,000	\$ 90,000	\$ 60,313	\$ 210,625
11/1/36	\$ 1,840,000		\$ 57,500	\$ -

**Canopy Community Development District
Series 2018A-3, Special Assessment Bonds
(Term due 5/1/49)**

Amortization Schedule

Date	Balance	Principal	Interest	Annual
5/1/37	\$ 1,840,000	\$ 95,000	\$ 57,500	\$ 210,000
11/1/37	\$ 1,745,000		\$ 54,531	\$ -
5/1/38	\$ 1,745,000	\$ 100,000	\$ 54,531	\$ 209,063
11/1/38	\$ 1,645,000		\$ 51,406	\$ -
5/1/39	\$ 1,645,000	\$ 110,000	\$ 51,406	\$ 212,813
11/1/39	\$ 1,535,000		\$ 47,969	\$ -
5/1/40	\$ 1,535,000	\$ 115,000	\$ 47,969	\$ 210,938
11/1/40	\$ 1,420,000		\$ 44,375	\$ -
5/1/41	\$ 1,420,000	\$ 120,000	\$ 44,375	\$ 208,750
11/1/41	\$ 1,300,000		\$ 40,625	\$ -
5/1/42	\$ 1,300,000	\$ 130,000	\$ 40,625	\$ 211,250
11/1/42	\$ 1,170,000		\$ 36,563	\$ -
5/1/43	\$ 1,170,000	\$ 140,000	\$ 36,563	\$ 213,125
11/1/43	\$ 1,030,000		\$ 32,188	\$ -
5/1/44	\$ 1,030,000	\$ 145,000	\$ 32,188	\$ 209,375
11/1/44	\$ 885,000		\$ 27,656	\$ -
5/1/45	\$ 885,000	\$ 155,000	\$ 27,656	\$ 210,313
11/1/45	\$ 730,000		\$ 22,813	\$ -
5/1/46	\$ 730,000	\$ 165,000	\$ 22,813	\$ 210,625
11/1/46	\$ 565,000		\$ 17,656	\$ -
5/1/47	\$ 565,000	\$ 175,000	\$ 17,656	\$ 210,313
11/1/47	\$ 390,000		\$ 12,188	\$ -
5/1/48	\$ 390,000	\$ 190,000	\$ 12,188	\$ 214,375
11/1/48	\$ 200,000		\$ 6,250	\$ -
5/1/49	\$ 200,000	\$ 200,000	\$ 6,250	\$ 212,500
Totals		\$ 2,735,000	\$ 3,484,688	\$ 6,219,688

RESOLUTION 2020-08

A RESOLUTION OF THE BOARD OF SUPERVISORS OF THE CANOPY COMMUNITY DEVELOPMENT DISTRICT APPROVING PROPOSED BUDGETS FOR FISCAL YEAR 2020/2021 AND SETTING A PUBLIC HEARING THEREON PURSUANT TO FLORIDA LAW; ADDRESSING TRANSMITTAL, POSTING AND PUBLICATION REQUIREMENTS; ADDRESSING SEVERABILITY; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the District Manager has heretofore prepared and submitted to the Board of Supervisors (**“Board”**) of the Canopy Community Development District (**“District”**) prior to June 15, 2020, proposed budgets (**“Proposed Budget”**) for the fiscal year beginning October 1, 2020 and ending September 30, 2021 (**“Fiscal Year 2020/2021”**); and

WHEREAS, the Board has considered the Proposed Budget and desires to set the required public hearings thereon.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF SUPERVISORS OF THE CANOPY COMMUNITY DEVELOPMENT DISTRICT:

1. PROPOSED BUDGET APPROVED. The Proposed Budget prepared by the District Manager for Fiscal Year 2020/2021 attached hereto as **Exhibit A** is hereby approved as the basis for conducting a public hearing to adopt said Proposed Budget.

2. SETTING PUBLIC HEARINGS. Public hearings on the approved Proposed Budget are hereby declared and set for the following date, hour and location:

DATE: _____, 2020
HOUR: _____
LOCATION: Dorothy B. Oven Park
3205 Thomasville Road
Tallahassee, Florida 32308

While it is anticipated that the public hearing will be held at the location above, in the event that the COVID-19 public health emergency prevents the hearing from occurring in-person, the hearing may be conducted remotely, via communications media technology and/or by telephone pursuant to Executive Orders 20-52, 20-69, and 20-112 issued by Governor DeSantis on March 9, 2020, March 20, 2020, and April 29, 2020, respectively, as such orders may be extended, and pursuant to Section 120.54(5)(b)2., Florida Statutes. Information regarding participation in any remote hearing may be found at the District’s website, <https://canopycdd.com/>, or by contacting the District Manager at (407) 841-5524.

3. TRANSMITTAL OF PROPOSED BUDGET TO LOCAL GENERAL PURPOSE GOVERNMENTS. The District Manager is hereby directed to submit a copy of the

Proposed Budget to the City of Tallahassee and Leon County at least 60 days prior to the hearing set above.

4. POSTING OF PROPOSED BUDGET. In accordance with Section 189.016, *Florida Statutes*, the District's Secretary is further directed to post the approved Proposed Budget on the District's website at least two days before the budget hearing date as set forth in Section 2, and shall remain on the website for at least 45 days.

5. PUBLICATION OF NOTICE. Notice of this public hearing shall be published in the manner prescribed in Florida law.

6. SEVERABILITY. The invalidity or unenforceability of any one or more provisions of this Resolution shall not affect the validity or enforceability of the remaining portions of this Resolution, or any part thereof.

7. EFFECTIVE DATE. This Resolution shall take effect immediately upon adoption.

PASSED AND ADOPTED THIS 29TH DAY OF MAY, 2020.

ATTEST:

**CANOPY COMMUNITY
DEVELOPMENT DISTRICT**

Secretary

Chairman, Board of Supervisors

Exhibit A: Fiscal Year 2020/2021 Budget

Exhibit A

SECTION X

SECTION C

i.

Canopy

Community Development District

Summary of Operating Checks

March 23, 2019 to May 21, 2020

Bank	Date	Check No.'s	Amount
General Fund	4/2/20	139	\$ 3,791.67
	4/15/20	140-143	\$ 8,390.91
	4/24/20	144	\$ 232.96
	5/8/20	145-146	\$ 14,740.40
	5/20/20	147-148	\$ 13,580.88
			\$ 40,736.82
			\$ 40,736.82

Summary of Requisitions

Date	Requisition #	Payee	Description	Amount
4/7/20	Series 2018A1/2 - Requisition 9	Sandco, LLC	Pay Application 8 - Unit 3	\$ 125,054.80
4/7/20	Series 2018A1/2 - Requisition 10	Sandco, LLC	Pay Application 6 - Unit 4 & 5	\$ 125,302.50
5/5/20	Series 2018A3 - Requisition 5	Conn & Associates	Clubhouse Architectural Services	\$ 2,250.00
5/6/20	Series 2018A1/2 - Requisition 11	Sandco, LLC	Pay Application 5 - Unit 4 & 5	\$ 54,000.00
5/6/20	Series 2018A1/2 - Requisition 12	Sandco, LLC	Pay Application 7 - Unit 3	\$ 4,959.00
5/6/20	Series 2018A1/2 - Requisition 13	Consolidated Pipe & Supply Company, Inc.	Construction Materials - Unit 4 & 5	\$ 825,293.44
5/6/20	Series 2018A3 - Requisition 8	Conn & Associates	Clubhouse Architectural Services	\$ 2,250.00
				\$ 1,139,109.74
				\$ 1,139,109.74

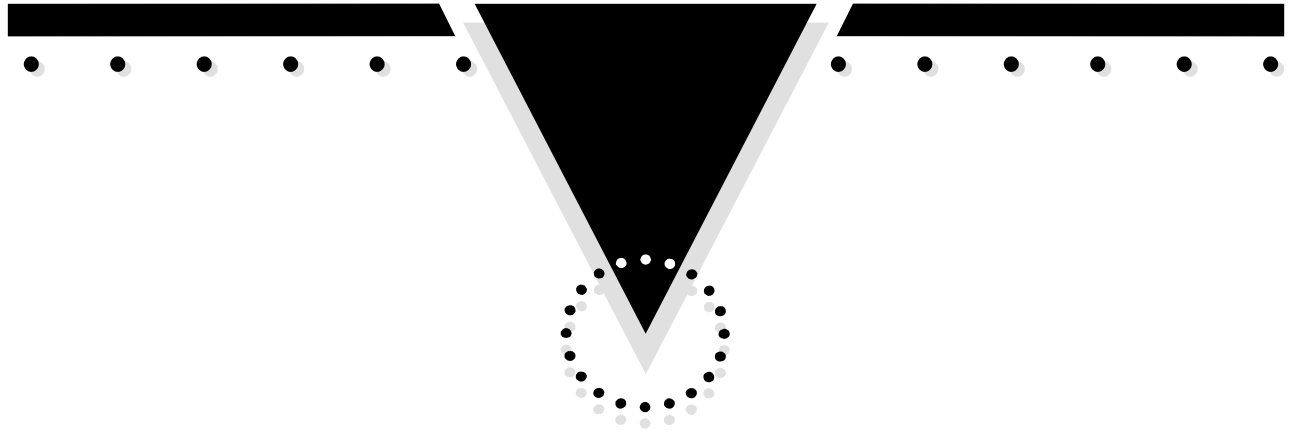
*** CHECK DATES 03/23/2020 - 05/21/2020 ***
 CANOPY CDD - GENERAL FUND
 BANK A GENERAL FUND

CHECK DATE	VEND#	.....INVOICE..... DATE INVOICE	...EXPENSED TO... YRMO DPT ACCT# SUB SUBCLASS	VENDOR NAME	STATUS	AMOUNT	....CHECK..... AMOUNT #
4/02/20	00001	4/01/20	38 202004 310-51300-34000		*	2,916.67	
			MANAGEMENT FEES - APR20				
		4/01/20	38 202004 310-51300-35100		*	208.33	
			INFO TECH-APR20				
		4/01/20	38 202004 310-51300-31300		*	666.67	
			DISSEMINATION-APR20				
GOVERNMENTAL MANAGEMENT SERVICES							3,791.67 000139
4/15/20	00015	1/27/20	16818849 202001 310-51300-32200		*	3,000.00	
			AUDIT FINANCIALS-FY19				
CARR RIGGS & INGRAM							3,000.00 000140
4/15/20	00003	3/31/20	00032596 202003 310-51300-48000		*	113.30	
			NOTICE OF MEETING				
		3/31/20	00032596 202003 310-51300-48000		*	634.82	
			REQ.PROPOSALS-WALAUNEE				
TALLAHASSEE DEMOCRAT							748.12 000141
4/15/20	00010	4/15/20	04152020 202004 300-20700-10100		*	1,461.16	
			FY20 DEBT ASSESS SER18A-1				
CANOPY CDD C/O USBANK							1,461.16 000142
4/15/20	00010	4/15/20	04152020 202004 300-20700-10100		*	3,181.63	
			FY20 DEBT ASSESS-SER18A-4				
CANOPY CDD C/O USBANK							3,181.63 000143
4/24/20	00001	4/01/20	39 202004 310-51300-51000		*	.18	
			OFFICE SUPPLIES				
		4/01/20	39 202004 310-51300-42000		*	3.00	
			POSTAGE				
		4/15/20	40 201911 310-51300-48000		*	116.48	
			3920888-NOT OF MTG				
		4/15/20	40 201911 310-51300-48000		*	113.30	
			3865555-NOT OF MTG				
GOVERNMENTAL MANAGEMENT SERVICES							232.96 000144
5/08/20	00001	5/01/20	41 202005 310-51300-34000		*	2,916.67	
			MNGT FEES 05/2020				
		5/01/20	41 202005 310-51300-35100		*	208.33	
			INFORMATION TECH 05/2020				
		5/01/20	41 202005 310-51300-31300		*	666.67	
			DISSEMINATION AGENT 05/20				
		5/01/20	41 202005 310-51300-42000		*	10.71	
			POSTAGE				
GOVERNMENTAL MANAGEMENT SERVICES							3,802.38 000145

CANO CANOPY CDD MBYINGTON

CHECK DATE	VEND#	.....INVOICE..... DATE INVOICE	...EXPENSED TO... YRMO DPT ACCT# SUB SUBCLASS	VENDOR NAME	STATUS	AMOUNT	....CHECK..... AMOUNT #
5/01/20	00005	3/31/20 114077	202003 310-51300-31500	GENERAL COUNSEL 03/2020	*	10,938.02	
				HOPPING GREEN & SAMS			10,938.02 000146
5/20/20	00019	5/05/20 1345	202004 320-53800-46200	LAWN CARE 04/2020	*	5,250.00	
				KEEP IT GRASS LLC			5,250.00 000147
5/20/20	00005	4/30/20 114638	202004 310-51300-31500	GENERAL COUNSEL	*	8,330.88	
				HOPPING GREEN & SAMS			8,330.88 000148
TOTAL FOR BANK A						40,736.82	
TOTAL FOR REGISTER						40,736.82	

ii.



**Canopy
Community Development District**

Unaudited Financial Reporting

April 30, 2020



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Canopy
COMMUNITY DEVELOPMENT DISTRICT
BALANCE SHEET
April 30, 2020

	<u>GENERAL</u>	<u>DEBT SERVICE</u>	<u>CAPITAL PROJECT</u>	<u>TOTAL</u>
<u>ASSETS:</u>				
CASH	\$76,757	\$0	\$2,981	\$79,738
INVESTMENTS				
SERIES 2018 A1 & A2				
RESERVE A1	\$0	\$82,146	\$0	\$82,146
REVENUE A1	\$0	\$96,999	\$0	\$96,999
REVENUE A2	\$0	\$141,454	\$0	\$141,454
PREPAYMENT A2	\$0	\$42,282	\$0	\$42,282
CONSTRUCTION	\$0	\$0	\$4,629,469	\$4,629,469
SERIES 2018 A3				
RESERVE A3	\$0	\$104,688	\$0	\$104,688
REVENUE A3	\$0	\$85,617	\$0	\$85,617
CONSTRUCTION	\$0	\$0	\$10,366	\$10,366
CONSTRUCTION-RESTRICTED	\$0	\$0	\$847,213	\$847,213
SERIES 2018 A4				
RESERVE A4	\$0	\$32,714	\$0	\$32,714
REVENUE A4	\$0	\$83,221	\$0	\$83,221
CONSTRUCTION	\$0	\$0	\$3,548	\$3,548
PREPAID EXPENSES	\$759	\$0	\$0	\$759
TOTAL ASSETS	<u>\$77,515</u>	<u>\$669,121</u>	<u>\$5,493,576</u>	<u>\$6,240,213</u>
<u>LIABILITIES:</u>				
ACCOUNTS PAYABLE	\$32,389	\$0	\$21,389	\$53,777
RETAINAGE PAYABLE	\$0	\$0	\$261,967	\$261,967
DUE TO DEVELOPER	\$0	\$0	\$1,898,503	\$1,898,503
<u>FUND EQUITY:</u>				
FUND BALANCES:				
UNASSIGNED	\$45,126	\$0	\$0	\$45,126
RESTRICTED FOR DEBT SERVICE 2018 A1 & A2	\$0	\$362,881	\$0	\$362,881
RESTRICTED FOR DEBT SERVICE 2018 A3	\$0	\$190,305	\$0	\$190,305
RESTRICTED FOR DEBT SERVICE 2018 A4	\$0	\$115,936	\$0	\$115,936
RESTRICTED FOR CAPITAL PROJECTS 2018 A1 & A3	\$0	\$0	\$4,589,460	\$4,589,460
RESTRICTED FOR CAPITAL PROJECTS 2018 A3	\$0	\$0	\$857,579	\$857,579
RESTRICTED FOR CAPITAL PROJECTS 2018 A4	\$0	\$0	\$3,548	\$3,548
RESTRICTED FOR CAPITAL PROJECTS	\$0	\$0	(\$2,138,869)	(\$2,138,869)
TOTAL LIABILITIES & FUND EQUITY	<u>\$77,515</u>	<u>\$669,121</u>	<u>\$5,493,576</u>	<u>\$6,240,213</u>

Canopy

COMMUNITY DEVELOPMENT DISTRICT

GENERAL FUND

Statement of Revenues & Expenditures

For The Period Ending April 30, 2020

	ADOPTED BUDGET	PRORATED BUDGET 4/30/20	ACTUAL 4/30/20	VARIANCE
<u>REVENUES:</u>				
ASSESSMENTS - TAX ROLL	\$47,052	\$47,052	\$46,150	(\$902)
ASSESSMENTS - DIRECT	\$99,406	\$58,021	\$58,021	\$0
DEVELOPER CONTRIBUTIONS	\$174,267	\$0	\$0	\$0
INTEREST	\$500	\$292	\$0	(\$292)
MISCELLANEOUS INCOME	\$2,500	\$1,458	\$0	(\$1,458)
TOTAL REVENUES	\$323,725	\$106,822	\$104,170	(\$2,652)

EXPENDITURES:

ADMINISTRATIVE

ENGINEERING	\$12,000	\$7,000	\$0	\$7,000
ARBITRAGE	\$2,400	\$450	\$450	\$0
ASSESSMENT ADMINISTRATION	\$2,500	\$2,500	\$2,500	\$0
DISSEMINATION	\$8,000	\$4,667	\$4,667	(\$0)
ATTORNEY	\$25,000	\$14,583	\$43,298	(\$28,714)
ANNUAL AUDIT	\$5,000	\$5,000	\$5,000	\$0
TRUSTEE FEES	\$10,000	\$10,000	\$8,346	\$1,654
MANAGEMENT FEES	\$35,000	\$20,417	\$20,417	(\$0)
INFORMATION TECHNOLOGY	\$3,700	\$2,158	\$1,458	\$700
TRAVEL	\$50	\$29	\$0	\$29
TELEPHONE	\$250	\$146	\$18	\$128
POSTAGE	\$500	\$292	\$124	\$168
PRINTING & BINDING	\$1,500	\$875	\$483	\$392
INSURANCE	\$6,000	\$6,000	\$5,125	\$875
LEGAL ADVERTISING	\$2,500	\$1,458	\$978	\$480
OTHER CURRENT CHARGES	\$1,000	\$583	\$1,844	(\$1,261)
OFFICE SUPPLIES	\$1,000	\$583	\$22	\$561
DUES, LICENSE & SUBSCRIPTIONS	\$175	\$175	\$175	\$0
TOTAL MAINTENANCE EXPENDITURES	\$116,575	\$76,917	\$94,904	(\$17,987)

Canopy

COMMUNITY DEVELOPMENT DISTRICT GENERAL FUND

Statement of Revenues & Expenditures
For The Period Ending April 30, 2020

	ADOPTED BUDGET	PRORATED BUDGET 4/30/20	ACTUAL 4/30/20	VARIANCE
<u>MAINTENANCE</u>				
<u>COMMON AREA</u>				
LANDSCAPE MAINTENANCE	\$62,500	\$36,458	\$5,250	\$31,208
LANDSCAPE CONTINGENCY	\$10,600	\$6,183	\$0	\$6,183
PLANT REPLACEMENTS	\$7,500	\$4,375	\$0	\$4,375
IRRIGATION - REPAIRS	\$5,000	\$2,917	\$0	\$2,917
IRRIGATION - WATER	\$10,000	\$5,833	\$0	\$5,833
IRRIGATION - ELECTRIC	\$2,500	\$1,458	\$0	\$1,458
WETLAND MAINTENANCE	\$5,650	\$3,296	\$7,870	(\$4,574)
WETLAND MITIGATION REPORTING	\$1,250	\$729	\$0	\$729
LAKE MAINTENANCE	\$7,500	\$4,375	\$0	\$4,375
REPAIRS & MAINTENANCE	\$12,500	\$7,292	\$0	\$7,292
OPERATING SUPPLIES	\$1,250	\$729	\$0	\$729
<u>AMENITY CENTER</u>				
AMENITY MANAGEMENT STAFFING	\$18,750	\$10,938	\$0	\$10,938
POOL ATTENDANTS	\$3,750	\$2,188	\$0	\$2,188
JANITORIAL	\$3,750	\$2,188	\$0	\$2,188
POOL MAINTENANCE	\$3,750	\$2,188	\$0	\$2,188
POOL CHEMICALS	\$1,875	\$1,094	\$0	\$1,094
POOL PERMITS	\$188	\$0	\$0	\$0
POOL - ELECTRIC	\$3,750	\$2,188	\$0	\$2,188
POOL - WATER	\$250	\$146	\$0	\$146
TELEPHONE	\$625	\$365	\$0	\$365
WATER/SEWER	\$1,250	\$729	\$0	\$729
GAS	\$125	\$73	\$0	\$73
TRASH	\$600	\$350	\$0	\$350
PEST CONTROL	\$300	\$175	\$0	\$175
TERMITE BOND	\$188	\$109	\$0	\$109
INSURANCE - PROPERTY	\$6,250	\$6,250	\$0	\$6,250
CABLE/INTERNET	\$1,875	\$1,094	\$0	\$1,094
ACCESS CARDS	\$625	\$365	\$0	\$365
ACTIVITIES	\$3,750	\$2,188	\$0	\$2,188
SECURITY/ALARMS/REPAIR	\$8,750	\$5,104	\$0	\$5,104
REPAIRS & MAINTENANCE	\$8,750	\$5,104	\$0	\$5,104
OFFICE SUPPLIES	\$500	\$292	\$0	\$292
HOLIDAY DECORATIONS	\$1,250	\$0	\$0	\$0
<u>OTHER</u>				
CONTINGENCY	\$1,250	\$729	\$0	\$729
CAPITAL RESERVE	\$8,750	\$0	\$0	\$0
TOTAL MAINTENANCE EXPENDITURES	\$207,150	\$117,499	\$13,120	\$104,379
TOTAL EXPENDITURES	\$323,725	\$194,416	\$108,024	\$86,392
EXCESS REVENUES (EXPENDITURES)	\$0		(\$3,854)	
FUND BALANCE - Beginning	\$0		\$48,980	
FUND BALANCE - Ending	\$0		\$45,126	

Canopy

COMMUNITY DEVELOPMENT DISTRICT

DEBT SERVICE FUND ASSESSMENT AREA 2 - SERIES 2018 A1 & A2

Statement of Revenues & Expenditures

For The Period Ending April 30, 2020

ADOPTED BUDGET	PRORATED BUDGET 4/30/20	ACTUAL 4/30/20	Variance
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REVENUES

ASSESSMENTS - TAX ROLL A1	\$30,132	\$30,132	\$29,569	(\$563)
ASSESSMENTS - DIRECT A1	\$134,594	\$67,263	\$67,263	\$0
ASSESSMENTS - DIRECT A2	\$311,498	\$155,750	\$133,069	(\$22,681)
PREPAYMENTS	\$0	\$0	\$99,309	\$99,309
INTEREST	\$500	\$292	\$2,614	\$2,322

TOTAL REVENUES

\$476,724	\$253,436	\$331,823	\$78,387
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EXPENDITURES

Series 2018 A1

INTEREST A1 - 11/1	\$67,721	\$67,721	\$67,721	\$0
PRINCIPAL A1 - 5/1	\$25,000	\$0	\$0	\$0
INTEREST A1 - 5/1	\$67,721	\$0	\$0	\$0

Series 2018 A2

INTEREST A2 - 11/1	\$155,749	\$155,749	\$155,749	\$0
SPECIAL CALL A2 - 11/1	\$300,000	\$300,000	\$405,000	(\$105,000)
INTEREST A2 - 2/1	\$0	\$0	\$923	(\$923)
SPECIAL CALL A2 - 2/1	\$0	\$0	\$60,000	(\$60,000)
INTEREST A2 - 5/1	\$155,749	\$0	\$0	\$0
TRANSFER OUT	\$0	\$0	\$715	(\$715)

TOTAL EXPENDITURES

\$771,940	\$523,470	\$690,108	(\$166,638)
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EXCESS REVENUES (EXPENDITURES)

(\$295,216)	(\$270,034)	(\$358,285)
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FUND BALANCE - BEGINNING

\$523,536	\$721,166
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FUND BALANCE - ENDING

\$228,320	\$362,881
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Canopy

COMMUNITY DEVELOPMENT DISTRICT

DEBT SERVICE FUND ASSESSMENT AREA 3 - SERIES 2018 A3

Statement of Revenues & Expenditures

For The Period Ending April 30, 2020

	ADOPTED BUDGET	PRORATED BUDGET 4/30/20	ACTUAL 4/30/20	Variance
<u>REVENUES</u>				
ASSESSMENTS - DIRECT	\$170,938	\$85,469	\$85,469	\$0
INTEREST	\$500	\$292	\$983	\$692
TOTAL REVENUES	\$171,438	\$85,761	\$86,452	\$692
<u>EXPENDITURES</u>				
INTEREST - 11/1	\$85,469	\$85,469	\$85,469	\$0
INTEREST - 5/1	\$85,469	\$0	\$0	\$0
TRANSFER OUT	\$500	\$292	\$911	(\$620)
TOTAL EXPENDITURES	\$171,438	\$85,760	\$86,380	(\$620)
EXCESS REVENUES (EXPENDITURES)	\$1		\$72	
FUND BALANCE - BEGINNING	\$85,469		\$190,233	
FUND BALANCE - ENDING	\$85,470		\$190,305	

Canopy
COMMUNITY DEVELOPMENT DISTRICT

DEBT SERVICE FUND
ASSESSMENT AREA 1 - SERIES 2018 A4

Statement of Revenues & Expenditures

For The Period Ending April 30, 2020

ADOPTED BUDGET	PRORATED BUDGET 4/30/20	ACTUAL 4/30/20	Variance
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REVENUES

ASSESSMENTS - TAX ROLL	\$65,612	\$65,612	\$64,386	(\$1,226)
INTEREST	\$250	\$146	\$633	\$487

TOTAL REVENUES	\$65,862	\$65,757	\$65,019	(\$739)
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EXPENDITURES

INTEREST - 11/1	\$24,523	\$24,523	\$24,523	\$0
PRINCIPAL - 5/1	\$15,000	\$0	\$0	\$0
INTEREST - 5/1	\$24,523	\$0	\$0	\$0
TRANSFER OUT	\$0	\$0	\$285	(\$285)

TOTAL EXPENDITURES	\$64,045	\$24,523	\$24,807	(\$285)
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EXCESS REVENUES (EXPENDITURES)	\$1,817	\$40,211		
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FUND BALANCE - BEGINNING	\$42,999	\$75,724		
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FUND BALANCE - ENDING	\$44,815	\$115,936		
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Canopy
COMMUNITY DEVELOPMENT DISTRICT

CAPITAL PROJECT FUNDS
Statement of Revenues & Expenditures
For The Period Ending April 30, 2020

SERIES 2018 A1 & A2	SERIES 2018 A3	SERIES 2018 A4	CAPITAL PROJECTS	
ACTUALS	ACTUAL	ACTUAL	ACTUAL	
4/30/20	4/30/20	4/30/20	4/30/20	TOTAL

REVENUES

TRANSFER IN	\$715	\$911	\$285	\$0	\$1,911
INTEREST	\$49,784	\$12,230	\$29	\$0	\$62,043
TOTAL REVENUES	\$50,499	\$13,142	\$314	\$0	\$63,955

EXPENDITURES

CAPITAL OUTLAY - CONSTRUCTION	\$1,516,166	\$653,616	\$0	\$21,250	\$2,191,032
CAPITAL OUTLAY - COI	\$0	\$0	\$0	\$0	\$0
CAPITAL OUTLAY - GENERAL	\$0	\$0	\$0	\$0	\$0
PROFESSIONAL FEES	\$0	\$0	\$0	\$19,398	\$19,398
MISCELLANEOUS	\$0	\$0	\$0	\$265	\$265
TOTAL EXPENDITURES	\$1,516,166	\$653,616	\$0	\$40,913	\$2,210,695
EXCESS REVENUES (EXPENDITURES)	(\$1,465,667)	(\$640,474)	\$314	(\$40,913)	(\$2,146,740)
FUND BALANCE - BEGINNING	\$6,055,127	\$1,498,053	\$3,234	(\$2,097,956)	\$5,458,458
FUND BALANCE - ENDING	\$4,589,460	\$857,579	\$3,548	(\$2,138,869)	\$3,311,717

Canopy Community Development District

	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sept	Total
REVENUES:													
ASSESSMENTS - TAX ROLL	\$0	\$1,298	\$35,331	\$5,436	\$1,805	\$943	\$1,337	\$0	\$0	\$0	\$0	\$0	\$46,150
ASSESSMENTS - DIRECT	\$0	\$16,577	\$8,289	\$8,289	\$8,289	\$8,289	\$8,289	\$0	\$0	\$0	\$0	\$0	\$58,021
DEVELOPER CONTRIBUTIONS	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
INTEREST	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
MISCELLANEOUS INCOME	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
TOTAL REVENUES	\$0	\$17,875	\$43,620	\$13,724	\$10,093	\$9,232	\$9,626	\$0	\$0	\$0	\$0	\$0	\$104,170
EXPENDITURES:													
ADMINISTRATIVE													
SUPERVISOR FEES	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
FICA EXPENSE	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
ENGINEERING	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
ARBITRAGE	\$0	\$0	\$0	\$0	\$450	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$450
ASSESSMENT ADMINISTRATION	\$2,500	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,500
DISSEMINATION	\$667	\$667	\$667	\$667	\$667	\$667	\$667	\$0	\$0	\$0	\$0	\$0	\$4,667
ATTORNEY	\$1,941	\$5,595	\$7,453	\$9,040	\$0	\$10,938	\$8,331	\$0	\$0	\$0	\$0	\$0	\$43,298
ANNUAL AUDIT	\$0	\$2,000	\$0	\$3,000	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$5,000
TRUSTEE FEES	\$0	\$8,346	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$8,346
MANAGEMENT FEES	\$2,917	\$2,917	\$2,917	\$2,917	\$2,917	\$2,917	\$2,917	\$0	\$0	\$0	\$0	\$0	\$20,417
INFORMATION TECHNOLOGY	\$208	\$208	\$208	\$208	\$208	\$208	\$208	\$0	\$0	\$0	\$0	\$0	\$1,458
TRAVEL	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
TELEPHONE	\$18	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$18
POSTAGE	\$26	\$0	\$54	\$5	\$31	\$4	\$3	\$0	\$0	\$0	\$0	\$0	\$124
PRINTING & BINDING	\$407	\$0	\$76	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$483
INSURANCE	\$5,125	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$5,125
LEGAL ADVERTISING	\$0	\$230	\$0	\$0	\$0	\$748	\$0	\$0	\$0	\$0	\$0	\$0	\$978
OTHER CURRENT CHARGES	\$500	\$0	\$315	\$432	\$339	\$138	\$120	\$0	\$0	\$0	\$0	\$0	\$1,844
OFFICE SUPPLIES	\$21	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$22
DUES, LICENSE & SUBSCRIPTIONS	\$175	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$175
TOTAL MAINTENANCE EXPENDITURES	\$14,505	\$19,962	\$11,690	\$16,269	\$4,612	\$15,620	\$12,246	\$0	\$0	\$0	\$0	\$0	\$94,904

Canopy

Community Development District

	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sept	Total
<u>MAINTENANCE</u>													
<u>COMMON AREA</u>													
LANDSCAPE MAINTENANCE	\$0	\$0	\$0	\$0	\$0	\$0	\$5,250	\$0	\$0	\$0	\$0	\$0	\$5,250
LANDSCAPE CONTINGENCY	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
PLANT REPLACEMENTS	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
IRRIGATION - REPAIRS	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
IRRIGATION - WATER	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
IRRIGATION - ELECTRIC	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
WETLAND MAINTENANCE	\$0	\$0	\$0	\$0	\$0	\$3,970	\$3,900	\$0	\$0	\$0	\$0	\$0	\$7,870
WETLAND MITIGATION REPORTING	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
LAKE MAINTENANCE	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
REPAIRS & MAINTENANCE	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
OPERATING SUPPLIES	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
<u>AMENITY CENTER</u>													
AMENITY MANAGEMENT STAFFING	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
POOL ATTENDANTS	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
JANITORIAL	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
POOL MAINTENANCE	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
POOL CHEMICALS	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
POOL PERMITS	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
POOL - ELECTRIC	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
POOL - WATER	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
TELEPHONE	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
WATER/SEWER	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
GAS	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
TRASH	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
PEST CONTROL	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
TERMITE BOND	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
INSURANCE - PROPERTY	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
CABLE/INTERNET	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
ACCESS CARDS	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
ACTIVITIES	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
SECURITY/ALARMS/REPAIR	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
REPAIRS & MAINTENANCE	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
OFFICE SUPPLIES	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
HOLIDAY DECORATIONS	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
<u>OTHER</u>													
CONTINGENCY	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
CAPITAL RESERVE	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
TOTAL MAINTENANCE EXPENDITURES	\$0	\$0	\$0	\$0	\$0	\$3,970	\$9,150	\$0	\$0	\$0	\$0	\$0	\$13,120
TOTAL EXPENDITURES	\$14,505	\$19,962	\$11,690	\$16,269	\$4,612	\$19,590	\$21,396	\$0	\$0	\$0	\$0	\$0	\$108,024
EXCESS REVENUES (EXPENDITURES)	(\$14,505)	(\$2,087)	\$31,930	(\$2,545)	\$5,482	(\$10,358)	(\$11,770)	\$0	\$0	\$0	\$0	\$0	(\$3,854)

Canopy

COMMUNITY DEVELOPMENT DISTRICT

LONG TERM DEBT REPORT

SERIES 2018A-1, SPECIAL ASSESSMENT REVENUE BONDS		
INTEREST RATE:	6.000%, 6.150%	
MATURITY DATE:	5/1/2049	
RESERVE FUND DEFINITION	50% OF MAXIMUM ANNUAL DEBT SERVICE	
RESERVE FUND REQUIREMENT	\$82,146	
RESERVE FUND BALANCE	\$82,146	
BONDS OUTSTANDING - 11/08/18		\$2,225,000
CURRENT BONDS OUTSTANDING		\$2,225,000

SERIES 2018A-2, SPECIAL ASSESSMENT REVENUE BONDS		
INTEREST RATE:	6.150%	
MATURITY DATE:	5/1/2049	
RESERVE FUND DEFINITION	NOT SECURED - N/A	
RESERVE FUND REQUIREMENT	\$0	
RESERVE FUND BALANCE	\$0	
BONDS OUTSTANDING - 11/08/18		\$5,480,000
LESS: SPECIAL CALL - 05/01/19		(\$110,000)
LESS: SPECIAL CALL - 08/01/19		(\$305,000)
LESS: SPECIAL CALL - 11/01/19		(\$405,000)
LESS: SPECIAL CALL - 02/01/20		(\$60,000)
CURRENT BONDS OUTSTANDING		\$4,600,000

SERIES 2018A-3, SPECIAL ASSESSMENT REVENUE BONDS		
INTEREST RATE:	6.250%	
MATURITY DATE:	5/1/2049	
RESERVE FUND DEFINITION	50% OF MAXIMUM ANNUAL DEBT SERVICE	
RESERVE FUND REQUIREMENT	\$104,688	
RESERVE FUND BALANCE	\$104,688	
BONDS OUTSTANDING - 11/08/18		\$2,735,000
CURRENT BONDS OUTSTANDING		\$2,735,000

SERIES 2018A-4, SPECIAL ASSESSMENT REVENUE BONDS		
INTEREST RATE:	5.000%, 5.150%	
MATURITY DATE:	5/1/2049	
RESERVE FUND DEFINITION	50% OF MAXIMUM ANNUAL DEBT SERVICE	
RESERVE FUND REQUIREMENT	\$32,714	
RESERVE FUND BALANCE	\$32,714	
BONDS OUTSTANDING - 11/08/18		\$965,000
CURRENT BONDS OUTSTANDING		\$965,000

Exhibit "A"
CANOPY
COMMUNITY DEVELOPMENT DISTRICT

Special Assessment Revenue Bonds, Series 2018 A1/2

Date	Requisition #	Contractor	Description	Requisition
Fiscal Year 2019				
4/5/19	1	Sandco, LLC	Pay Application # 1 - Canopy Unit 3 Phase 1 & 2	\$ 360,078.30
6/14/19	2	Ox Bottom Mortgage Holdings, LLC	Unit 1 Phase 6 Crestline Road, Fontana Road Improvement Reimbursement	\$ 995,631.07
TOTAL				\$ 1,355,709.37
Fiscal Year 2019				
12/1/18		Interest		\$ 3,084.22
12/1/18		Transfer from Reserve Fund		\$ 34.66
1/1/19		Interest		\$ 12,421.76
1/1/19		Transfer from Reserve Fund		\$ 139.54
2/1/19		Interest		\$ 13,927.37
2/1/19		Transfer from Reserve Fund		\$ 156.19
3/1/19		Interest		\$ 12,947.48
3/1/19		Transfer from Reserve Fund		\$ 144.94
4/1/19		Interest		\$ 14,360.76
4/1/19		Transfer from Reserve Fund		\$ 160.47
5/1/19		Interest		\$ 13,336.50
5/1/19		Transfer from Reserve Fund		\$ 155.29
5/14/19		Transfer from Cost of Issuance		\$ 21,146.93
6/1/19		Interest		\$ 13,737.71
6/1/19		Transfer from Reserve Fund		\$ 160.47
7/1/19		Interest		\$ 12,269.23
7/1/19		Transfer from Reserve Fund		\$ 155.29
8/1/19		Interest		\$ 11,603.76
8/1/19		Transfer from Reserve Fund		\$ 156.98
8/1/19		Transfer from Cost of Issuance		\$ 17.32
9/1/19		Interest		\$ 10,592.86
9/1/19		Transfer from Reserve Fund		\$ 143.02
TOTAL				\$ 140,852.75
Project (Construction) Fund at 11/8/18				\$ 7,309,992.26
Interest Earned thru 09/30/19				\$ 140,852.75
Requisitions Paid thru 09/30/19				\$ (1,355,709.37)
Remaining Project (Construction) Fund				\$ 6,095,135.64
Fiscal Year 2020				
11/25/19	3	Sandco, LLC	Pay Application 4 - Unit 3	\$ 303,885.90
11/25/19	4	Sandco, LLC	Pay Application 1 - Unit 4 & 5	\$ 165,285.00
1/23/20	5	Sandco, LLC	Pay Application 2 & 3 - Unit 4 & 5	\$ 640,325.70
1/23/20	6	Sandco, LLC	Pay Application 5 - Unit 3	\$ 1,350.00
3/19/20	7	Sandco, LLC	Pay Application 4 - Unit 4 & 5	\$ 146,610.00
3/19/20	8	Sandco, LLC	Pay Application 6 - Unit 3	\$ 8,352.00
4/7/20	9	Sandco, LLC	Pay Application 8 - Unit 3	\$ 125,054.80
4/7/20	10	Sandco, LLC	Pay Application 6 - Unit 4 & 5	\$ 125,302.50
5/6/20	11	Sandco, LLC	Pay Application 5 - Unit 4 & 5	\$ 54,000.00
5/6/20	12	Sandco, LLC	Pay Application 7 - Unit 3	\$ 4,959.00
5/21/20	13	Consolidated Pipe & Supply Company, Inc.	Construction Materials - Unit 4 & 5	\$ 825,293.44
TOTAL				\$ 2,400,418.34
Fiscal Year 2020				
10/1/19		Transfer from Reserve Fund		\$ 131.66
10/1/19		Interest		\$ 9,767.11
11/1/19		Transfer from Reserve Fund		\$ 125.02
11/1/19		Interest		\$ 9,290.87
12/1/19		Interest		\$ 7,668.90
12/1/19		Transfer from Reserve Fund		\$ 104.65
1/1/20		Interest		\$ 7,441.24
1/1/20		Transfer from Reserve Fund		\$ 108.14
2/1/20		Interest		\$ 7,186.26
2/1/20		Transfer from Reserve Fund		\$ 107.85
3/1/20		Interest		\$ 6,000.33
3/1/20		Transfer from Reserve Fund		\$ 98.08
4/1/20		Interest		\$ 2,429.03
4/1/20		Transfer from Reserve Fund		\$ 39.73
TOTAL				\$ 50,498.87
Project (Construction) Fund at 09/30/19				\$ 6,095,135.64
Interest Earned thru 04/30/20				\$ 50,498.87
Requisitions Paid thru 04/30/20				\$ (2,400,418.34)
Remaining Project (Construction) Fund				\$ 3,745,216.17

Percentage Completed

18.55%

Exhibit "A"
CANOPY
COMMUNITY DEVELOPMENT DISTRICT

Special Assessment Revenue Bonds, Series 2018 A3 - General

Date	Requisition #	Contractor	Description	Requisition
Fiscal Year 2019				
11/8/18	1	Ox Bottom Mortgage Holdings, LLC	Reimbursement for construction costs paid by Developer	\$ 1,019,257.82
TOTAL				\$ 1,019,257.82
Fiscal Year 2019				
12/1/18		Transfer from Reserve Fund		\$ 44.17
1/1/19		Interest		\$ 0.07
1/1/19		Transfer from Reserve Fund		\$ 177.83
2/1/19		Interest		\$ 0.41
2/1/19		Transfer from Reserve Fund		\$ 199.05
3/1/19		Interest		\$ 0.71
3/1/19		Transfer from Reserve Fund		\$ 184.71
4/1/19		Interest		\$ 1.15
4/1/19		Transfer from Reserve Fund		\$ 204.50
5/1/19		Interest		\$ 1.52
5/1/19		Transfer from Reserve Fund		\$ 197.90
5/14/19		Transfer from Cost of Issuance		\$ 7,506.37
6/1/19		Interest		\$ 10.48
6/1/19		Transfer from Reserve Fund		\$ 204.50
7/1/19		Interest		\$ 16.47
7/1/19		Transfer from Reserve Fund		\$ 197.90
8/1/19		Interest		\$ 17.09
8/1/19		Transfer from Reserve Fund		\$ 200.05
8/1/19		Transfer from Cost of Issuance		\$ 6.15
9/1/19		Interest		\$ 15.96
9/1/19		Transfer from Reserve Fund		\$ 182.27
TOTAL				\$ 9,369.26
Project (Construction) Fund at 11/8/18				\$ 1,019,257.82
Interest Earned thru 09/30/19				\$ 9,369.26
Requisitions Paid thru 09/30/19				\$ (1,019,257.82)
Remaining Project (Construction) Fund				\$ 9,369.26
Fiscal Year 2020				
TOTAL				\$ -
Fiscal Year 2020				
10/1/19		Transfer from Reserve Fund		\$ 167.79
10/1/19		Interest		\$ 14.98
11/1/19		Transfer from Reserve Fund		\$ 159.33
11/1/19		Interest		\$ 14.53
12/1/19		Interest		\$ 12.37
12/1/19		Transfer from Reserve Fund		\$ 133.37
1/1/20		Interest		\$ 12.98
1/1/20		Transfer from Reserve Fund		\$ 137.81
2/1/20		Interest		\$ 13.15
2/1/20		Transfer from Reserve Fund		\$ 137.44
3/1/20		Interest		\$ 12.13
3/1/20		Transfer from Reserve Fund		\$ 125.00
4/1/20		Interest		\$ 4.97
4/1/20		Transfer from Reserve Fund		\$ 50.63
TOTAL				\$ 996.48
Project (Construction) Fund at 09/30/19				\$ 9,369.26
Interest Earned thru 04/30/20				\$ 996.48
Requisitions Paid thru 04/30/20				\$ -
Remaining Project (Construction) Fund				\$ 10,365.74

Percentage Completed

100.00%

Exhibit "A"
CANOPY
COMMUNITY DEVELOPMENT DISTRICT

Special Assessment Revenue Bonds, Series 2018 A3 - Restricted

Date	Requisition #	Contractor	Description	Requisition
Fiscal Year 2019				
TOTAL				\$ -
Fiscal Year 2019				
12/1/18		Interest		\$ 632.88
1/1/19		Interest		\$ 2,548.92
2/1/19		Interest		\$ 2,857.81
3/1/19		Interest		\$ 2,656.69
4/1/19		Interest		\$ 2,946.62
5/1/19		Interest		\$ 2,857.44
6/1/19		Interest		\$ 2,958.28
7/1/19		Interest		\$ 2,868.06
8/1/19		Interest		\$ 2,905.11
9/1/19		Interest		\$ 2,651.93
TOTAL				\$ 25,883.74
Project (Construction) Fund at 11/8/18				\$ 1,500,000.00
Interest Earned thru 09/30/19				\$ 25,883.74
Requisitions Paid thru 09/30/19				\$ -
Remaining Project (Construction) Fund				\$ 1,525,883.74
Fiscal Year 2020				
10/31/19	1	Conn & Associates	Clubhouse Architectural Services	\$ 37,200.00
1/23/20	2	Sandco, LLC	Pay Application 2	\$ 168,773.81
1/23/20	3	Conn & Associates	Clubhouse Architectural Services	\$ 9,300.00
1/24/20	4	Sandco, LLC	Pay Application 1	\$ 299,755.14
5/5/20	5	Conn & Associates	Clubhouse Architectural Services	\$ 2,250.00
3/19/20	7	Sandco, LLC	Pay Application 3	\$ 175,786.82
5/6/20	8	Conn & Associates	Clubhouse Architectural Services	\$ 2,250.00
TOTAL				\$ 695,315.77
Fiscal Year 2020				
10/1/19		Interest		\$ 2,445.15
11/1/19		Interest		\$ 2,324.29
12/1/19		Interest		\$ 1,902.32
1/1/20		Interest		\$ 1,968.38
2/1/20		Interest		\$ 1,796.15
3/1/20		Interest		\$ 1,219.18
4/1/20		Interest		\$ 489.71
TOTAL				\$ 12,145.18
Project (Construction) Fund at 09/30/19				\$ 1,525,883.74
Interest Earned thru 04/30/20				\$ 12,145.18
Requisitions Paid thru 04/30/20				\$ (695,315.77)
Remaining Project (Construction) Fund				\$ 842,713.15
Percentage Completed				46.35%

Exhibit "A"
CANOPY
COMMUNITY DEVELOPMENT DISTRICT

Special Assessment Revenue Bonds, Series 2018 A4

Date	Requisition #	Contractor	Description	Requisition
Fiscal Year 2019				
11/8/18	1	Ox Bottom Mortgage Holdings LLC	Reimbursement for construction costs paid by Developer	\$ 893,101.00
TOTAL				\$ 893,101.00
Fiscal Year 2019				
12/1/18		Interest		\$ 13.80
1/1/19		Interest		\$ 0.02
1/1/19		Transfer from Reserve Fund		\$ 55.57
2/1/19		Interest		\$ 0.13
2/1/19		Transfer from Reserve Fund		\$ 62.20
3/1/19		Interest		\$ 0.22
3/1/19		Transfer from Reserve Fund		\$ 57.72
4/1/19		Interest		\$ 0.36
4/1/19		Transfer from Reserve Fund		\$ 63.91
5/1/19		Interest		\$ 0.48
5/1/19		Transfer from Reserve Fund		\$ 61.84
5/14/19		Transfer from Cost of Issuance		\$ 2,648.52
6/1/19		Interest		\$ 3.62
6/1/19		Transfer from Reserve Fund		\$ 63.91
7/1/19		Interest		\$ 5.72
7/1/19		Transfer from Reserve Fund		\$ 61.84
8/1/19		Interest		\$ 5.92
8/1/19		Transfer from Reserve Fund		\$ 62.52
8/1/19		Transfer from Cost of Issuance		\$ 2.17
9/1/19		Interest		\$ 5.52
9/1/19		Transfer from Reserve Fund		\$ 56.96
TOTAL				\$ 3,232.95
Project (Construction) Fund at 11/8/18				\$ 893,101.79
Interest Earned thru 09/30/19				\$ 3,232.95
Requisitions Paid thru 09/30/19				\$ (893,101.00)
Remaining Project (Construction) Fund				\$ 3,233.74
Fiscal Year 2020				
TOTAL				\$ -
Fiscal Year 2020				
10/1/19		Transfer from Reserve Fund		\$ 52.43
10/1/19		Interest		\$ 5.17
11/1/19		Transfer from Reserve Fund		\$ 49.79
11/1/19		Interest		\$ 5.01
12/1/19		Interest		\$ 4.26
12/1/19		Transfer from Reserve Fund		\$ 41.68
1/1/20		Interest		\$ 4.46
1/1/20		Transfer from Reserve Fund		\$ 43.07
2/1/20		Interest		\$ 4.51
2/1/20		Transfer from Reserve Fund		\$ 42.95
3/1/20		Interest		\$ 4.16
3/1/20		Transfer from Reserve Fund		\$ 39.06
4/1/20		Interest		\$ 1.70
4/1/20		Transfer from Reserve Fund		\$ 15.82
TOTAL				\$ 314.07
Project (Construction) Fund at 09/30/19				\$ 3,233.74
Interest Earned thru 04/30/20				\$ 314.07
Requisitions Paid thru 04/30/20				\$ -
Remaining Project (Construction) Fund				\$ 3,547.81
Percentage Completed				100.00%

Special Assessment Receipts
Fiscal Year 2020

ON ROLL ASSESSMENTS

99%	Gross Percent Collected
\$ 9,211.24	Balance Remaining to Collect

Ox Bottom Mortgage Holdings, LLC					
2020-04		Net Assessments		\$170,938.00	\$170,938.00
DATE RECEIVED	DUE DATE	CHECK NO.	NET ASSESSED	AMOUNT RECEIVED	DEBT SERVICE FUND 2018A-3
4/15/20	4/1/20	Wire	\$85,469.00	\$85,469.00	\$85,469.00
	9/30/20		\$85,469.00		
			\$170,938.00	\$85,469.00	\$85,469.00

iii.



MARK S. EARLEY
SUPERVISOR OF ELECTIONS
LEON COUNTY, FLORIDA

May 5, 2020

Dear Amanda Ferguson :

In response to your email we are happy to provide the number of registered voters for the Canopy CDD as of April 15, 2020. The voter registration total that you requested is as follows:

Canopy CDD: 182 registered voters

These determinations were made using our voter registration database and the current map of the district. We hope this information satisfies your requirements. If you need additional assistance please contact Johnny To, Demographics/GIS Manager at

(850) 606-8683 or via email at ToJ@leoncountyfl.gov.

Sincerely,

Mark Earley